

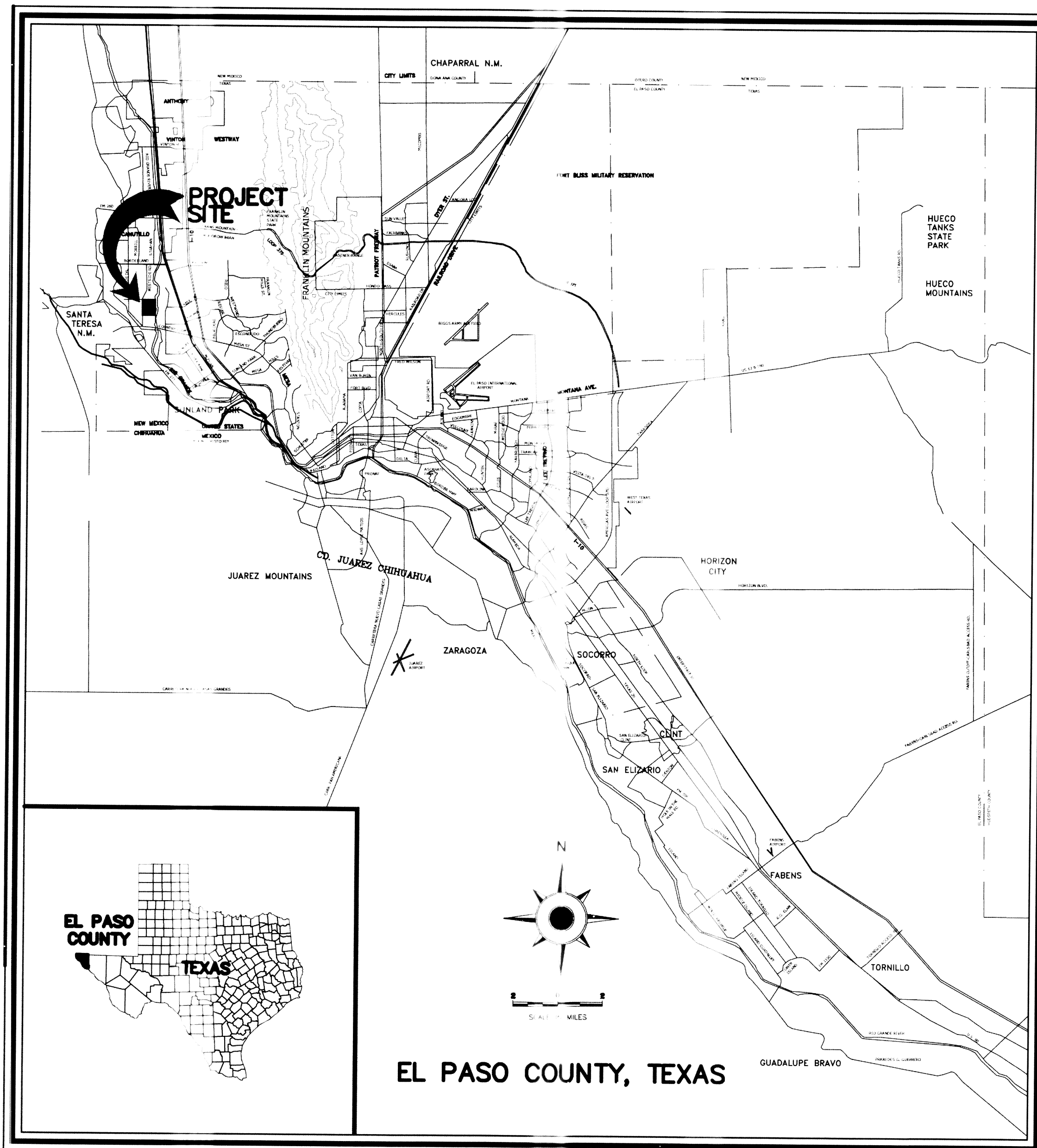
# VALLEY CREEK UNIT TWO

## STREET IMPROVEMENT PACKAGE

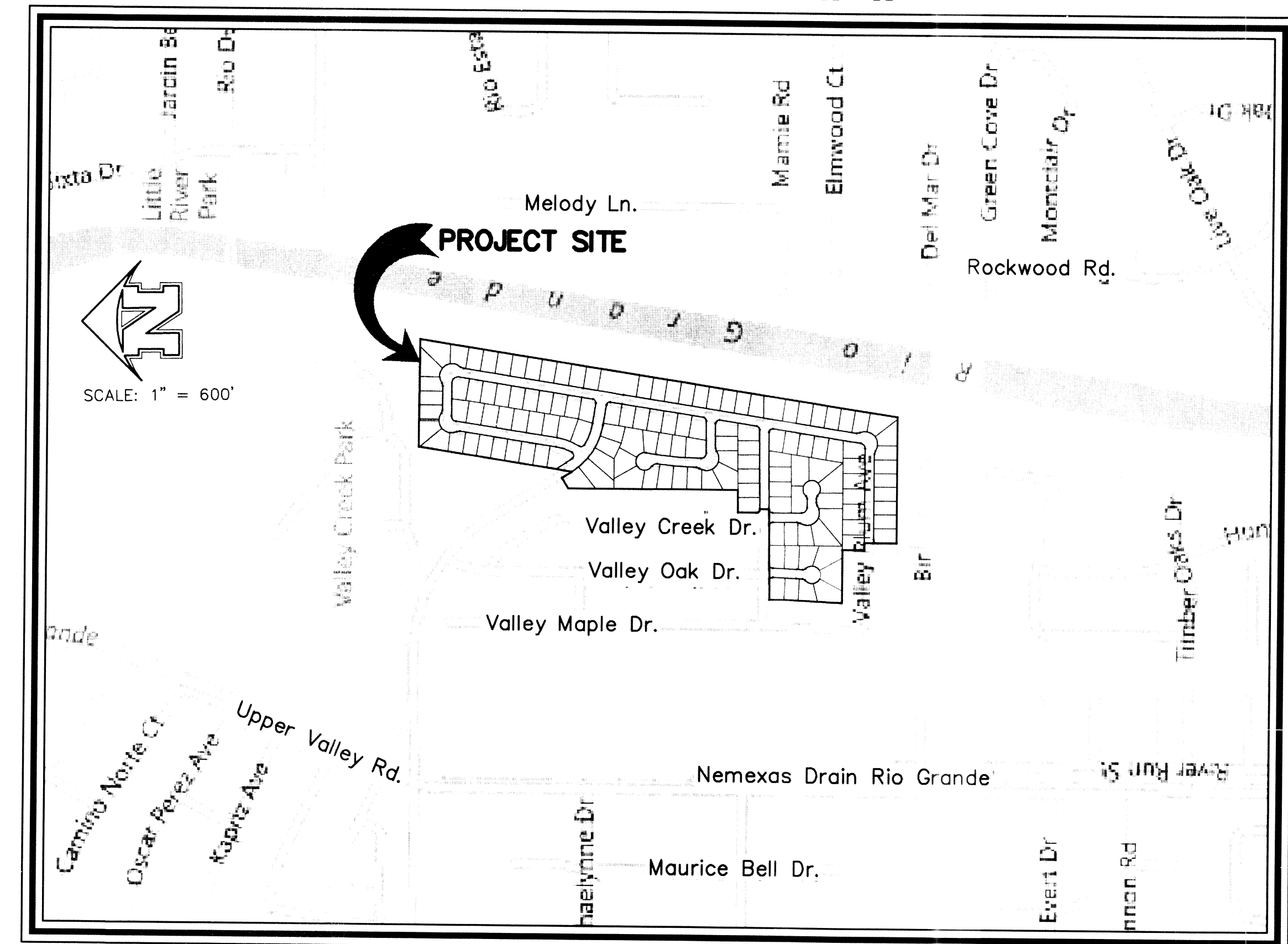
### VICINITY MAP

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OWNER / DEVELOPER  
UPPER VALLEY CREEK, L.P.  
RUSSELL HANSON MANAGING PARTNER  
5835 CROMO, SUITE 2  
EL PASO, TEXAS 79912  
(915) 842-0111

**bnp** Roe Engineering, L.C.  
601 N. Cotton St. Suite No.6 El Paso, Tx, 79902  
(915) 533-1418 FAX: (915) 533-4972  
e-mail: roeeng@swbell.net  
ENGINEERING/LAND DEVELOPMENT/PLANNING/SURVEYING

DEPARTMENT OF TRANSPORTATION

SITE PLAN REVIEW  
Reviewed For Conformance For Conditions Related To:

Demolition Only  
Grading & Drainage  
Wheelchair Ramps  
On Site Parking Layout

Sidewalks  
Driveways  
Retaining Rock Wall  
On-Site Ponding of Storm Waters

Inspector: *Bradley Roe* DATE: 3/22/12



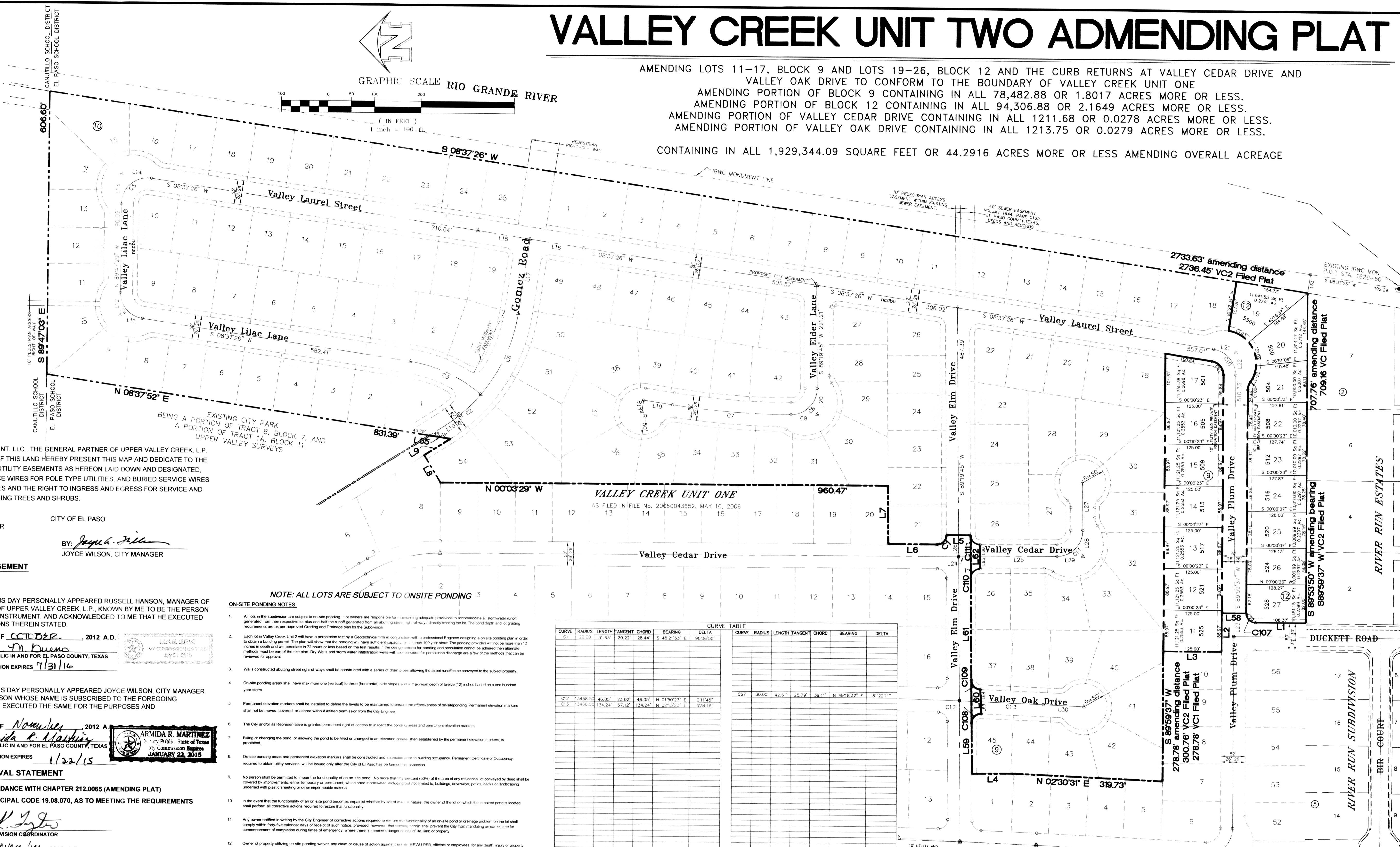
# VALLEY CREEK UNIT TWO ADMENDING PLAT

AMENDING LOTS 11-17, BLOCK 9 AND LOTS 19-26, BLOCK 12 AND THE CURB RETURNS AT VALLEY CEDAR DRIVE AND VALLEY OAK DRIVE TO CONFORM TO THE BOUNDARY OF VALLEY CREEK UNIT ONE  
 AMENDING PORTION OF BLOCK 9 CONTAINING IN ALL 78,482.88 OR 1.8017 ACRES MORE OR LESS.  
 AMENDING PORTION OF BLOCK 12 CONTAINING IN ALL 94,306.88 OR 2.1649 ACRES MORE OR LESS.  
 AMENDING PORTION OF VALLEY CEDAR DRIVE CONTAINING IN ALL 1211.68 OR 0.0278 ACRES MORE OR LESS.  
 AMENDING PORTION OF VALLEY OAK DRIVE CONTAINING IN ALL 1213.75 OR 0.0279 ACRES MORE OR LESS.

CONTAINING IN ALL 1,929,344.09 SQUARE FEET OR 44.2916 ACRES MORE OR LESS AMENDING OVERALL ACREAGE

- LEGEND**
- △ PROPOSED CITY MONUMENT
  - ◊ EXISTING CITY MONUMENT
  - ncdbu PROPOSED NDCBU
  - DENOTES SET 5/8"Ø REBAR WITH YELLOW PLASTIC CAP STAMPED TX 2449, ROE ENGR. L.C. UNLESS OTHERWISE NOTED

LINE	BEARING	LENGTH	LINE	BEARING	LENGTH
L1	N 00'06"10" W	108.37	L1	N 00'06"10" W	108.37
L2	S 89'59"37" W	83.34	L2	S 89'59"37" W	83.34
L3	N 00'00"23" W	125.00	L3	N 00'00"23" W	125.00
L4	N 00'40"15" W	90.29	L4	N 00'40"15" W	90.29
L5	N 00'07"33" W	52.00	L5	N 00'07"33" W	52.00
L6	N 00'03"02" W	104.39	L6	N 00'03"02" W	104.39
L7	N 89'19'45" E	125.00	L7	N 89'19'45" E	125.00
L8	N 58'58'26" E	68.51	L8	N 58'58'26" E	68.51
L9	N 00'00"23" W	50.00	L9	N 00'00"23" W	50.00
L10	S 00'40"15" W	46.00	L10	S 00'40"15" W	46.00
L11	S 00'40"15" E	183.00	L11	S 00'40"15" E	183.00
L12	N 00'00"23" W	52.00	L12	N 00'00"23" W	52.00
L13	N 89'19'45" E	108.42	L13	N 89'19'45" E	108.42
L14	N 87'19'46" E	52.17	L14	N 87'19'46" E	52.17
L15	N 89'19'45" E	218.63	L15	N 89'19'45" E	218.63
L16	N 89'19'45" E	52.00	L16	N 89'19'45" E	52.00



**OWNER'S DEDICATION, CERTIFICATION**  
 STATE OF TEXAS  
 COUNTY OF EL PASO

I, RUSSELL HANSON, MANAGER OF HAM MANAGEMENT, L.L.C., THE GENERAL PARTNER OF UPPER VALLEY CREEK, L.P. AND THE CITY OF EL PASO, PROPERTY OWNER(S) OF THIS LAND HEREBY PRESENT THIS MAP AND DEDICATE TO THE USE OF THE PUBLIC THE STREET RIGHT-OF-WAYS, UTILITY EASEMENTS AS HEREON LAID DOWN AND DESIGNATED, INCLUDING EASEMENTS FOR OVERHANG OF SERVICE WIRES FOR POLE TYPE UTILITIES, AND BURIED SERVICE WIRES CONDUITS AND PIPES FOR UNDERGROUND UTILITIES AND THE RIGHT TO INGRESS AND EGRESS FOR SERVICE AND CONSTRUCTION AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS.

UPPER VALLEY CREEK, L.P.  
 BY: *Russell Hanson*  
 RUSSELL HANSON, MANAGER

CITY OF EL PASO  
 BY: *Joyce Wilson*  
 JOYCE WILSON, CITY MANAGER

**ACKNOWLEDGEMENT**  
 STATE OF TEXAS  
 COUNTY OF EL PASO

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED RUSSELL HANSON, MANAGER OF HAM MANAGEMENT, L.L.C., THE GENERAL PARTNER OF UPPER VALLEY CREEK, L.P., KNOWN BY ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL THIS 29 DAY OF October, 2012 A.D. at El Paso, Texas

*Lilia M. Durazo*  
 LILIA M. DURAZO  
 NOTARY PUBLIC IN AND FOR EL PASO COUNTY, TEXAS  
 MY COMMISSION EXPIRES 7/31/16

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED JOYCE WILSON, CITY MANAGER OF EL PASO, TEXAS, KNOWN BY ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL THIS 8 DAY OF November, 2012 A.D. at El Paso, Texas

*Armida R. Martinez*  
 ARMIDA R. MARTINEZ  
 Notary Public, State of Texas  
 My Commission Expires JANUARY 22, 2015

**AMENDING PLAT APPROVAL STATEMENT**

THIS SUBDIVISION IS HEREBY APPROVED IN ACCORDANCE WITH CHAPTER 212.0065 (AMENDING PLAT) OF THE LOCAL GOVERNMENT CODE OF TEXAS MUNICIPAL CODE 19.08.070, AS TO MEETING THE REQUIREMENTS FOR REVIEW OF AN AMENDING PLAT.

EXECUTIVE SECRETARY: *L. J. [Signature]*  
 SUBDIVISION COORDINATOR: *[Signature]*

APPROVED FOR FILING THIS 8 DAY OF November, 2012 A.D. at El Paso, Texas

*[Signature]*  
 CITY DEVELOPMENT DIRECTOR

**COUNTY CLERK'S RECORDING CERTIFICATE**

DELIA BRIONES, COUNTY CLERK OF EL PASO COUNTY, CERTIFY THAT THE PLAT BEARING THIS CERTIFICATE WAS FILED AND RECORDED UNDER THE INSTRUMENT NO. 2012091474 IN THE PLAT RECORDS OF THE EL PASO COUNTY.

BY: *[Signature]* 12/13/12  
 COUNTY CLERK

BY: *[Signature]* 12/13/12  
 DEPUTY COUNTY CLERK

I HEREBY CERTIFY THAT THIS PLAT REPRESENTS A SURVEY MADE ON THE GROUND UNDER MY SUPERVISION AND IS IN COMPLIANCE WITH THE CURRENT TEXAS BOARD OF PROFESSIONAL LAND SURVEYING, PROFESSIONAL AND TECHNICAL STANDARDS, REGISTERED PUBLIC LAND SURVEYOR NO. 2449

*Bradley Roe*  
 BRADLEY ROE, R.P.L.S. 2449

PREPARED BY AND UNDER THE SUPERVISION OF BRADLEY ROE, REGISTERED PROFESSIONAL ENGINEER NO. 31886

*Bradley Roe*  
 BRADLEY ROE, P.E. 31886  
 ROE ENGINEERING, L.C.  
 TEXAS REGISTERED ENGINEERING FIRM F-2103

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FILE NAME: C-02 VC2 PLAT.DWG  
 PREPARATION DATE: AUGUST 23, 2011  
 REVISION DATE: March 22, 2012

**NOTE: ALL LOTS ARE SUBJECT TO ONSITE PONDING**

- All lots in the subdivision are subject to on-site ponding. Lot owners are responsible for maintaining adequate provisions to accommodate all stormwater runoff generated from their respective lots plus one-half (1/2) inch runoff generated from all adjoining streets of ways directly fronting the lot. The pond depth and/or grading requirements are as per approved Grading and Drainage plan for the Subdivision.
- Each lot in Valley Creek Unit 2 will have a retention test by a Geotechnical firm in consultation with a professional Engineer designing a on-site ponding plan in order to obtain a building permit. The plan will show that the ponding will have sufficient capacity for a 100 year storm. The ponding provided will not be more than 12 inches in depth and will percolate in 72 hours or less based on the test results. If the design criteria for ponding and percolation cannot be achieved then alternative methods must be part of the site plan. Dry Wells and storm water infiltration wells with sump pumps for percolation/discharge are a few of the methods that can be reviewed for approval.
- Walls constructed abutting street right of ways shall be constructed with a series of drain pipes allowing the street runoff to be conveyed to the subject property.
- On-site ponding areas shall have maximum one (vertical) to three (horizontal) side slopes and a maximum depth of twelve (12) inches based on a one hundred year storm.
- Permanent elevation markers shall be installed to define the levels to be maintained to ensure the effectiveness of on-site ponding. Permanent elevation markers shall not be moved, covered, or altered without written permission from the City Engineer.
- The City and/or its Representative is granted permanent right of access to inspect the ponding areas and permanent elevation markers.
- Filing or changing the pond, or allowing the pond to be filled or changed to an elevation greater than established by the permanent elevation markers, is prohibited.
- On-site ponding areas and permanent elevation markers shall be constructed and inspected prior to building occupancy. Permanent Certificate of Occupancy required to obtain utility services will be issued only after the City of El Paso has performed the inspection.
- No person shall be permitted to impair the functionality of an on-site pond. No more than fifty percent (50%) of the area of any residential lot conveyed by deed shall be covered by improvements, either temporary or permanent, which shed stormwater (including but not limited to: buildings, driveways, patios, decks or landscaping) underlaid with plastic sheeting or other impermeable material.
- In the event that the functionality of an on-site pond becomes impaired whether by act of nature or otherwise, the owner of the lot on which the impaired pond is located shall perform all corrective actions required to restore that functionality.
- Any owner notified in writing by the City Engineer of corrective actions required to restore the functionality of an on-site pond or drainage on the lot shall comply within forty-five (45) calendar days of receipt of such notice. Provided, however, that nothing herein shall prevent the City from mandating an earlier time for commencement of completion during times of emergency, where there is imminent danger to lives, limb or property.
- Owner of property utilizing on-site ponding waives any claim or cause of action against the City, its employees or contractors, for any death, injury or property damage resulting from alteration of the ponding capacity for that lot, including acts of maintenance.
- These on-site ponding requirements shall be enforced by injunctive relief without the requirement of bond or other security.
- The conveyance of property permitting on-site ponding shall declare in conspicuous language in the deed that the property is subject to on-site ponding requirements, maintenance of elevation markers, standing water on lot, and ingress and egress for inspection as stated on the plat.

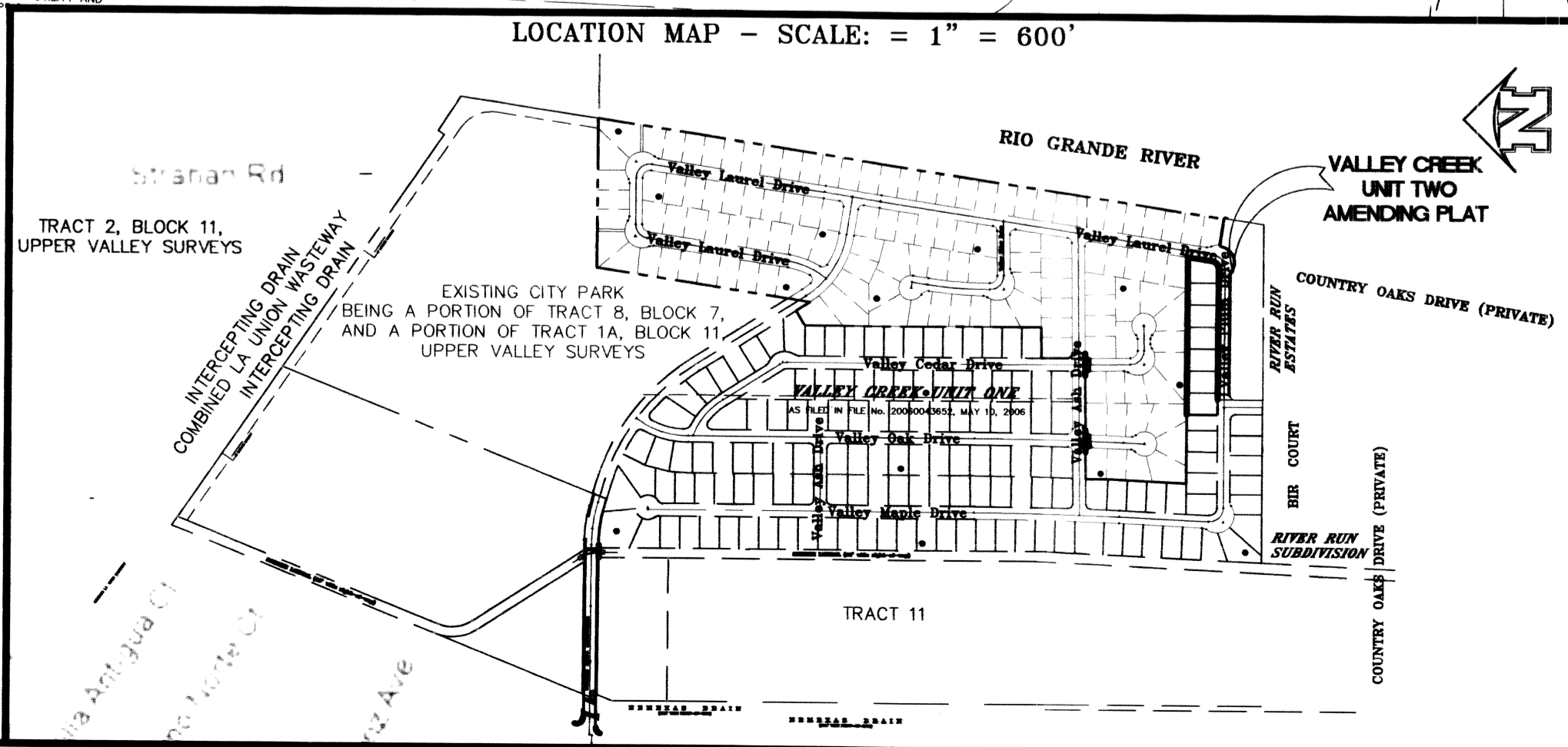
**GENERAL NOTES:**

- POSTAL DELIVERY SERVICE WITHIN THE SUBDIVISION WILL BE PROVIDED USING NEIGHBORHOOD DELIVERY SERVICE AND COLLECTION BOX UNITS
- SIDEWALKS FOR ALL STREETS WITHIN AND ABUTTING THIS SUBDIVISION WILL BE PROVIDED
- RESTRICTIVE COVENANTS FOR THIS SUBDIVISION ARE FILED IN THE OFFICE OF THE COUNTY CLERK, DEED AND RECORD SECTION, INSTRUMENT NO. 2012030599 DATE: 4/25/12
- ALL LOTS WITHIN THIS SUBDIVISION ARE SUBJECT TO ONSITE PONDING OF STORM WATER AS PER THE EL PASO MUNICIPAL CODE THE TYPICAL STREET AND LOT DRAINAGE SECTION MUST BE ADHERED TO AND IS SHOWN ON THE DRAINAGE PLANS ON FILE IN THE CITY OF EL PASO DEVELOPMENT SERVICES DEPARTMENT
- ALL CURB DE SAC RADII ARE 50.00' AND ALL BLOCK CORNER RADII ARE 20' UNLESS OTHERWISE NOTED
- TEN FOOT UTILITY AND IRRIGATION EASEMENT ALONG THE FRONT OF ALL PROPERTIES UNLESS OTHERWISE NOTED
- VEHICULAR ACCESS TO LOT 49, BLOCK 8, LOT 1 AND LOTS 19 AND 20, BLOCK 12 AS THEY ABUT GOMEZ ROAD SHALL BE FROM OTHER DEDICATED STREETS ONLY. THE INSTRUMENT ASSURING RELEASE OF ACCESS IS FILED IN THE OFFICE OF THE COUNTY CLERK, DEEDS AND RECORDS SECTION, INSTRUMENT NO. DATE
- THE ABOVE REFERENCED PROPERTY IS WITHIN ZONE "C" (EXPLANATION AREAS OF 100-YEAR FLOOD, AREAS OF 100-YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE, AND AREAS PROTECTED BY LEVEES FROM 100-YEAR FLOOD) ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAPS AS PER THE UNINCORPORATED AREAS COMMUNITY PANEL NO. 48202-025-B DATED SEPTEMBER 4, 1991
- SIGHT VISIBILITY EASEMENT - NO CONSTRUCTION OR PLANTS TALLER THAN 3 FEET SHALL BE ALLOWED
- THIS IS TO CERTIFY THAT WATER AND SEWER SERVICES WILL BE PROVIDED TO VALLEY CREEK UNIT TWO BY THE EL PASO WATER UTILITIES SERVICE BOARD IN ACCORDANCE WITH THEIR RULES AND REGULATIONS AND WITH SECTION 543 OF THE EL PASO WATER CODE. WATER AND SEWER SERVICES WILL BE EXTENDED TO THE SUBDIVISION FROM EXISTING FACILITIES LOCATED ON GOMEZ ROAD, VALLEY MAPLE DRIVE AND VALLEY ELM AVENUE AND SHALL BE CONSTRUCTED TO SERVE THE SUBDIVISION ON DATE: DATE
- TAX CERTIFICATES FOR THIS SUBDIVISION ARE FILED IN THE OFFICE OF THE COUNTY CLERK, DEEDS AND RECORDS SECTION, INSTRUMENT NO. 2012091474 DATE: 12/13/12

CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C1	20.00	31.67	20.22	28.44	S 45°21'51" E	90°36'50"
C2	3468.50	46.00	23.02	46.00	N 01°50'23" E	0°11'45"
C3	3468.50	134.24	67.12	134.24	N 92°13'25" E	0°34'16"
C4	20.00	31.45	20.00	28.31	S 44°56'44" W	90°05'47"
C5	30.00	19.26	19.43	18.00	N 72°32'56" W	34°54'50"
C6	70.00	59.86	18.87	36.45	S 70°02'33" E	30°02'02"
C7	70.00	30.00	29.91	53.59	N 72°13'52" E	45°00'58"
C8	70.00	20.55	28.42	49.64	N 28°02'31" E	41°01'43"
C9	70.00	44.34	41.84	41.99	N 88°27'26" W	34°59'08"
C10	20.00	31.45	20.00	28.31	S 44°56'44" W	90°05'47"
C11	20.00	31.42	20.00	28.28	S 44°19'45" W	90°00'00"

**NOTE:**  
 CORRECTIONS MADE TO LOTS 11-17, BLOCK 9, AMENDING PORTION OF BLOCK 9 CONTAINING IN ALL 78,482.88 OR 1.8017 ACRES MORE OR LESS, AND LOTS 19-26, BLOCK 12, AMENDING PORTION OF BLOCK 12 CONTAINING IN ALL 94,306.88 OR 2.1649 ACRES MORE OR LESS. CORRECTIONS TO INCLUDE THE CURB RETURNS AT VALLEY CREEK DRIVE, AMENDING PORTION OF VALLEY CEDAR DRIVE CONTAINING IN ALL 1211.68 OR 0.0278 ACRES MORE OR LESS AND VALLEY OAK DRIVE AMENDING PORTION OF VALLEY OAK DRIVE CONTAINING IN ALL 1213.75 OR 0.0279 ACRES MORE OR LESS, AND OVERALL BOUNDARY TO CONFORM WITH THE BOUNDARY OF THE FILED PLAT OF VALLEY CREEK UNIT ONE.

**Roe Engineering, L.C.**  
 EL PASO, TEXAS

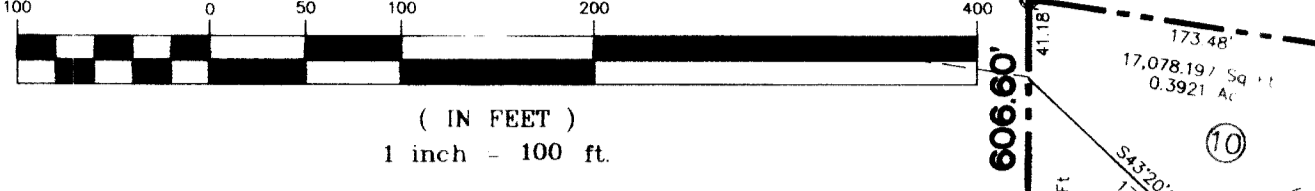


C:\projects\080811-5\_Amending Plat Valley Creek Unit 2\VC2 PLAT.DWG 10/26/12 7:56AM

# VALLEY CREEK UNIT TWO

BEING A PORTION OF TRACTS 8 AND 9 BLOCK 7, UPPER VALLEY SURVEYS, AND A PORTION OF DUCKETT ROAD CITY OF EL PASO, EL PASO COUNTY, TEXAS CONTAINING IN ALL 1,931,953.07 SQUARE FEET OR 44.3515 ACRES MORE OR LESS

GRAPHIC SCALE



LEGEND

- PROPOSED CITY MONUMENT
- EXISTING CITY MONUMENT
- PROPOSED NDCBU
- DENOTES SET 5/8" REBAR WITH YELLOW PLASTIC CAP STAMPED TX 2449, ROE ENGR. L.C. UNLESS OTHERWISE NOTED.

LINE	BEARING	LENGTH	LINE	BEARING	LENGTH
L1	N 00°00'33" E	182.00	L30	N 02°30'31" E	87.45
L2	S 89°59'27" W	49.27	L31	S 32°18'03" E	66.30
L3	N 00°00'15" E	30.27	L32	N 08°52'23" W	3.92
L4	N 00°40'15" E	80.27	L33	S 08°52'23" W	7.77
L5	N 00°00'15" E	30.27	L34	S 08°52'23" W	3.92
L6	N 00°03'29" E	104.79	L35	S 08°52'23" W	12.43
L7	N 89°19'45" E	125.01	L36	S 32°18'03" E	66.30
L8	N 57°43'37" E	64.63	L37	S 08°52'23" W	3.92
L9	S 32°18'03" E	66.30	L38	S 89°56'31" W	44.94
L10	S 32°18'03" E	66.30	L39	S 89°56'31" W	44.94
L11	S 08°52'23" W	3.92	L40	S 89°56'31" W	44.94
L12	S 08°52'23" W	3.92	L41	N 78°14'14" E	95.40
L13	S 08°52'23" W	3.92	L42	S 89°56'31" W	44.94
L14	S 08°52'23" W	3.92	L43	S 89°56'31" W	44.94
L15	S 08°52'23" W	3.92	L44	S 08°52'23" W	3.92
L16	S 08°52'23" W	3.92	L45	S 08°52'23" W	3.92
L17	S 81°22'34" E	181.10	L46	S 00°04'15" E	69.41
L18	N 81°22'34" E	24.90	L47	S 89°19'45" W	21.84
L19	S 08°52'23" W	3.92	L48	N 02°30'31" E	17.37
L20	S 08°52'23" W	3.92	L49	N 02°30'31" E	17.37
L21	S 08°52'23" W	3.92	L50	N 02°30'31" E	17.37
L22	S 08°52'23" W	3.92	L51	N 02°30'31" E	17.37
L23	S 08°52'23" W	3.92	L52	S 08°52'23" W	27.75
L24	S 00°40'15" E	80.27	L53	S 08°52'23" W	3.92
L25	S 00°40'15" E	80.27	L54	S 89°56'31" W	44.94
L26	S 08°52'23" W	3.92	L55	N 08°52'23" E	45.78
L27	S 08°52'23" W	3.92	L56	S 08°52'23" W	3.92
L28	S 08°52'23" W	3.92	L57	S 08°52'23" W	3.92
L29	S 00°40'15" E	80.27	L58	S 89°56'31" W	44.94

### OWNER'S DEDICATION, CERTIFICATION STATE OF TEXAS COUNTY OF EL PASO

I, RUSSELL HANSON, MANAGER OF HAM MANAGEMENT, L.L.C., THE GENERAL PARTNER OF UPPER VALLEY CREEK L.P. AND THE CITY OF EL PASO, PROPERTY OWNER(S) OF THIS LAND HEREBY PRESENT THIS MAP AND DEDICATE TO THE USE OF THE PUBLIC THE STREET RIGHT-OF-WAYS, PEDESTRIAN RIGHT-OF-WAYS AND EASEMENTS AND UTILITY EASEMENTS AS HEREON LAID DOWN AND DESIGNATED, INCLUDING EASEMENTS FOR OVERHANG OF SERVICE WIRES FOR POLE TYPE UTILITIES, AND BURIED SERVICE WIRES CONDUITS AND PIPES FOR UNDERGROUND UTILITIES AND THE RIGHT TO INGRESS AND EGRESS FOR SERVICE AND CONSTRUCTION AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS.

UPPER VALLEY CREEK L.P., CITY OF EL PASO  
BY: HAM MANAGEMENT, L.L.C. ITS GENERAL PARTNER  
BY: Russell Hanson, RUSSELL HANSON, MANAGER  
BY: Joyce Wilson, JOYCE WILSON, CITY MANAGER

### ACKNOWLEDGMENT

STATE OF TEXAS COUNTY OF EL PASO

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED RUSSELL HANSON, MANAGER OF HAM MANAGEMENT, L.L.C., THE GENERAL PARTNER OF UPPER VALLEY CREEK L.P., KNOWN BY ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL THIS 23<sup>rd</sup> DAY OF MARCH, 2012 A.D.  
Lilia M. Bueno, NOTARY PUBLIC IN AND FOR EL PASO COUNTY, TEXAS  
MY COMMISSION EXPIRES 7/31/12

STATE OF TEXAS COUNTY OF EL PASO

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED JOYCE WILSON, CITY MANAGER OF EL PASO, TEXAS, KNOWN BY ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL THIS 24<sup>th</sup> DAY OF April, 2012 A.D.  
Arnelita E. Martinez, NOTARY PUBLIC IN AND FOR EL PASO COUNTY, TEXAS  
MY COMMISSION EXPIRES February 22, 2015

### CITY PLAN COMMISSION

THIS SUBDIVISION IS HEREBY APPROVED AS TO THE PLATTING AND AS TO THE CONDITIONS OF THE DEDICATION IN ACCORDANCE WITH CHAPTER 212 OF THE LOCAL GOVERNMENT CODE OF TEXAS THIS 5<sup>th</sup> DAY OF April, 2012 A.D.

APPROVED FOR FILING THIS 27<sup>th</sup> DAY OF April, 2012 A.D.  
CITY ENGINEER

### COUNTY CLERK'S RECORDING CERTIFICATE

I, LILIA M. BUENO, COUNTY CLERK OF EL PASO COUNTY, CERTIFY THAT THE PLAT BEARING THIS CERTIFICATE WAS FILED AND RECORDED UNDER THE INSTRUMENT NO. 2012030597 IN THE PLAT RECORDS OF THE EL PASO COUNTY.

BY: Deputy County Clerk

I HEREBY CERTIFY THAT THIS PLAT REPRESENTS A SURVEY MADE ON THE GROUND UNDER MY SUPERVISION AND IS IN COMPLIANCE WITH THE CURRENT TEXAS BOARD OF PROFESSIONAL LAND SURVEYING, PROFESSIONAL AND TECHNICAL STANDARDS, REGISTERED PUBLIC LAND SURVEYOR No. 2449

PREPARED BY AND UNDER THE SUPERVISION OF BRADLEY ROE, REGISTERED PROFESSIONAL ENGINEER No. 31886

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### NOTE: ALL LOTS ARE SUBJECT TO ONSITE PONDING

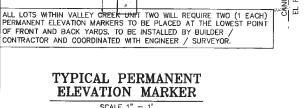
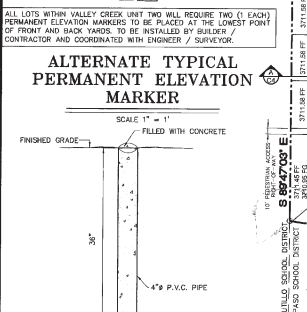
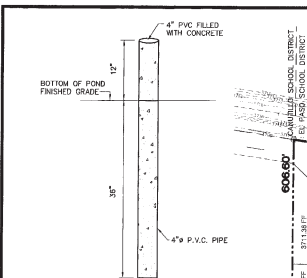
- All lots in the subdivision are subject to on-site ponding. Lot owners are responsible for maintaining adequate provisions to accommodate all stormwater runoff generated from their respective lots plus one half the runoff generated from all adjoining streets and all areas directly draining the lot. The pond depth and grading requirements are as approved (Grading and Drainage Plan) for the Subdivision.
- Each lot in Valley Creek Unit 2 will have a ponding basin to be constructed by a Geotechnical firm in consultation with a Professional Engineer designing a site ponding plan in order to obtain a building permit. The site plan will show that the ponding will have sufficient capacity to store each 100 year storm. The ponding provision will not be more than 12 inches in depth and will be located in 72 hours or less based on the best results. If the design criteria for ponding and detention capacity for stormwater detention methods must be part of the plan. Dry Ditch and stormwater attenuation wells with siltation basins for precipitation discharge are a few of the methods that can be used to provide for detention.
- Wells constructed abutting street right-of-ways shall be constructed with a series of drain pipes following the street runoff to be conveyed to the subject property.
- On-site ponding areas shall have maximum one (vertical) to three (horizontal) side slopes and a maximum depth of twelve (12) inches based on a one hundred year storm.
- Permanent elevation markers shall be installed to define the levels to be maintained to ensure the effectiveness of on-ponding. Permanent elevation markers shall not be removed, covered or altered without written permission from the City Engineer.
- The City and/or Applicant is granted permanent right of access to inspect the construction and permanent elevation markers.
- Filing or changing the pond or allowing the pond to be filled or changed to an elevation greater than established by the permanent elevation markers, is prohibited.
- On-site ponding areas and permanent elevation markers shall be constructed and inspected prior to building occupancy. Permanent Certificate of Occupancy required to obtain utility services, will be issued only after the City of El Paso has performed the inspection.
- No person shall be permitted to impair the functionality of an on-site pond. No more than fifty percent (50%) of the area of any residential lot conveyed by deed shall be covered by improvements, either temporary or permanent, which shall be limited to buildings, driveways, patios, decks or landscaping, including but not limited to grass seeding or other landscape maintenance.
- In the event that the functionality of an on-site pond becomes impaired whether by act of man or nature, the owner of the lot on which the impaired pond is located shall perform all corrective actions required to restore the functionality.
- Any owner notified in writing by the City Engineer of corrective actions required to restore the functionality of an on-site pond or drainage problem on the lot shall complete the corrective actions during the period of notice provided. However, notice shall not prevent the City from mandating an earlier time for commencement of completion during times of emergency, where there is imminent danger to public safety or property.
- Owner of property utilizing on-site ponding waives any claim of action against the City, its employees or contractors, for any death, injury or property damage resulting from alteration of the ponding capacity for that lot, including lack of maintenance.
- These on-site ponding requirements shall be enforced by inspection without the requirement of a bond or other security.
- The conveyance of property permitting on-site ponding shall constitute a conveyance in perpetuity, and that the property is subject to on-site ponding requirements, maintenance of elevation markers, standing water on lot, ingress and egress by inspection, as stated on the plat.

### GENERAL NOTES:

- POSTAL DELIVERY SERVICE WITHIN THE SUBDIVISION WILL BE PROVIDED USING A 1/8" BOREHOLE DELIVERY SERVICE AND COLLECTION BOX UNITS.
- SEEKINGS FOR ALL STREETS WITHIN AND ADJUTING THE SUBDIVISION WILL BE PROVIDED.
- RESTRICTIONS FOR THIS SUBDIVISION ARE FILED IN THE OFFICE OF THE COUNTY CLERK, DEED AND RECORDS SECTION, INSTRUMENT NO. 2012030597, DATE 4/25/12.
- ALL LOTS WITHIN THE SUBDIVISION ARE SUBJECT TO ONSITE PONDING OF STORM WATER AS PER THE EL PASO MUNICIPAL CODE, THE TYPICAL STREET AND LOT DRAINAGE SECTION MUST BE ADHERED TO AND IS SHOWN ON THE DRAINAGE PLANS ON FILE IN THE CITY OF EL PASO DEVELOPMENT SERVICES DEPARTMENT.
- ALL CURB, SIDEWALK ARE 30" AND ALL BLOCK CORNER RADIUS ARE 20' UNLESS OTHERWISE NOTED.
- TEN FOOT ACCESS AND IRRIGATION EASEMENT ALONG THE FRONT OF ALL LOTS UNLESS OTHERWISE NOTED.
- VEHICULAR ACCESS TO LOTS 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.
- SIGHT VISIBILITY EASEMENT: NO CONSTRUCTION OR PLANTS TALLER THAN 3 FEET SHALL BE ALLOWED.
- THIS IS TO CERTIFY THAT WATER AND SEWER SERVICES WILL BE PROVIDED TO VALLEY CREEK UNIT TWO BY THE EL PASO WATER UTILITIES SERVICE BOARD IN ACCORDANCE WITH THE RULES AND REGULATIONS AND WITH SECTION 13.043 OF THE TEXAS WATER CODE. WATER AND SEWER SERVICES WILL BE EXTENDED TO THE SUBDIVISION FROM EXISTING FACILITIES LOCATED ON GOMEZ ROAD, VALLEY MAPLE DRIVE AND VALLEY EIDER DRIVE AND WILL BE CONSTRUCTED TO SERVE THE SUBDIVISION ON DATE.
- \*TAX CERTIFICATES FOR THIS SUBDIVISION ARE FILED IN THE OFFICE OF THE COUNTY CLERK, DEED AND RECORDS SECTION, INSTRUMENT NO. 2012030597, DATE 4/25/12.

### CURVE TABLE

CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C1	20.00	31.83	20.22	14.54	S 45°19'45" E	90°39'30"
C2	351.97	107.04	33.24	106.63	S 41°00'45" E	172°52'27"
C3	300.76	169.02	88.81	166.80	N 24°44'03" E	327°13'34"
C4	56.90	74.74	48.32	28.17	S 83°50'55" E	83°50'55"
C5	56.90	98.19	64.89	84.79	N 40°30'00" E	88°24'50"
C6	320.97	194.44	99.77	191.97	S 83°50'55" E	177°59'04"
C7	168.15	255.11	122.80	254.86	S 64°16'58" W	84°00'50"
C8	56.90	98.56	66.60	79.62	S 45°19'45" E	90°39'30"
C9	1681.54	246.01	28.90	246.01	S 91°01'16" E	178°52'45"
C10	56.90	74.53	48.14	23.01	N 49°18'32" E	81°22'11"
C11	56.90	91.96	66.00	72.60	S 45°19'45" E	90°39'30"
C12	344.68	292.02	130.01	292.02	N 01°49'49" E	01°49'49"
C13	344.68	34.26	37.13	154.26	N 50°19'50" E	07°39'22"
C14	328.99	41.02	43.52	42.87	S 80°30'08" E	7°30'59"
C15	20.00	31.84	20.24	14.54	N 45°19'45" E	111°53'17"
C16	274.56	93.93	48.46	95.44	N 18°37'58" E	20°01'00"
C17	30.00	18.28	13.43	18.00	N 88°00'01" E	34°54'55"
C18	70.00	39.22	20.14	38.70	S 10°14'32" E	32°05'54"
C19	70.00	53.77	28.22	52.46	S 27°48'42" E	44°00'33"
C20	70.00	10.00	5.00	10.00	N 89°18'08" E	81°13'31"
C21	70.00	36.97	18.93	36.55	N 70°00'28" E	30°15'48"
C22	30.00	18.28	13.43	18.00	S 72°00'00" E	34°54'55"
C23	321.97	18.28	13.43	18.00	S 72°00'00"	



SEE SHEET C-5 OF C-26 FOR TYPICAL LOT GRADING LAYOUTS  
NOTE: ALL LOTS ARE SUBJECT TO ONSITE PONDING

- ONSITE PONDING NOTES:**
- All lots in the subdivision are subject to on-site ponding. Lot owners are responsible for maintaining adequate provisions to accommodate stormwater runoff generated from their respective lot area on the roof runoff generated from all existing street light always existing during the lot. The pond depth and grading requirements are as approved Grading and Drainage plan for the subdivision.
  - Each lot in Valley Creek Unit Two will have a penetration test by a Geotechnical firm in conjunction with a professional Engineer designing an on-site ponding area in order to obtain a holding permit. The plan will show that the ponding will have sufficient capacity for a 4 inch 100 year storm. The ponding provided will not be more than 12 inches in depth and will penetrate in 72 hours or less based on the test results. If the design criteria for ponding and penetration cannot be achieved then alternate methods must be part of the site plan. Storm water infiltration walls with sloped floor for percolation discharge are allowed if the methods that can be reviewed for approval.
  - Walk constructed existing street light-walls shall be constructed with a series of drain pipes allowing the street runoff to be conveyed to the subject property.
  - On-site ponding areas shall have maximum one (vertical) to three (horizontal) side slopes and a maximum depth of twelve (12) inches based on a one hundred year event.
  - Permanent elevation markers shall be installed 1 foot / 1 inch of each lot to define the levels to be established to assess the effectiveness of on-site ponding. Permanent elevation markers shall not be each, raised, lowered, broken or altered without written permission from the City Engineer.
  - The City and/or its Representative is granted permanent right of access to inspect the ponding areas and permanent elevation markers.
  - Filling or changing the pond, or allowing the pond to be filled or changed to an elevation greater than established by the permanent elevation markers, is prohibited.
  - On-site ponding areas and permanent elevation markers shall be constructed and inspected prior to building occupancy. Permanent Certificate of Occupancy, required to obtain utility services, will be issued only after the City Engineer has approved the ponding area.
  - No person shall be permitted to impair the functionality of an on-site pond. No person who is not a member (50% of the value of any residential lot conveyed by deed shall be covered by improvements, other than any person, provided, however, that nothing herein shall prevent the City Engineer from taking any action necessary to protect the public health, safety or general welfare, where the instrument grants the use of, in or on property.
  - In the event that the functionality of an on-site pond becomes impaired whether by soil from an adjacent lot, the owner of the lot on which the required pond is located shall maintain all concrete and/or other structures that are necessary to maintain the ponding capacity of the pond.
  - Any person notified in writing by the City Engineer of corrective actions required to restore the functionality of an on-site pond or drainage pond on the lot shall comply within five (5) calendar days of the date of notice. Provided, however, that nothing herein shall prevent the City Engineer from taking any action necessary to protect the public health, safety or general welfare, where the instrument grants the use of, in or on property.
  - Owner of property utilizing on-site ponding areas shall be liable for any damage to the ponding capacity for that lot, including such as:
    - 1. Any person who is not a member (50% of the value of any residential lot conveyed by deed shall be covered by improvements, other than any person, provided, however, that nothing herein shall prevent the City Engineer from taking any action necessary to protect the public health, safety or general welfare, where the instrument grants the use of, in or on property.
  - These on-site ponding requirements shall be enforced by injunctive relief without the requirement for bond or other security.
  - The conveyance of property pertaining to on-site ponding shall include in conspicuous language in the deed that the property is subject to on-site ponding requirements, maintenance of elevation markers, retaining water on lot, and ingress and egress to and from an adjacent lot on the same.

**FLOOD NOTE:**  
NOTE: THE ABOVE REFERENCED PROPERTY IS WITHIN ZONE "X", (EXPLANATION: AREAS OF 500-YEAR FLOOD, AREAS OF 100-YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE, AND AREAS PROTECTED BY LEVEES FROM 100-YEAR FLOODS) ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAPS, AS PER 44 USC 1601.05 (b) (2) (B) AND 44 USC 1601.05 (b) (2) (C). COMMUNITY PANEL NO. 480212 0125 B, DATED SEPTEMBER 4, 1995.

**GENERAL GRADING NOTES:**

- THIS GRADING PLAN SHALL BE COORDINATED WITH ALL APPLICABLE CONSTRUCTION DRAWINGS FOR IMPROVEMENTS AND LAYOUT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING IMPROVEMENTS IN THE PROJECT AREA AND ITS VICINITY. ANY DAMAGES RESULTING FROM CONTRACTOR'S CONSTRUCTION WORK SHALL BE RESTRICTED TO ITS ORIGINAL CONDITION BY THE CONTRACTOR.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING UTILITIES IN THE PROJECT AREA. CONTRACTOR SHALL CONTRACT UTILITY LOCATOR SERVICE FOR FIELD LOCATION OF ALL PRIOR TO COMMENCING WORK. ANY DAMAGES SHALL BE REPAIRED IN ACCORDANCE WITH THE REQUIREMENTS OF THE UTILITY OWNER BY THE CONTRACTOR.

**GENERAL NOTES:**

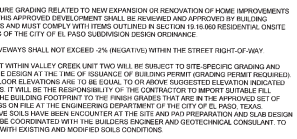
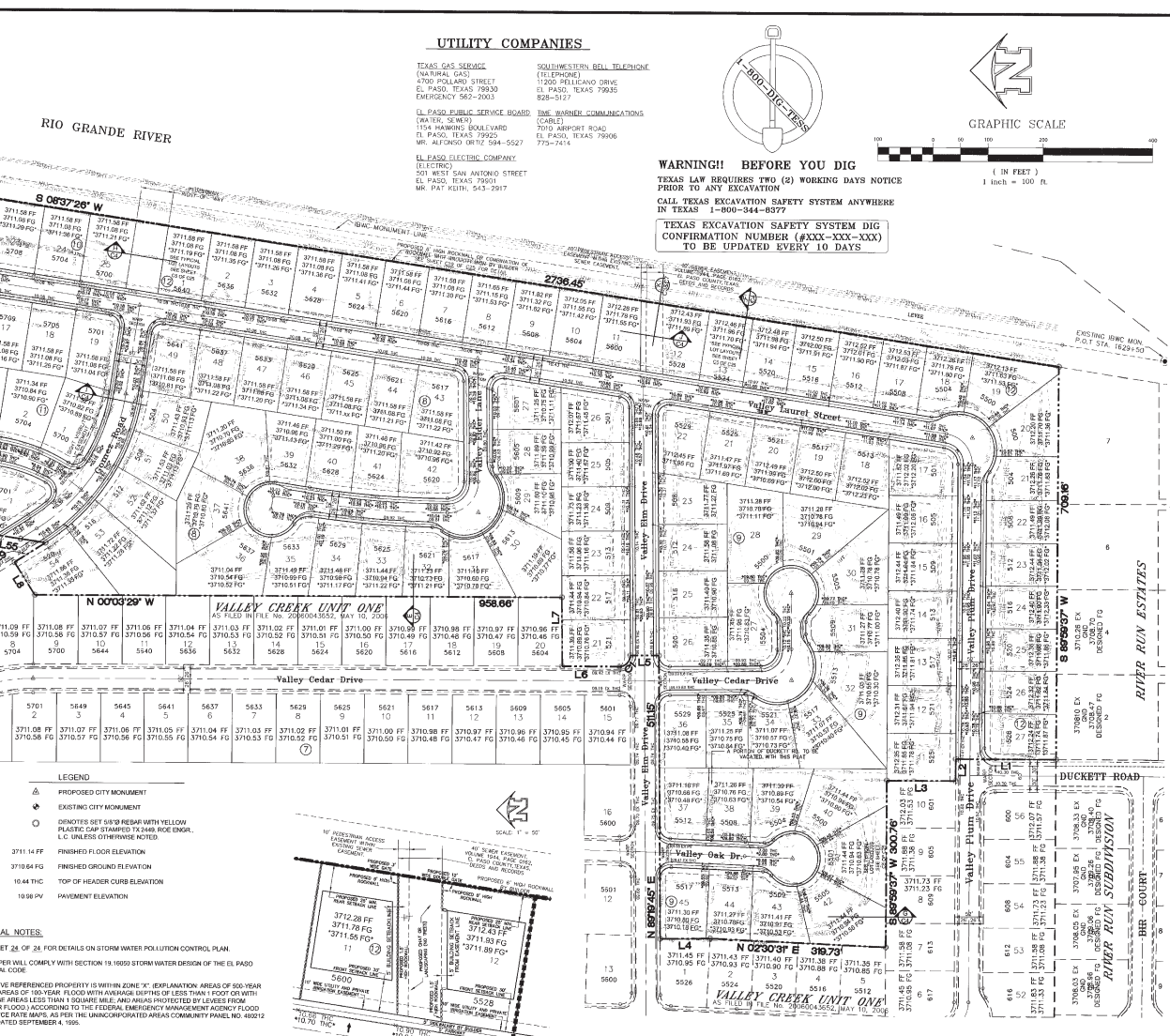
- SEE SHEET 28 OF 28 FOR DETAILS ON STORM WATER POLLUTION CONTROL PLAN.
- OWNER/OWNER WILL COMPLY WITH SECTION 19.16000 STORM WATER DESIGN OF THE EL PASO MUNICIPAL CODE.
- THE ABOVE REFERENCED PROPERTY IS WITHIN ZONE "X", (EXPLANATION: AREAS OF 500-YEAR FLOOD, AREAS OF 100-YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE, AND AREAS PROTECTED BY LEVEES FROM 100-YEAR FLOODS) ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAPS, AS PER 44 USC 1601.05 (b) (2) (B) AND 44 USC 1601.05 (b) (2) (C). COMMUNITY PANEL NO. 480212 0125 B, DATED SEPTEMBER 4, 1995.
- ANY FUTURE GRADING RELATED TO NEW EXPANSION OR RENOVATION OF HOME IMPROVEMENTS WITHIN THIS APPROVED DEVELOPMENT SHALL BE REVIEWED AND APPROVED BY BUILDING DEPARTMENT AND MUST COMPLY WITH THE OUTLINED IN SECTION 19.16000 RESIDENTIAL, ONSITE PONDING OF THE CITY OF EL PASO SUBORDINATE DESIGN ORDINANCE.
- ALL DRIVEWAYS SHALL NOT EXCEED -2% NEGATIVE WITHIN THE STREET RIGHT-OF-WAY.
- EACH LOT WITHIN VALLEY CREEK UNIT TWO WILL BE SUBJECT TO SITE SPECIFIC GRADING AND DRAINAGE DESIGN AT THE TIME OF SQUARE FOOT BUILDING PERMIT (GRADING PERMIT REQUIRED) FINISH FLOOR ELEVATIONS ARE TO BE EQUAL TO OR ABOVE SUGGESTED ELEVATION INDICATED ON PLANS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PREPARE A SET OF DRAINAGE DETAILS AT THE BUILDING DEPARTMENT OF THE CITY OF EL PASO. TYPICAL EXPANSIVE SOILS HAVE BEEN ENCOUNTERED AT THE SITE AND SOIL PREPARATION AND SOIL DESIGN SHOULD BE COORDINATED WITH THE BUILDING DEPARTMENT AND GEOTECHNICAL CONSULTANT TO COMPLY WITH EXISTING AND MODIFIED SOILS CONDITIONS.

**LEGEND:**

- PROPOSED CITY MONUMENT
- EXISTING CITY MONUMENT
- PERMITS SET 5/18/08 REPAIR WITH YELLOW PLASTIC CAR STAMPED TEXAS REGISTERED ENGINEER, L.C. UNLESS OTHERWISE NOTED.
- FINISHED FLOOR ELEVATION
- FINISHED GROUND ELEVATION
- TOP OF HEADER CURB ELEVATION
- PAVEMENT ELEVATION

**GENERAL NOTES:**

- SEE SHEET 28 OF 28 FOR DETAILS ON STORM WATER POLLUTION CONTROL PLAN.
- OWNER/OWNER WILL COMPLY WITH SECTION 19.16000 STORM WATER DESIGN OF THE EL PASO MUNICIPAL CODE.
- THE ABOVE REFERENCED PROPERTY IS WITHIN ZONE "X", (EXPLANATION: AREAS OF 500-YEAR FLOOD, AREAS OF 100-YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE, AND AREAS PROTECTED BY LEVEES FROM 100-YEAR FLOODS) ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAPS, AS PER 44 USC 1601.05 (b) (2) (B) AND 44 USC 1601.05 (b) (2) (C). COMMUNITY PANEL NO. 480212 0125 B, DATED SEPTEMBER 4, 1995.
- ANY FUTURE GRADING RELATED TO NEW EXPANSION OR RENOVATION OF HOME IMPROVEMENTS WITHIN THIS APPROVED DEVELOPMENT SHALL BE REVIEWED AND APPROVED BY BUILDING DEPARTMENT AND MUST COMPLY WITH THE OUTLINED IN SECTION 19.16000 RESIDENTIAL, ONSITE PONDING OF THE CITY OF EL PASO SUBORDINATE DESIGN ORDINANCE.
- ALL DRIVEWAYS SHALL NOT EXCEED -2% NEGATIVE WITHIN THE STREET RIGHT-OF-WAY.
- EACH LOT WITHIN VALLEY CREEK UNIT TWO WILL BE SUBJECT TO SITE SPECIFIC GRADING AND DRAINAGE DESIGN AT THE TIME OF SQUARE FOOT BUILDING PERMIT (GRADING PERMIT REQUIRED) FINISH FLOOR ELEVATIONS ARE TO BE EQUAL TO OR ABOVE SUGGESTED ELEVATION INDICATED ON PLANS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PREPARE A SET OF DRAINAGE DETAILS AT THE BUILDING DEPARTMENT OF THE CITY OF EL PASO. TYPICAL EXPANSIVE SOILS HAVE BEEN ENCOUNTERED AT THE SITE AND SOIL PREPARATION AND SOIL DESIGN SHOULD BE COORDINATED WITH THE BUILDING DEPARTMENT AND GEOTECHNICAL CONSULTANT TO COMPLY WITH EXISTING AND MODIFIED SOILS CONDITIONS.

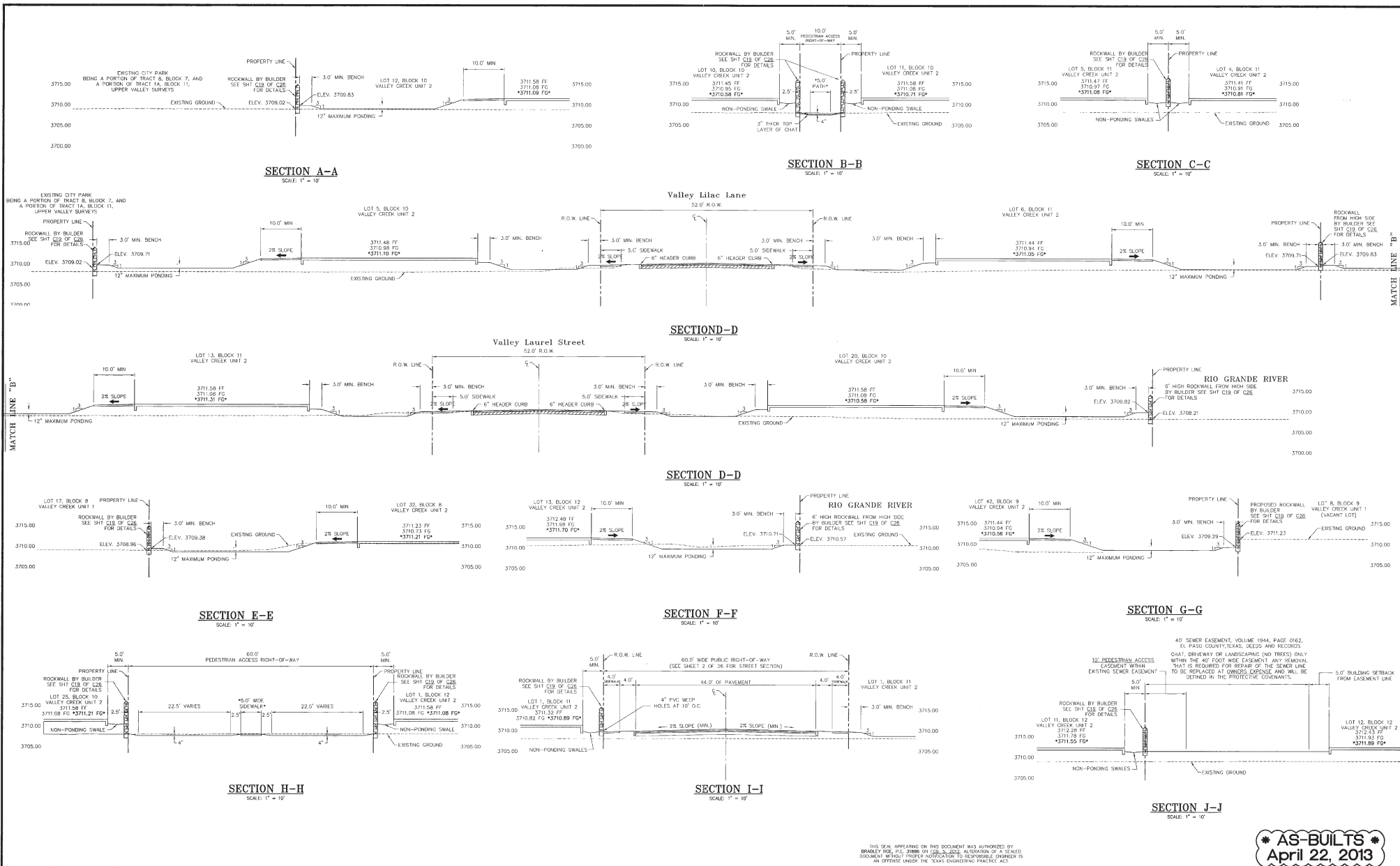


**PLAN VIEW SECTION "K" 40" WIDE SEWER EASEMENT LAYOUT**

LINE	BEARING	LENGTH
1	N 00°00'00" E	1.00
2	S 89°59'59" W	1.00
3	N 00°00'00" E	1.00
4	S 89°59'59" W	1.00
5	N 00°00'00" E	1.00
6	S 89°59'59" W	1.00
7	N 00°00'00" E	1.00
8	S 89°59'59" W	1.00
9	N 00°00'00" E	1.00
10	S 89°59'59" W	1.00
11	N 00°00'00" E	1.00
12	S 89°59'59" W	1.00
13	N 00°00'00" E	1.00
14	S 89°59'59" W	1.00
15	N 00°00'00" E	1.00
16	S 89°59'59" W	1.00
17	N 00°00'00" E	1.00
18	S 89°59'59" W	1.00
19	N 00°00'00" E	1.00
20	S 89°59'59" W	1.00
21	N 00°00'00" E	1.00
22	S 89°59'59" W	1.00
23	N 00°00'00" E	1.00
24	S 89°59'59" W	1.00
25	N 00°00'00" E	1.00
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97	N 00°00'00" E	1.00
98	S 89°59'59" W	1.00
99	N 00°00'00" E	1.00
100	S 89°59'59" W	1.00

**CURVE TABLE**

CURVE	BEARING	LENGTH	CHORD	DELTA
1	N 00°00'00" E	1.00	1.00	0°00'00"
2	S 89°59'59" W	1.00	1.00	0°00'00"
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7	N 00°00'00" E	1.00	1.00	0°00'00"
8	S 89°59'59" W	1.00	1.00	0°00'00"
9	N 00°00'00" E	1.00	1.00	0°00'00"
10	S 89°59'59" W	1.00	1.00	0°00'00"
11	N 00°00'00" E	1.00	1.00	0°00'00"
12	S 89°59'59" W	1.00	1.00	0°00'00"
13	N 00°00'00" E	1.00	1.00	0°00'00"
14	S 89°59'59" W	1.00	1.00	0°00'00"
15	N 00°00'00" E	1.00	1.00	0°00'00"
16	S 89°59'59" W	1.00	1.00	0°00'00"
17	N 00°00'00" E	1.00	1.00	0°00'00"
18	S 89°59'59" W	1.00	1.00	0°00'00"
19	N 00°00'00" E	1.00	1.00	0°00'00"
20	S 89°59'59" W	1.00	1.00	0°00'00"
21	N 00°00'00" E	1.00	1.00	0°00'00"
22	S 89°59'59" W	1.00	1.00	0°00'00"
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24	S 89°59'59" W	1.00	1.00	0°00'00"
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32	S 89°59'59" W	1.00	1.00	0°00'00"
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53	N 00°00'00" E	1.00	1.00	0°00'00"
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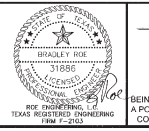
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**FLOOD NOTE:**

NOTE: THE ABOVE REFERENCED PROPERTY IS WITHIN ZONE "X". (EXPLANATION: AREAS OF 500-YEAR FLOOD AREAS OF 100-YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE, AND AREAS PROTECTED BY LEVERS FROM 100-YEAR FLOOD) ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAPS, AS PER THE UNINCORPORATED AREAS COMMUNITY PANEL NO. 48012 0125 B, DATED SEPTEMBER 4, 1995.

DATE	REVISIONS	BY

PRIMARY BENCHMARK	SCALE
EXISTING CITY MONUMENT LOCATED ALONG THE CENTERLINE OF COUNTY CEMETERY DRIVE AT THE NORTH END OPPOSITE LOT 9, BLOCK 2, RIVER RUN ESTATES ELEVATION: 3705.40 (CITY DATUM)	HOR: AS SHOWN, VER: AS SHOWN FILE NAME: CDD-VDG-2.GRD W.O. 080111-5 DATE: FEBRUARY, 2012 DESIGN BY: LAJ/HP DRAWN BY: L.A.J./S.R. CHKD. BY: H.P. APPD. BY: BR
SECONDARY BENCHMARK	
EXISTING CITY MONUMENT LOCATED ALONG THE CENTERLINE OF VALLEY CREEK DRIVE AT THE PT OF CURVE IN FRONT OF LOT 2, BLOCK 7, VALLEY CREEK UNIT ONE ELEVATION: 3705.42 (CITY DATUM)	



**VALLEY CREEK UNIT TWO**

**GRADING SECTIONS**

BEING A PORTION OF OF TRACTS 8 AND 9, BLOCK 7, UPPER VALLEY SURVEYS, AND A PORTION OF BUCKEY ROAD CITY OF EL PASO, TEXAS, EL PASO COUNTY, TEXAS CONTAINING IN ALL 1,831.953 07 sq. ft. OR 44.3515 acres OF LAND MORE OR LESS

**AS-BUILTS**  
April 22, 2013

**Pro Engineering, L.C.**  
801 N. GARDNER @ STATE ROAD 88, EL PASO, TEXAS 79906  
(915) 533-1418 • FAX: (915) 533-4972  
#1-888-704-8888

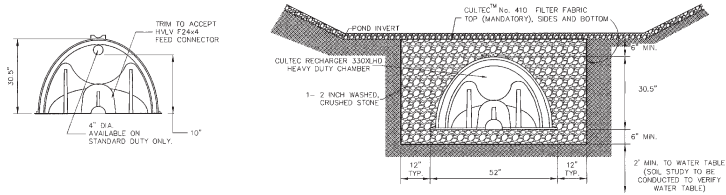
ENGINEERING/LAND DEVELOPMENT/PLANNING/SURVEYING

SHEET **C-4** OF **C-26**

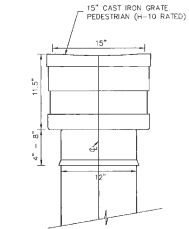
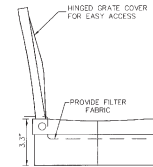
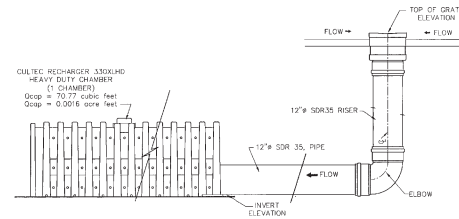
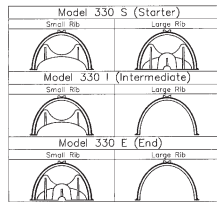
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**CULTEC RECHARGER 330XLHD CHAMBER SYSTEM  
TYPICAL CROSS SECTION DETAIL OR APPROVED EQUAL**



REFER TO CULTEC, INC.'S CURRENT RECOMMENDED INSTALLATION GUIDELINES.  
ALL RECHARGER 330XLHD HEAVY DUTY UNITS ARE MARKED WITH A COLOR STRIPE FORMED INTO THE PART ALONG THE LENGTH OF THE CHAMBER.



**GENERAL NOTES**

RECHARGER 330XLHD BY CULTEC, INC. OF BROOKFIELD, CT.  
**CULTEC, Inc.**  
P.O. Box 280  
878 Federal Road  
Brookfield, CT 06804 USA  
PH: (203) 775-4416  
PH: (800) 4-CULTEC  
FX: (203) 775-1462  
www.cultec.com

**CULTEC RECHARGER 330 SECTION VIEW**

<b>CULTEC Contactor® and Recharger® Plastic Septic and Stormwater Chambers</b>	
DATE 3/23/05	SCALE N/S
FILENAME	

**NOTES:**

1. ALL RECHARGER 330 XLHD STORAGE CHAMBERS OR APPROVED EQUAL MUST BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.
2. ALL RECHARGER 330 XLHD STORAGE CHAMBERS OR APPROVED EQUAL TO BE OWNED, OPERATED AND MAINTAINED BY THE PROPERTY OWNER.
3. ALL RECHARGER 330 XLHD STORAGE CHAMBERS OR APPROVED EQUAL MUST BE DESIGNED BY A LICENSED PROFESSIONAL ENGINEER, ENGINEER TO DETERMINE THE AMOUNT OF STORAGE CHAMBERS NEEDED TO COMPLY WITH THE CITY OF EL PASO 72 HOUR STANDING WATER ORDINANCE, 12" MAXIMUM PONDING AND THE REQUIRED CAPACITY FOR THE LOT BEING DEVELOPED.
4. STORAGE CHAMBERS SHALL ONLY BE USED IF ONSITE PONDING IS NOT SUFFICIENT TO HANDLE THE REQUIRED CAPACITY.



**15" CAST IRON GRATE**

**15" INLINE DRAIN**

THIS SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY  
BRADLEY ROE, P.E. 21886 ON FEB. 2, 2012. ALTERATION OF A SEALED  
DOCUMENT WITHOUT PROPER NOTIFICATION TO RESPONSIBLE ENGINEER IS  
AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.



**VALLEY CREEK UNIT TWO**  
**UNDERGROUND STORAGE  
CHAMBERS FOR ADDED CAPACITY**

**AS-BUILTS**  
**April 22, 2013**

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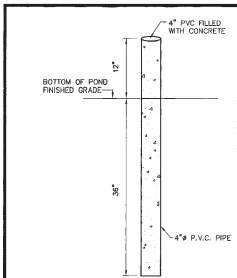
**FLOOD NOTE:**  
NOTE: THE ABOVE REFERENCED PROPERTY IS WITHIN ZONE "X" (EXPLANATION: AREAS OF 200-YEAR FLOOD, AREAS OF 100-YEAR FLOOD WITH ANIMATE DEPTH OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE, AND AREAS PROTECTED BY LEASES FROM 100-YEAR FLOOD) ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAPS, AS PER THE UNINCORPORATED AREAS COMMUNITY PANEL NO. 48027 0725 B, DATED SEPTEMBER 4, 1995.

DATE	REVISIONS	BY	PRIMARY BENCHMARK	SCALE
			EXISTING CITY MONUMENT LOCATED ALONG THE CENTERLINE OF VALLEY CREEK DRIVE AT THE NORTH HEEL OPPOSITE LOT 9, BLOCK 2, RIVER RUN ESTATES ELEVATION: 3708.40 (CITY DATUM)	HOR: AS SHOWN, VER: AS SHOWN FILE NAME: CULTEC UNDERLAND CHAMBERS W.O.: 080811-5 DATE: FEBRUARY, 2012 DESIGN BY: LAJ/HP DRAWN BY: L.A.J./S.R. CHKD. BY: H.P. APP'D. BY: BR.
			SECONDARY BENCHMARK EXISTING CITY MONUMENT LOCATED ALONG THE CENTERLINE OF VALLEY CREEK DRIVE AT THE PT OF CURVE IN FRONT OF LOT 2, BLOCK 7, VALLEY CREEK UNIT ONE ELEVATION: 3708.42 (CITY DATUM)	

BEING A PORTION OF OF TRACTS 8 AND 9, BLOCK 7, UPPER VALLEY SURVEYS, AND A PORTION OF DUCKETT ROAD, CITY OF EL PASO, TEXAS, EL PASO COUNTY, TEXAS CONTAINING IN ALL 1,931,953.07 sq. ft. OR 44,3515 acres OF LAND MORE OR LESS

**hnp** Roe Engineering, L.C.  
801 N. Dallas St., Suite No. 9 33 Paso, Tx. 79902  
(817) 883-1418 - FAX (817) 883-4972  
e-mail: rroee@hnpelc.com  
ENGINEERING/LAND DEVELOPMENT/PLANNING/SURVEYING  
SHEET **C6** OF **C-26**

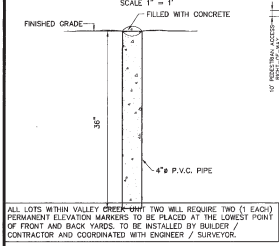
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ALL LOTS WITHIN VALLEY CREEK UNIT TWO WILL REQUIRE TWO (2) EACH PERMANENT ELEVATION MARKERS TO BE PLACED AT THE LOWEST POINT OF FRONT AND BACK YARDS. TO BE INSTALLED BY BUILDER / CONTRACTOR AND COORDINATED WITH ENGINEER / SURVEYOR.

**ALTERNATE TYPICAL PERMANENT ELEVATION MARKER**

SCALE 1" = 1'



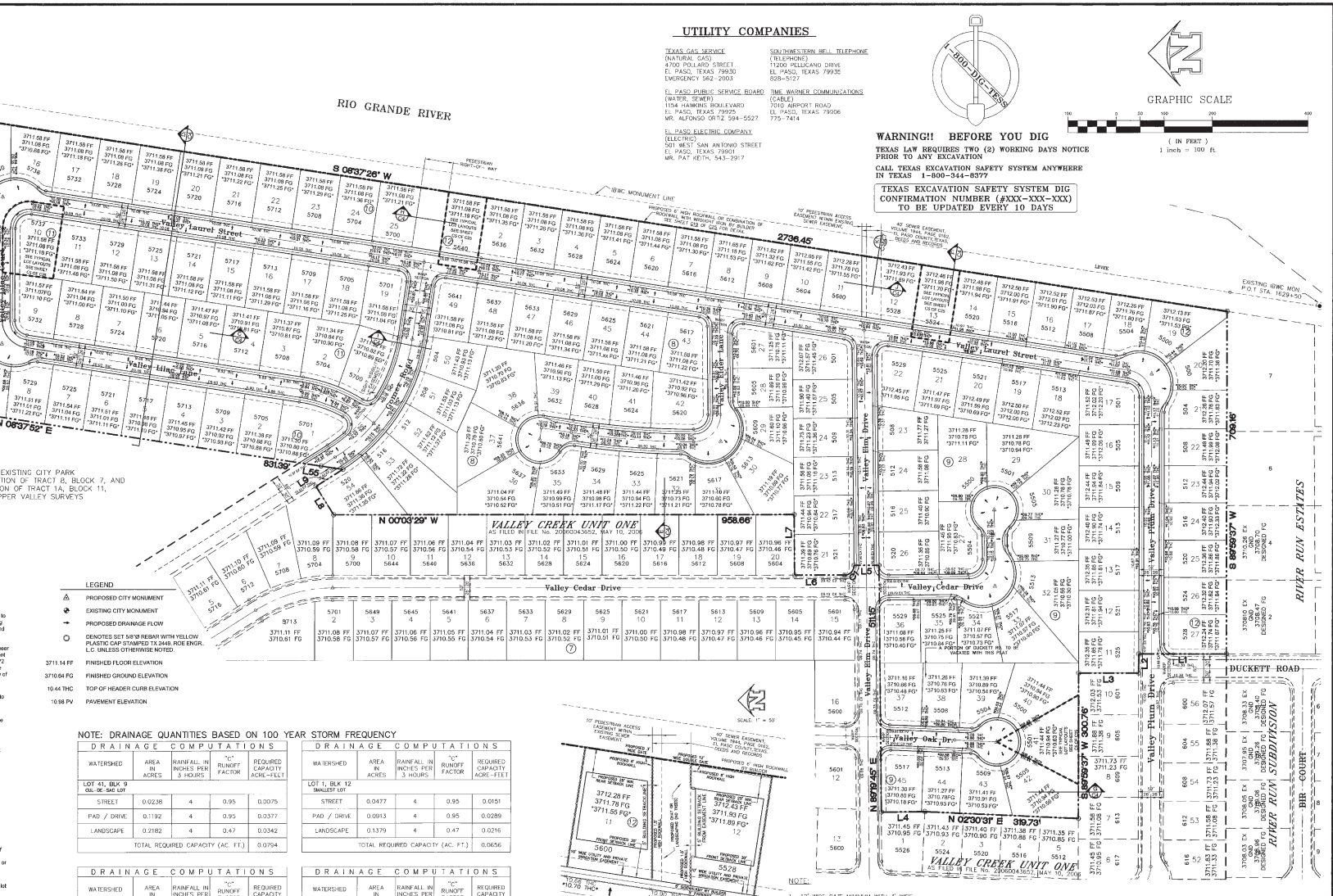
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**TYPICAL PERMANENT ELEVATION MARKER**

SCALE 1" = 1'

SEE SHEET C-5 OF C-26 FOR TYPICAL LOT GRADING LAYOUTS  
NOTE: ALL LOTS ARE SUBJECT TO ONSITE PONDING

- ON-SITE PONDING NOTES:**
- All lots in the subdivision are subject to on-site ponding. Lot owners are responsible for maintaining adequate provisions to accommodate all stormwater runoff generated from their respective lots and on-site lot runoff generated from all existing and proposed drainage facilities. The pond depth and lot grading requirements are as per approved Grading and Drainage plan for the subdivision.
  - Each lot in Valley Creek Unit Two shall have a penetration test by a geotechnical firm in conjunction with a professional Engineer designed as a site ponding plan in order to obtain a building permit. The plan will show that the ponding will have sufficient capacity for a 100-year flood. If the ponding is not sufficient, the owner shall be responsible for providing additional capacity for a 100-year flood. If the design criteria for ponding and permeation cannot be achieved, then alternate methods must be used to the plan. Stormwater infiltration wells with closed sumps for permeation discharge are one of the methods that can be reviewed for approval.
  - With constructed retaining walls, light-duty walls shall be constructed with a series of drain pipes allowing the street runoff to be conveyed to the subject property.
  - On-site ponding areas shall have minimum one (1) vertical to three (3) horizontal side slopes and a maximum depth of levee (12) inches based on a one hundred year storm.
  - Permanent elevation markers shall be installed total 1 foot x 1 inch of each lot to define the levels to be maintained to ensure the effectiveness of on-site ponding. Permanent elevation markers shall not be moved, covered, or placed without written permission from the City Engineer.
  - The City and/or its Representative is granted permanent right of access to inspect the ponding areas and permanent elevation markers.
  - Filling or changing the pond, or allowing the pond to be filled or changed to an elevation greater than established by the permanent elevation markers, is prohibited.
  - On-site ponding areas and permanent elevation markers shall be constructed and inspected prior to building occupancy. Permanent Certificates of Occupancy, required to obtain utility services, will be issued only after the City of El Paso has approved the inspection.
  - No person shall be permitted to impair the functionality of an on-site pond. No more than fifty percent (50%) of the area of any residential or commercial lot shall be covered by impervious surfaces, either temporary or permanent, including but not limited to, buildings, driveways, patios, decks or landscaping including with plastic sheathing or other impermeable material.
  - In the event that the functionality of an on-site pond becomes impaired whether by lot of man or nature, the owner of the lot on which the impaired pond is located shall perform all corrective actions required to restore the functionality.
  - Any owner notified in writing by the City Engineer of corrective actions required to restore the functionality of an on-site pond or drainage problem on the lot shall comply within forty-two calendar days of receipt of such notice, provided, however, that nothing herein shall prevent the City from commencing an action for enforcement of completion of completion of drainage of drainage, where there is imminent danger of loss of life, limb or property.
  - Owner of property utilizing on-site ponding waives any claim or cause of action against the City, EPPWA-PBS, officials or employees, for any death, injury or property damage resulting from alteration of the ponding capacity for that lot, including lack of maintenance.
  - These on-site ponding requirements shall be enforced by injunctive relief without the requirement for bond or other security.
  - The conveyance of property permitting on-site ponding shall declare in conspicuous language in the deed that the property is subject to on-site ponding requirements, maintenance of elevation markers, retaining walls or lot, and requires an agreement to inspection as stated on this plan.



**NOTE: DRAINAGE QUANTITIES BASED ON 100 YEAR STORM FREQUENCY**

DRAINAGE COMPUTATIONS				DRAINAGE COMPUTATIONS					
WATERSHED	AREA IN ACRES	RAINFALL IN INCHES PER 3 HOURS	REQUIRED CAPACITY ACRE-FOOT	WATERSHED	AREA IN ACRES	RAINFALL IN INCHES PER 3 HOURS	REQUIRED CAPACITY ACRE-FOOT		
LOT 41, BLK 9 541-546 SF	0.0238	4	0.95	0.0075	LOT 1, BLK 12 5657-5670 SF	0.0477	4	0.95	0.0151
PAD / DRIVE	0.1192	4	0.95	0.0377	STREET / DRIVE	0.0913	4	0.95	0.0289
LANDSCAPE	0.2182	4	0.47	0.0342	LANDSCAPE	0.1379	4	0.47	0.0216
TOTAL REQUIRED CAPACITY (AC. FT.) 0.0794				TOTAL REQUIRED CAPACITY (AC. FT.) 0.0656					

DRAINAGE COMPUTATIONS				DRAINAGE COMPUTATIONS					
WATERSHED	AREA IN ACRES	RAINFALL IN INCHES PER 3 HOURS	REQUIRED CAPACITY ACRE-FOOT	WATERSHED	AREA IN ACRES	RAINFALL IN INCHES PER 3 HOURS	REQUIRED CAPACITY ACRE-FOOT		
LOT 10, BLK 11 5089 SF	0.0900	4	0.95	0.0245	LOT 13, BLK 12 5671-5674 SF	0.0477	4	0.95	0.0151
PAD / DRIVE	0.0775	4	0.95	0.0347	STREET / DRIVE	0.1096	4	0.95	0.0347
LANDSCAPE	0.2263	4	0.47	0.0355	LANDSCAPE	0.1196	4	0.47	0.0187
TOTAL REQUIRED CAPACITY (AC. FT.) 0.0885				TOTAL REQUIRED CAPACITY (AC. FT.) 0.0685					

WATERSHED LOTS: LOT AREA PLUS HALF OF THE STREET IN FRONT OF LOT. (SAME WIDTH AS THE LOT).  
CORNER LOTS: ARE THE LOT AREA PLUS HALF THE STREET IN FRONT AND ON THE SIDE OF THE LOT.



**PLAN VIEW SECTION "K"  
40' WIDE SEWER EASEMENT LAYOUT**

NOTE: 12' WIDE GATE MINIMUM WITH 3' WIDE PEDESTRIAN GATE.

CHAT, DRIVEWAY OR LANDSCAPING (NO TREE) ONE (1) YEAR AFTER THE 40' FOOT EASEMENT. ANY REMOVAL THAT IS REQUIRED FOR REPAIR OF THE SEWER LINE TO BE REPLACED AT OWNER'S EXPENSE AND WILL BE DEFINED IN THE PROTECTIVE COVENANTS.

4. NO OVERTHROW OVER EASEMENT AND A MINIMUM OF 5' SETBACK FROM EASEMENT.

**CURVE TABLE**

LINE NO.	BEARING	LENGTH	CHORD	BEARING	DELTA
1	S 89° 00' 00" E	10.00	10.00	89° 00' 00"	90.00
2	S 89° 00' 00" E	10.00	10.00	89° 00' 00"	90.00
3	S 89° 00' 00" E	10.00	10.00	89° 00' 00"	90.00
4	S 89° 00' 00" E	10.00	10.00	89° 00' 00"	90.00
5	S 89° 00' 00" E	10.00	10.00	89° 00' 00"	90.00
6	S 89° 00' 00" E	10.00	10.00	89° 00' 00"	90.00
7	S 89° 00' 00" E	10.00	10.00	89° 00' 00"	90.00
8	S 89° 00' 00" E	10.00	10.00	89° 00' 00"	90.00
9	S 89° 00' 00" E	10.00	10.00	89° 00' 00"	90.00
10	S 89° 00' 00" E	10.00	10.00	89° 00' 00"	90.00

<b>FLOOD NOTE:</b>	<b>DATE</b>	<b>REVISIONS</b>	<b>BY</b>	<b>PRIMARY BENCHMARK</b>	<b>SCALE</b>
NOTE: THE ABOVE REFERENCED FLOOD IS WITHIN ZONE "X". (EXPLANATION: AREAS OF 100-YEAR FLOOD RISK WITH AVERAGE DEPTH OF FEET LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE, AND AREAS PROTECTED BY LEVELS FROM THE FLOOD INSURANCE RATE MAPS, AND ARE PROTECTED BY AGENCY FLOOD INSURANCE RATE MAPS, AS PER THE UNINCORPORATED AREAS COMMUNITY PANEL NO. 49272 0225 E, DATED SEPTEMBER 4, 1995.				EXISTING CITY MONUMENT LOCATED ALONG THE CENTERLINE OF COUNTY ROAD 607, BLOCK 7, UPPER VALLEY SURVEYS, NORTH NEEL OPPOSITE LOT 9, BLOCK 2, RIVER RUN ESTATES. ELEVATION: 3708.40 (CITY DATUM)	HOR: 1" = 100'. VERT: AS SHOWN FILE NAME: C08-VIC-02-DP.DWG W.D.: 080811-5
				EXISTING CITY MONUMENT LOCATED ALONG THE CENTERLINE OF VALLEY CEDAR DRIVE AT THE PT OF CURVE IN FRONT OF LOT 2, BLOCK 7, VALLEY CREEK UNIT ONE. ELEVATION: 3709.42 (CITY DATUM)	DESIGN BY: L.A.J./S.R. DRAWN BY: H.P./J.R. CHKD BY: H.P./J.R. APTD. BY: S.R.

**VALLEY CREEK UNIT TWO  
DRAINAGE PLAN**

BEING A PORTION OF OF TRACTS 8 AND 9, BLOCK 7, UPPER VALLEY SURVEYS, AND A PORTION OF BUCKETT ROAD CITY OF EL PASO COUNTY, TEXAS CONTAINING IN ALL 1,931,953.07 SQ. FT. OR 44,351.55 ACRES OF LAND MORE OR LESS.

AS-BUILTS  
April 22, 2013

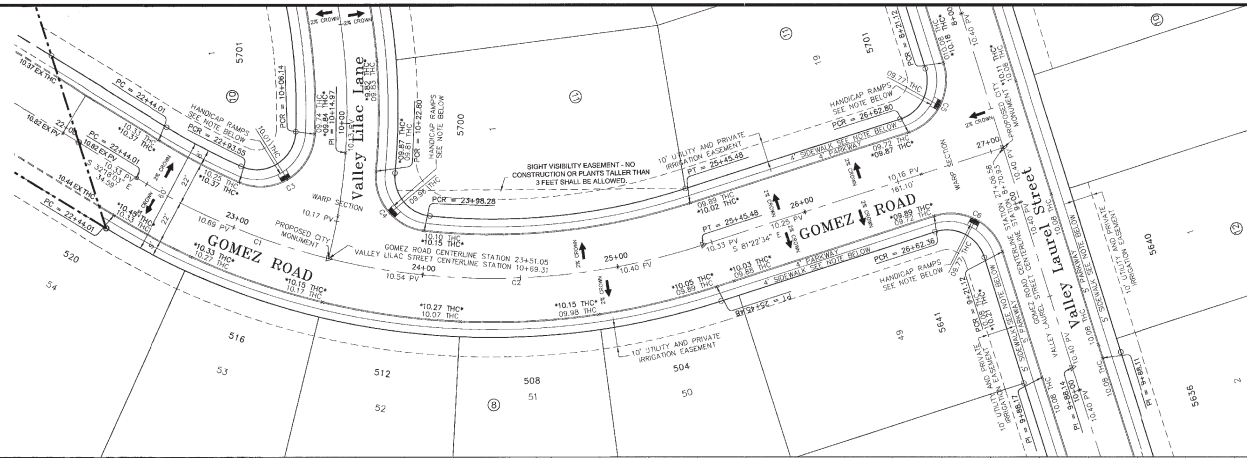
**RoE Engineering, L.C.**  
201 N. Cotton St. Suite No. 6 E. El Paso, TX, 79902  
(915) 533-1418 - FAX: (915) 533-4972  
e-mail: roe@roe-engineering.com

ENGINEERING AND DEVELOPMENT/PLANNING/SURVEYING  
SHEET C-7 OF C-26



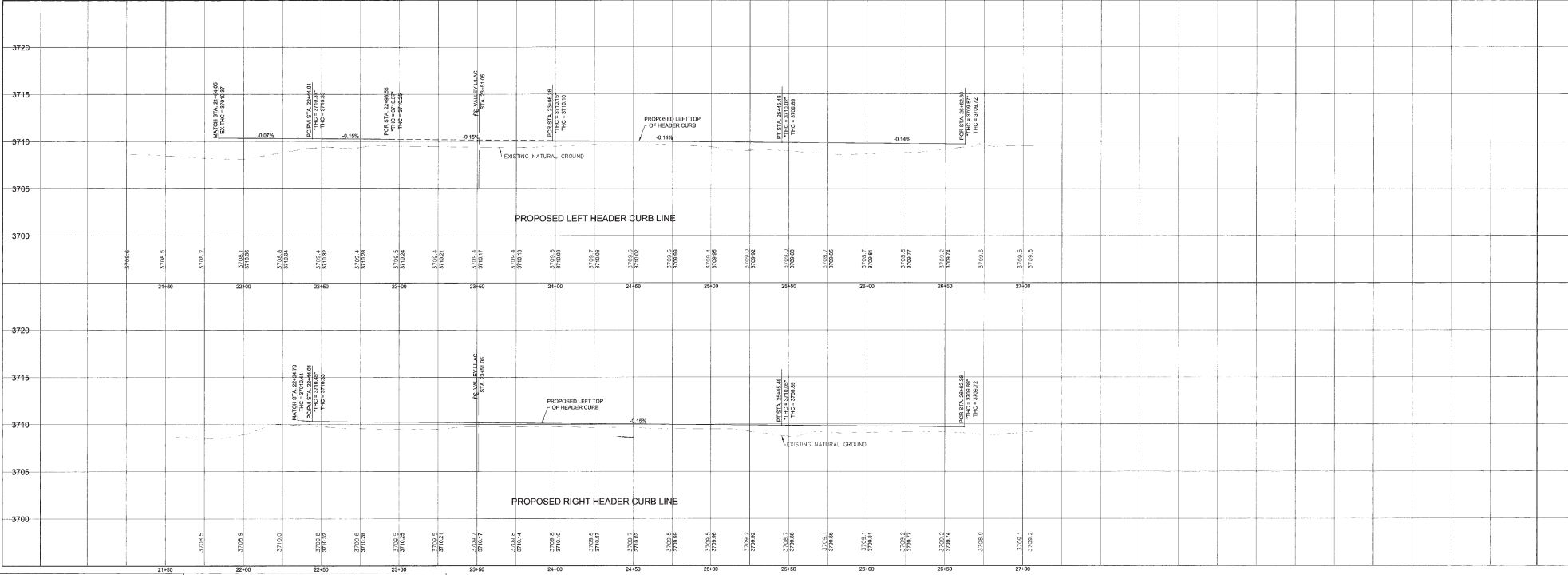


HORIZONTAL SCALE: 1" = 30'  
VERTICAL SCALE: 1" = 5'



CURVE TABLE						
CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DLTA
C1	351.97	107.04	53.94	106.83	S 41°00'46" E	17°52'22"
C2	261.97	194.44	99.77	191.27	S 62°33'02" E	31°59'04"
C3	28.00	54.16	40.81	46.10	N 84°33'06" E	11°09'30"
C4	28.00	43.89	27.70	39.89	S 17°45'08" E	8°23'30"
C5	28.00	43.89	27.86	39.94	N 54°44'54" E	35°43'03"
C6	28.00	44.10	28.12	32.68	N 38°53'06" W	9°04'57"

NOTE:  
1. ALL HANDICAP RAMPS WITH INDECKING ARE TO BE BUILT BY DEVELOPER UNLESS OTHERWISE NOTED. SEE DETAILS IN SHEET C-26 OF C-26.  
2. ALL SIDEWALKS WITH INDECKING ARE TO BE BUILT BY BUILDER UNLESS OTHERWISE NOTED. SEE DETAILS IN SHEET C-26 OF C-26.



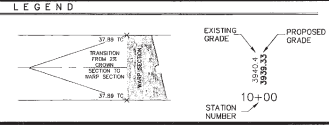
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**FLOOD NOTE:**  
THE ABOVE REFERENCED SUBDIVISION IS WITHIN ZONE "X" (SUSCEPTIBLE ZONE "X" AREAS OF 500-YEAR FLOOD AREAS OF 100-YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH GRASS AREAS LESS THAN 1 SQUARE MILE. AREAS PROTECTED BY LEVEES FROM 100-YEAR FLOOD) ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP, AS FOR THE UNINCORPORATED AREAS COMMUNITY PANEL NO. 480922 250 B DATED SEPTEMBER 4, 1991.

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY BRADLEY ROE, P.E. 37886 ON JUNE 15, 2011. ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.

**\* AS-BUILTS \***  
**April 22, 2013**

- LEGEND**
- 44.51 THC PROPOSED TOP OF HEADER CURB
  - 44.27 FTG PROPOSED FINISHED GRADE ELEVATION
  - 45.00 FV PROPOSED TOP OF PAVEMENT
  - 44.51 TP PROPOSED TOP OF PAD ELEVATION
  - PROPOSED DRAINAGE FLOW
  - PROPOSED STREET CENTERLINE
  - SUBDIVISION BOUNDARY LINE
  - PROPOSED CITY MONUMENT
  - PROPOSED HIGH POINT
  - PROPOSED LOW POINT



DATE	REVISIONS	BY

**PRIMARY BENCHMARK**  
EXISTING CITY MONUMENT LOCATED ALONG THE CENTERLINE OF COUNTY ROAD DRIVE AT THE NORTH HEEL OPPOSITE LOT 9, BLOCK 2, RIVER RUN ESTATES  
ELEVATION: 3708.40 (CITY DATUM)

**SECONDARY BENCHMARK**  
EXISTING CITY MONUMENT LOCATED ALONG THE CENTERLINE OF VALLEY CREEK DRIVE AT THE PT OF CURVE IN FRONT OF LOT 2, BLOCK 7, VALLEY CREEK UNIT ONE  
ELEVATION: 3709.42 (CITY DATUM)

**SCALE**  
HOR: AS SHOWN, VER: AS SHOWN  
FILE NAME: 080811-5  
DATE: 08/08/11  
DESIGN BY: LAJ/HP  
DRAWN BY: L.A.J./S.R.  
CHKD. BY: H.P.  
APP'D. BY: BR



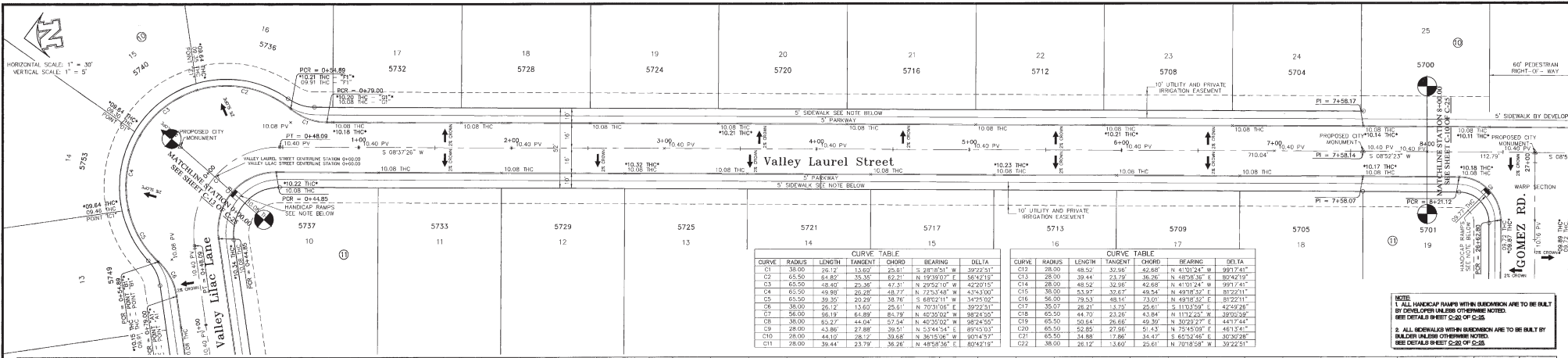
**VALLEY CREEK UNIT TWO**  
**GOMEZ ROAD**  
**STATION 22+09.42 TO 27+06.58**

BEING A PORTION OF OF TRACTS 8 AND 9, BLOCK 7, UPPER VALLEY SURVEYS, AND A PORTION OF DUCKETT ROAD CITY OF EL PASO, TEXAS, EL PASO COUNTY, TEXAS CONTAINING IN ALL 1,831,953.07 sq. ft. OR 44.3515 acres OF LAND MORE OR LESS

**Proe Engineering, L.C.**  
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(915) 533-1418 - FAX: (915) 533-4972  
e-mail: proe@proeengineer.com

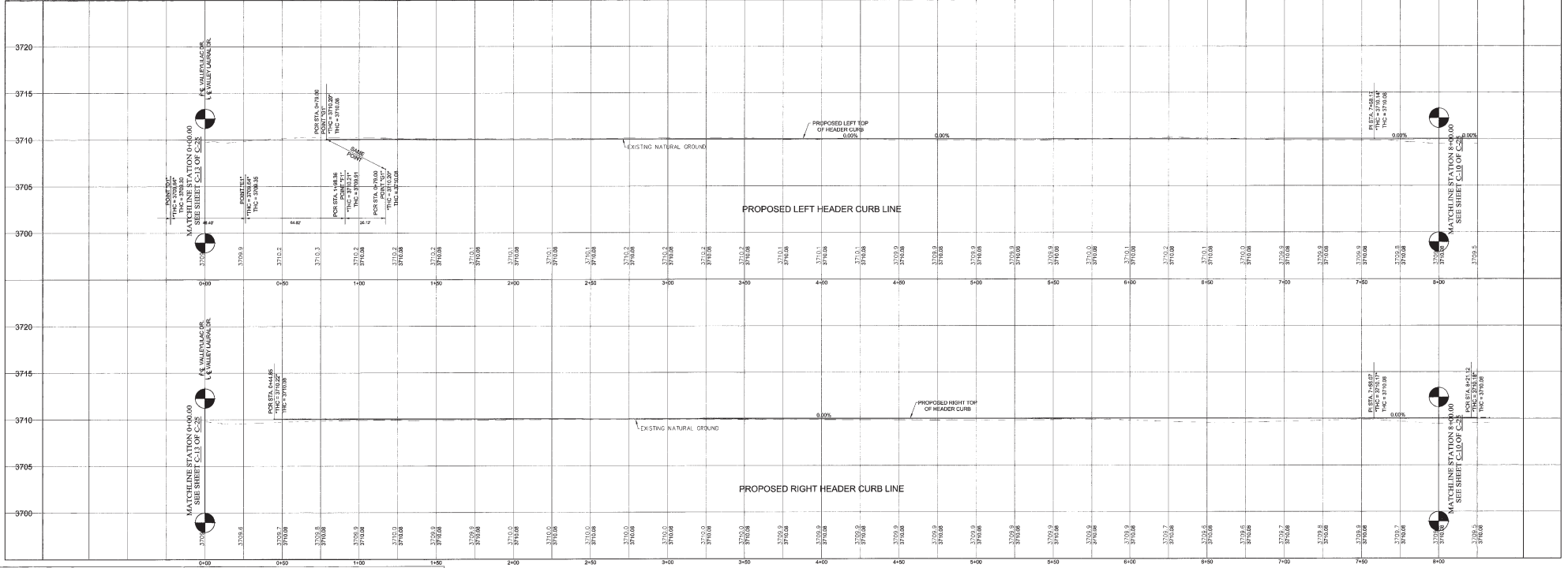
ENGINEERING/LAND DEVELOPMENT/PLANNING/SURVEYING  
SHEET **C8** OF **C-26**

000924



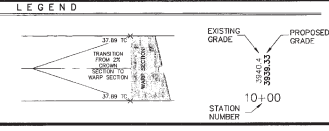
CURVE TABLE							CURVE TABLE						
CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA	CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C1	38.00	26.12	13.06	25.01	S 29°18'51" W	39°22'21"	C13	28.00	48.92	24.46	42.88	N 41°01'24" W	39°22'21"
C2	65.50	64.85	32.43	52.21	N 12°33'07" E	85°42'12"	C14	28.00	39.44	19.72	36.06	N 48°50'35" E	80°42'12"
C3	65.50	48.49	24.25	47.21	N 29°52'10" W	42°20'10"	C15	28.00	48.92	24.46	42.88	N 41°01'24" W	39°22'21"
C4	65.50	49.89	24.95	48.72	N 22°33'48" E	43°43'00"	C16	38.00	53.87	26.94	48.54	N 48°50'35" E	81°22'11"
C5	65.50	39.30	20.29	38.76	S 68°52'11" W	34°35'02"	C17	38.00	26.12	13.06	25.01	N 70°31'00" E	39°22'21"
C6	38.00	26.12	13.06	25.01	N 70°31'00" E	39°22'21"	C18	65.50	64.85	32.43	52.21	N 12°33'07" E	85°42'12"
C7	38.00	26.12	13.06	25.01	N 70°31'00" E	39°22'21"	C19	65.50	50.64	25.32	46.39	N 30°23'27" E	44°17'41"
C8	38.00	26.12	13.06	25.01	N 70°31'00" E	39°22'21"	C20	65.50	52.85	27.96	51.43	N 75°45'01" E	44°13'41"
C9	28.00	43.86	21.93	39.51	N 53°44'54" E	87°43'00"	C21	28.00	44.10	22.05	38.68	N 36°15'06" W	90°14'37"
C10	28.00	44.10	22.05	38.68	N 36°15'06" W	90°14'37"	C22	38.00	26.12	13.06	25.01	N 70°18'58" W	37°22'51"
C11	28.00	38.44	19.22	33.79	N 48°58'56" E	80°42'12"							

NOTE:  
 1. ALL HANDICAP RAMPS WITH ELEVATION ARE TO BE BUILT BY DEVELOPER UNLESS OTHERWISE NOTED.  
 2. ALL REVISIONS TO THIS DRAWING ARE TO BE BUILT BY DEVELOPER UNLESS OTHERWISE NOTED.  
 3. SEE DETAILS IN SHEET C-20 OF C-25.



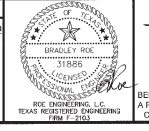
**FLOOD NOTE:**  
 THE ABOVE REFERENCED SUBDIVISION IS WITHIN ZONE "X" (EXTRA HAZARDOUS) AREAS OF 500-YEAR FLOOD. AREAS OF 100-YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE. AREAS PROTECTED BY LEVIES FROM 100-YEAR FLOODS ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAPS, AS PER THE UNINCORPORATED AREAS COMMUNITY PANEL NO. 480212 250 B, DATED SEPTEMBER 4, 1991.

- LEGEND**
- × 44.51 THC PROPOSED TOP OF HEADER CURB
  - × 44.27 FG PROPOSED FINISHED GRADE ELEVATION
  - × 45.00 PV PROPOSED TOP OF PAVEMENT
  - × 44.51 TP PROPOSED TOP OF PAD ELEVATION
  - PROPOSED DRAINAGE FLOW
  - PROPOSED STREET CENTERLINE
  - SUBDIVISION BOUNDARY LINE
  - PROPOSED CITY MONUMENT
  - PROPOSED HIGH POINT
  - PROPOSED LOW POINT



DATE	REVISIONS	BY

PRIMARY BENCHMARK	SCALE
EXISTING CITY MONUMENT LOCATED AT THE CENTERLINE OF COUNTY ROAD DRIVE AT THE NORTH HEEL OPPOSITE LOT 9, BLOCK 2, RIVER ROW ESTATES ELEVATION: 3708.49 (CITY DATUM)	HOR: AS SHOWN V.E.R. AS SHOWN FILE NAME: 020112.DWG W.D. 080811-5 DATE: FEBRUARY, 2012 DESIGN BY: LAU/BE DRAWN BY: L.A.U./S.R. CHKD. BY: H.P. APPD. BY: BR
SECONDARY BENCHMARK	
EXISTING CITY MONUMENT LOCATED ALONG THE CENTERLINE OF VALLEY CREEK DRIVE AT THE P.T. OF CURVE IN FRONT OF LOT 2, BLOCK 7, VALLEY CREEK UNIT ONE ELEVATION: 3705.42 (CITY DATUM)	



**VALLEY CREEK UNIT TWO**  
**VALLEY LAUREL STREET**  
**STATION 0+00.00 TO 8+00.00**

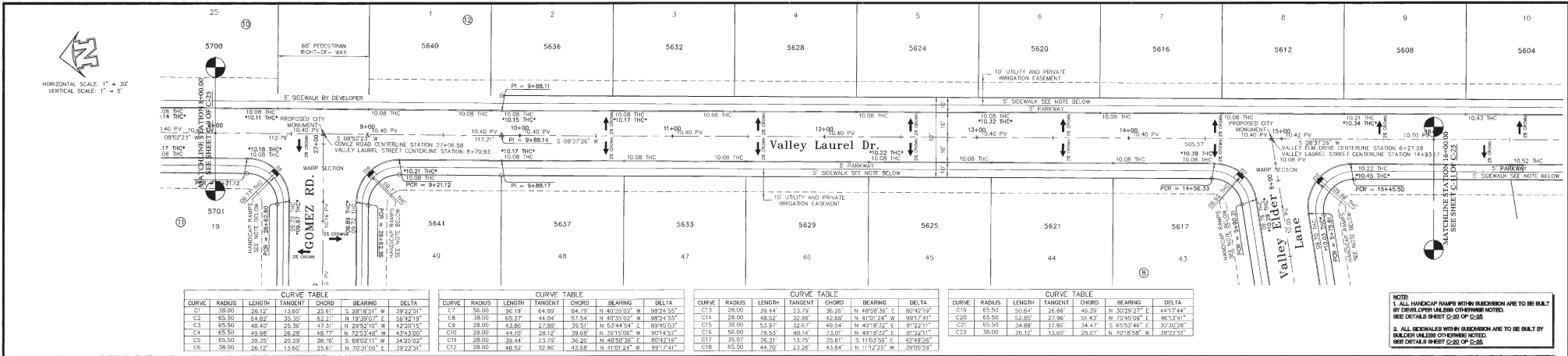
BEING A PORTION OF OF TRACTS 8 AND 9, BLOCK 7, UPPER VALLEY SURVEYS, AND A PORTION OF DUCKETT ROAD CITY OF EL PASO, TEXAS, EL PASO COUNTY, TEXAS CONTAINING ALL IN 1,931,953.07 SQ. FT. OR 44.3515 ACRES OF LAND MORE OR LESS

**\* AS-BUILTS \***  
**April 22, 2013**

**Roe Engineering, L.C.**  
 801 N. Cotton St. Suite No. 6 El Paso, TX 79908  
 (915) 838-1418 • FAX (915) 838-4972  
 e-mail: roe@roeeng.com

ENGINEERING/LAND DEVELOPMENT/PLANNING/SURVEYING  
 SHEET **C9** OF **C-26**

000920



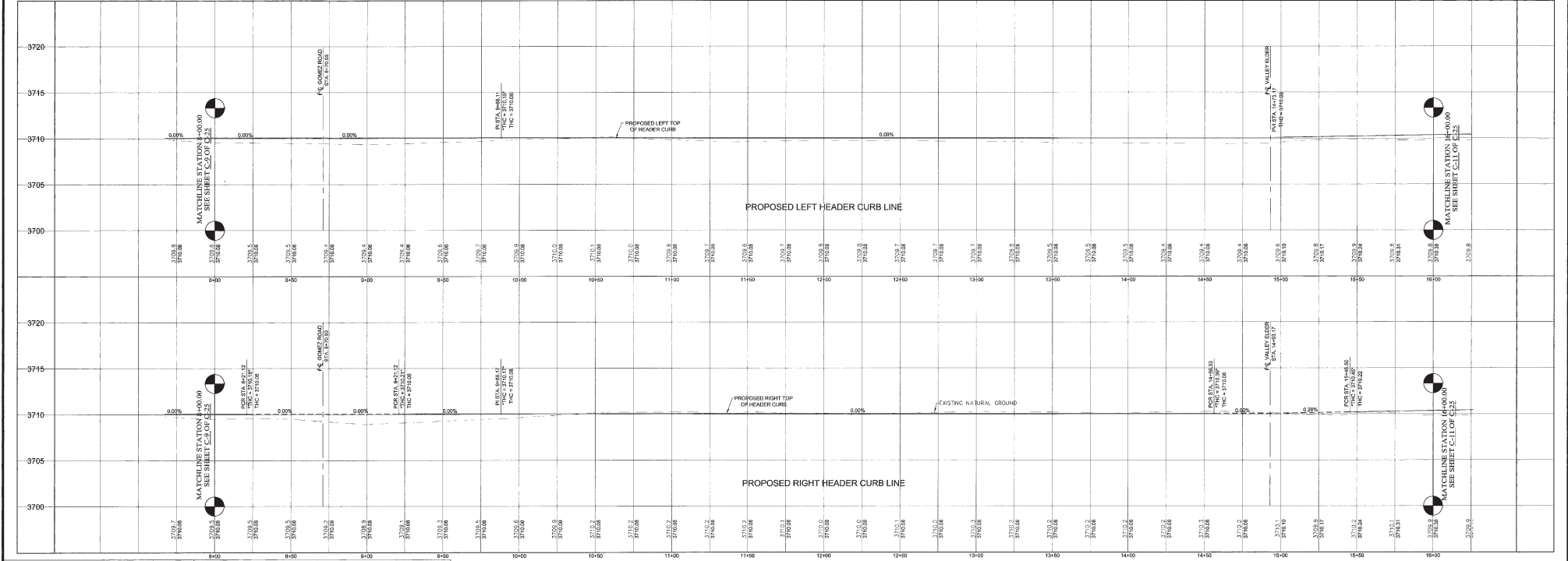
CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C1	38.00	26.12	13.60	23.61	S 281°51' W	132°25'1"
C2	65.50	44.82	30.20	62.21	N 19°00'17" W	102°42'19"
C3	65.50	48.40	28.26	47.91	N 22°52'10" W	142°20'12"
C4	65.50	49.08	28.28	48.77	N 22°53'48" W	143°13'00"
C5	65.50	39.10	20.29	38.10	S 68°02'11" W	142°02'02"
C6	38.00	26.12	13.60	23.61	N 70°31'09" E	132°25'1"

CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C7	56.00	66.19	64.89	84.79	N 40°33'02" W	90°24'55"
C8	38.00	66.27	44.04	67.94	N 40°33'02" W	90°24'55"
C9	28.00	43.86	27.88	39.81	N 53°44'54" E	89°10'53"
C10	28.00	44.10	28.12	39.68	N 53°44'54" E	90°14'53"
C11	28.00	39.47	23.72	36.00	N 48°58'36" E	80°42'10"
C12	28.00	48.52	32.96	43.68	N 43°01'24" W	99°17'41"

CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C13	28.00	30.44	23.72	26.26	N 48°58'36" E	80°42'10"
C14	28.00	48.52	32.96	43.68	N 43°01'24" W	99°17'41"
C15	38.00	53.87	38.61	49.14	N 40°18'52" E	81°12'11"
C16	56.00	79.53	48.14	73.07	N 48°58'36" E	81°24'11"
C17	38.00	76.21	13.70	73.60	S 11°03'00" E	42°48'20"
C18	65.50	44.70	23.26	43.84	N 11°12'25" W	31°05'59"

CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C19	65.50	50.64	26.66	49.39	N 30°29'23" E	44°17'44"
C20	65.50	52.80	27.96	51.45	N 22°49'09" E	46°13'41"
C21	65.50	34.88	17.80	44.47	S 63°32'48" E	30°10'26"
C22	38.00	26.12	13.60	23.61	N 70°31'09" E	132°25'1"

NOTE:  
 1. ALL HANDICAP RAMP WITH RISE/GRAB ARE TO BE BUILT BY DEVELOPER UNLESS OTHERWISE NOTED. SEE DETAILS SHEET C-20 OF C-26.  
 2. ALL UTILITY AND PRIVATE IRRIGATION EASEMENT ARE TO BE BUILT BY DEVELOPER UNLESS OTHERWISE NOTED. SEE DETAILS SHEET C-20 OF C-26.



**FLOOD NOTE:**  
 THE ABOVE REFERENCED SUBDIVISION IS WITHIN ZONE "C" (FLOOD HAZARD ZONE "C") AREAS OF 100-YEAR FLOOD. AREAS OF 100-YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE. AREAS PROJECTED BY FEMA FOR 100-YEAR FLOOD ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAPS AS PER THE FEDERAL EMERGENCY MANAGEMENT AGENCY PLAN NO. 480212 280 B, DATED SEPTEMBER 4, 1995.

**LEGEND**

- × 44.57 THC PROPOSED TOP OF HEADER CURB
- × 44.27 FC PROPOSED FINISHED GRADE ELEVATION
- × 45.00 PV PROPOSED TOP OF PAVEMENT
- × 44.51 TP PROPOSED TOP OF PAD ELEVATION
- PROPOSED DRAINAGE FLOW
- PROPOSED STREET CENTERLINE
- SUBDIVISION BOUNDARY LINE
- ▲ PROPOSED CITY MONUMENT
- ▲ PROPOSED HIGH POINT
- ▲ PROPOSED LOW POINT

**STATION NUMBER**  
 10+00

DATE	REVISIONS	BY

PRIMARY BENCHMARK	SCALE
EXISTING CITY MONUMENT LOCATED ALONG THE CENTERLINE OF COUNTY ROAD 606 AT THE NORTH HEEL OPPOSITE LOT 9, BLOCK 2, RIVER PARK ESTATES ELEVATION: 3708.40 (CITY DATUM)	HOR: AS SHOWN, VERT: AS SHOWN FILE NAME: 2012_02_03 W.O. 080811-5
SECONDARY BENCHMARK	
EXISTING CITY MONUMENT LOCATED ALONG THE CENTERLINE OF VALLEY CREEK DRIVE AT THE PT OF CURVE IN FRONT OF LOT 2, BLOCK 7, VALLEY CREEK UNIT ONE ELEVATION: 3709.42 (CITY DATUM)	DATE: FEBRUARY, 2012 DESIGN BY: L.A.J/S.R. DRAWN BY: L.A.J/S.R. CHKD. BY: H.P. APPD. BY: BR

THIS SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY BRADLEY ROE, P.E. 31888 ON JUNE 15, 2012, ALTERATION OF A SEAL DOCUMENT WITHOUT PROPER PERMISSION IS UNLAWFUL. VIOLATION OF THIS SEAL IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.

**BRADLEY ROE**  
 31888  
 TEXAS REGISTERED ENGINEERING  
 P.E. 31888  
 TEXAS REGISTERED ENGINEERING  
 P.E. 31888

**VALLEY CREEK UNIT TWO**  
**VALLEY LAUREL STREET**  
**STATION 8+00.00 TO 16+00.00**

BEING A PORTION OF TRACTS 8 AND 9, BLOCK 7, UPPER VALLEY SURVEYS, AND A PORTION OF DUCKETT ROAD, CITY OF EL PASO, TEXAS, EL PASO COUNTY, TEXAS, CONTAINING IN ALL 1,931,953.07 SQ. FT. OR 44,351.5 ACRES OF LAND MORE OR LESS.

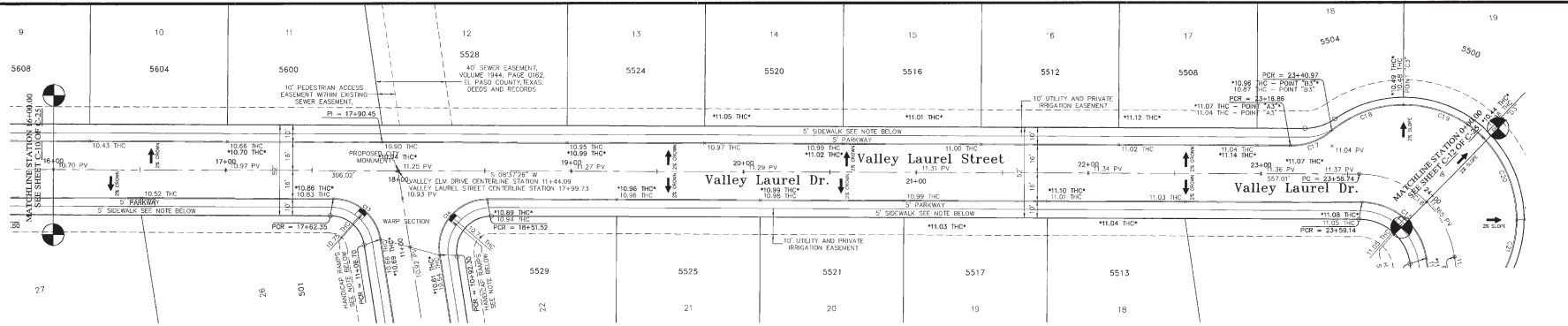
**AS-BUILTS**  
**April 22, 2013**

**Roe Engineering, L.C.**  
 801 N. Collins St. Suite No. 8 El Paso, Tx, 79902  
 (915) 855-1416 - FAX: (915) 593-6972  
 e-mail: info@roecorp.com

ENGINEERING/LAND DEVELOPMENT/PLANNING/SURVEYING  
**SHEET C10 OF C-26**

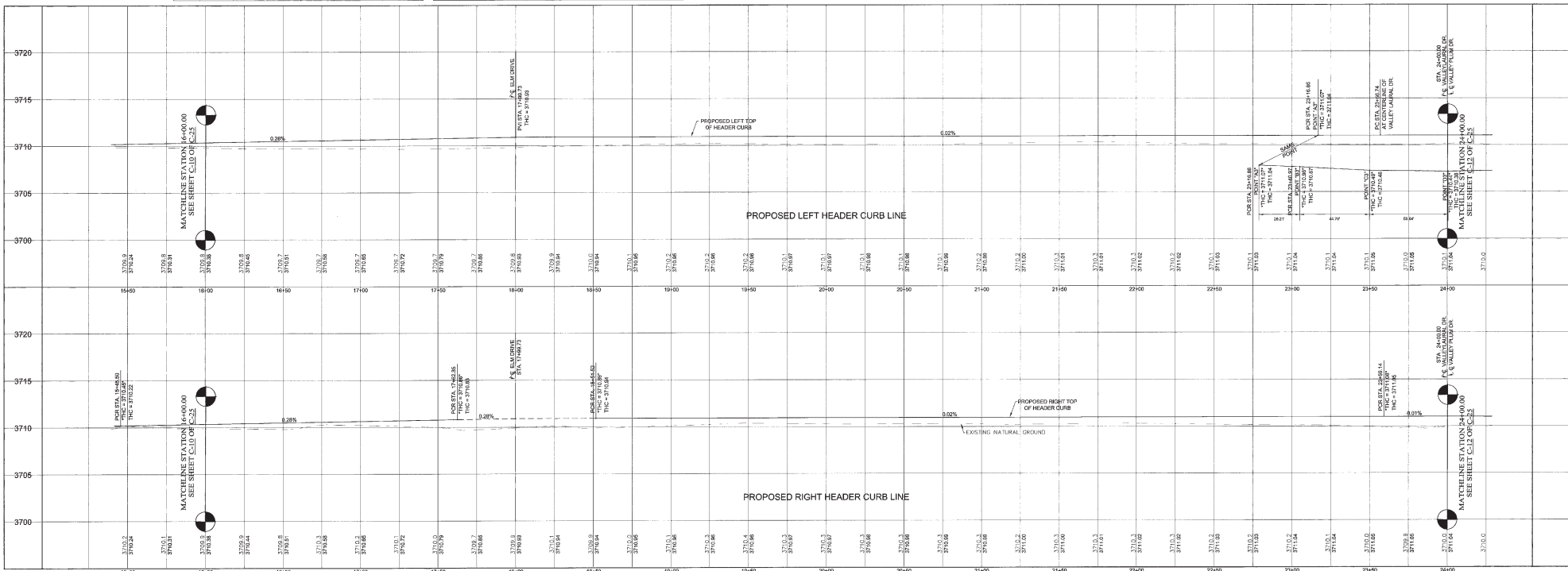
000924

HORIZONTAL SCALE: 1" = 30'  
VERTICAL SCALE: 1" = 5'

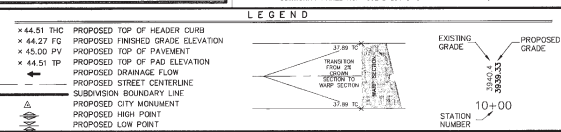


CURVE TABLE						CURVE TABLE						CURVE TABLE						CURVE TABLE											
CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA	CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA	CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA	CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA		
C1	38.00	26.12	13.567	25.61	S 281°15'11" W	39222.31°	C7	56.00	46.19	23.09	84.79	N 40°30'02" W	38243.50°	C13	28.00	39.44	19.72	36.26	N 49°58'36" E	80242.10°	C19	65.50	50.64	25.66	49.39	N 30°29'22" E	44177.44°		
C2	45.50	45.82	22.91	45.11	N 12°30'07" E	56232.22°	C8	38.00	45.22	22.61	40.50	N 40°30'02" W	38243.50°	C14	28.00	45.52	22.76	42.60	N 41°01'24" W	39172.71°	C20	65.50	52.80	27.98	51.47	N 29°43'09" E	46114.11°		
C3	65.50	45.82	22.91	45.11	N 29°22'10" W	42262.52°	C9	28.00	43.88	22.86	39.51	N 53°44'54" E	38943.03°	C15	58.00	53.97	26.97	49.54	N 49°18'32" E	81221.11°	C21	65.50	54.88	27.86	51.86	S 65°52'46" E	30302.28°		
C4	65.50	45.82	22.91	45.11	N 22°32'48" W	43437.00°	C10	28.00	44.10	28.17	39.89	N 38°19'06" E	38745.27°	C16	56.00	79.53	49.14	73.01	N 42°18'32" E	81221.11°	C22	38.00	26.12	13.80	25.61	N 20°18'58" W	38222.31°		
C5	65.50	79.53	29.22	38.79	S 60°22'11" W	34795.90°	C11	28.00	39.44	19.72	36.26	N 49°58'36" E	80242.10°	C17	35.07	29.41	13.79	24.91	S 11°33'56" E	42482.26°									
C6	38.00	26.12	13.567	25.61	N 70°31'06" E	39222.31°	C12	28.00	48.52	32.98	42.88	N 41°01'24" W	39172.71°	C18	65.50	44.70	23.26	43.84	N 11°12'25" W	39205.59°									

NOTE:  
1. ALL HANDICAP RAMPS WITH BUREAU ARE TO BE BUILT BY DEVELOPER UNLESS OTHERWISE NOTED. SEE DETAIL SHEET C-25 OF C-26.  
2. ALL INDIVIDUALS WITHIN BURDEAN ARE TO BE BUILT BY BUILDER UNLESS OTHERWISE NOTED. SEE DETAIL SHEET C-25 OF C-26.



**FLOOD NOTE:**  
THE ABOVE REFERENCED SUBDIVISION IS WITHIN ZONE "A" (EXPLANATION: ZONE "A" AREAS OF 500-YEAR FLOOD AREAS OF 100-YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE. AREAS PROTECTED BY LEVIES FROM 100-YEAR FLOOD) ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAPS AS FOR THE UNINCORPORATED AREAS COMMUNITY PANEL NO. 48021 200 B, DATED SEPTEMBER 4, 1991.



DATE	REVISIONS	BY	PRIMARY BENCHMARK	SCALE
			EXISTING CITY MONUMENT LOCATED ALONG THE CENTERLINE OF COUNTY DAVIS DRIVE AT THE NORTH HEEL OPPOSITE LOT 8, BLOCK 2, RIVER RUN ESTATES ELEVATION: 3708.49 (CITY DATUM)	HOR. AS SHOWN VER. AS SHOWN FILE NAME: VALLEY LAUREL W.D. 080811-5 DATE: FEBRUARY, 2012 DESIGN BY: LAJ/HP DRAWN BY: L.A.J./S.R. CHKD. BY: H.P. APPD. BY: BR
			SECONDARY BENCHMARK EXISTING CITY MONUMENT LOCATED ALONG THE CENTERLINE OF VALLEY CREEK DRIVE AT THE PT OF CURVE IN FRONT OF LOT 2, BLOCK 7, VALLEY CREEK UNIT ONE ELEVATION: 3709.42 (CITY DATUM)	1" = 30' 1" = 5'

**AS-BUILTS**  
April 22, 2013

**VALLEY CREEK UNIT TWO**  
**VALLEY LAUREL STREET**  
**STATION 16+00.00 TO 24+00.00**

BEING A PORTION OF OF TRACTS 8 AND 9, BLOCK 7, UPPER VALLEY SURVEYS, AND A PORTION OF DUCKETT ROAD CITY OF EL PASO, TEXAS, EL PASO COUNTY, TEXAS CONTAINING IN ALL, 931,953.07 SQ. FT. OR 44,3515 ACRES OF LAND MORE OR LESS

**Roe Engineering, L.C.**  
801 N. Cotton St. Suite No. 8 El Paso, TX 79902  
(910) 553-1418 FAX (910) 553-4972  
e-mail: roeeng@roe.net

ENGINEERING/LAND DEVELOPMENT/PLANNING/SURVEYING  
SHEET C-11 OF C-26

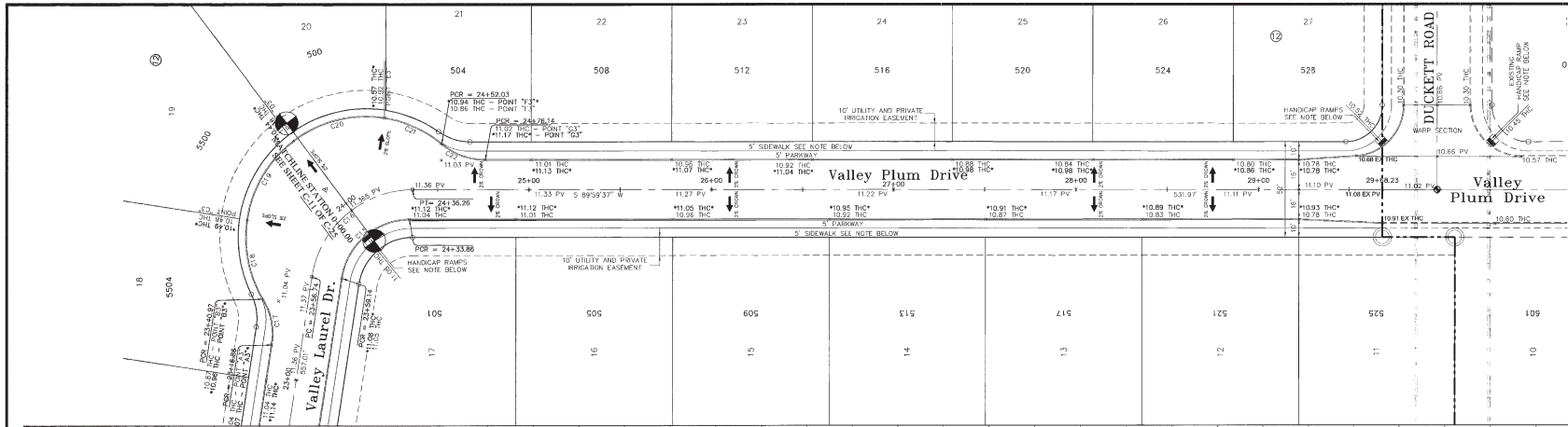
600960



HORIZONTAL SCALE: 1" = 30'  
VERTICAL SCALE: 1" = 5'

CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C1	38.00	28.12	13.60	25.61	S 291°10'11" W	39°22'51"
C2	65.50	64.87	33.59	61.21	N 119°30'07" E	56°52'19"
C3	65.50	48.40	25.36	47.31	N 29°52'10" W	42°20'15"
C4	65.50	49.98	26.28	48.77	N 72°31'18" W	43°43'00"
C5	65.50	38.30	20.87	38.74	N 65°09'11" W	48°20'00"
C6	38.00	28.12	13.60	25.61	N 70°31'00" E	39°22'51"
C7	56.00	78.10	64.89	80.79	N 62°03'00" E	88°24'55"
C8	56.00	65.47	45.04	57.54	N 40°35'02" E	88°24'55"
C9	28.00	43.89	22.68	39.51	N 50°44'44" E	89°42'19"
C10	28.00	44.10	23.12	39.65	N 50°15'08" E	89°42'19"
C11	28.00	39.44	23.79	36.26	N 48°38'38" E	89°42'19"
C12	28.00	48.52	32.96	43.68	N 43°01'44" E	89°42'19"
C13	28.00	39.44	23.79	36.26	N 48°38'38" E	89°42'19"
C14	28.00	48.52	32.96	43.68	N 43°01'44" E	89°42'19"
C15	38.00	53.97	32.67	49.54	N 49°15'32" E	81°22'11"
C16	56.00	79.57	48.14	73.07	N 49°18'32" E	81°22'11"
C17	45.57	28.47	13.53	25.81	S 113°33'59" E	47°49'26"
C18	65.50	44.70	23.26	43.84	N 111°22'55" W	39°25'59"
C19	65.50	59.84	28.88	48.38	N 30°22'37" E	44°17'44"
C20	65.50	52.85	27.96	41.43	N 79°45'09" E	46°13'41"
C21	65.50	34.88	17.86	34.47	S 65°54'48" E	39°20'28"
C22	38.00	28.12	13.60	25.61	N 70°18'58" E	39°25'59"

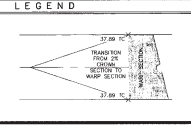
NOTE:  
1. ALL HANDICAP RAMPS WITH BENCHMARK ARE TO BE BUILT BY DEVELOPER UNLESS OTHERWISE NOTED. SEE DETAIL SHEET C03 OF C05.  
2. ALL BENCHMARKS WITHIN BENCHMARK ARE TO BE BUILT BY BUILDER UNLESS OTHERWISE NOTED. SEE DETAIL SHEET C03 OF C05.



STATION	PROPOSED LEFT TOP OF HEADER CURB	PROPOSED RIGHT TOP OF HEADER CURB	EXISTING NATURAL GROUND
2400.0	3709.8	3709.8	3709.8
2410.0	3710.0	3710.0	3710.0
2420.0	3710.0	3710.0	3710.0
2430.0	3710.0	3710.0	3710.0
2440.0	3710.0	3710.0	3710.0
2450.0	3710.0	3710.0	3710.0
2460.0	3710.0	3710.0	3710.0
2470.0	3710.0	3710.0	3710.0
2480.0	3710.0	3710.0	3710.0
2490.0	3710.0	3710.0	3710.0
2500.0	3710.0	3710.0	3710.0
2510.0	3710.0	3710.0	3710.0
2520.0	3710.0	3710.0	3710.0
2530.0	3710.0	3710.0	3710.0
2540.0	3710.0	3710.0	3710.0
2550.0	3710.0	3710.0	3710.0
2560.0	3710.0	3710.0	3710.0
2570.0	3710.0	3710.0	3710.0
2580.0	3710.0	3710.0	3710.0
2590.0	3710.0	3710.0	3710.0
2600.0	3710.0	3710.0	3710.0
2610.0	3710.0	3710.0	3710.0
2620.0	3710.0	3710.0	3710.0
2630.0	3710.0	3710.0	3710.0
2640.0	3710.0	3710.0	3710.0
2650.0	3710.0	3710.0	3710.0
2660.0	3710.0	3710.0	3710.0
2670.0	3710.0	3710.0	3710.0
2680.0	3710.0	3710.0	3710.0
2690.0	3710.0	3710.0	3710.0
2700.0	3710.0	3710.0	3710.0
2710.0	3710.0	3710.0	3710.0
2720.0	3710.0	3710.0	3710.0
2730.0	3710.0	3710.0	3710.0
2740.0	3710.0	3710.0	3710.0
2750.0	3710.0	3710.0	3710.0
2760.0	3710.0	3710.0	3710.0
2770.0	3710.0	3710.0	3710.0
2780.0	3710.0	3710.0	3710.0
2790.0	3710.0	3710.0	3710.0
2800.0	3710.0	3710.0	3710.0
2810.0	3710.0	3710.0	3710.0
2820.0	3710.0	3710.0	3710.0
2830.0	3710.0	3710.0	3710.0
2840.0	3710.0	3710.0	3710.0
2850.0	3710.0	3710.0	3710.0
2860.0	3710.0	3710.0	3710.0
2870.0	3710.0	3710.0	3710.0
2880.0	3710.0	3710.0	3710.0
2890.0	3710.0	3710.0	3710.0
2900.0	3710.0	3710.0	3710.0

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**FLOOD NOTE:**  
THE ABOVE REFERENCED ELEVATIONS ARE WITHIN ZONE "A" (EXPLANATION: ZONE "A" AREAS OF 500-YEAR FLOOD AREAS OF 100-YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH GRADIENTS AREAS LESS THAN 1 SQUARE INCH. AREAS PROTECTED BY LEVEES FROM 100-YEAR FLOOD) ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD PROBABILITY MAPS, AS FOR THE UNINCORPORATED AREAS COMMUNITY PANEL NO. 480212 230 B, DATED SEPTEMBER 4, 1991.



DATE	REVISIONS	BY

PRIMARY BENCHMARK	SCALE
EXISTING CITY MONUMENT LOCATED ALONG THE CENTERLINE OF COUNTY OAKS DRIVE AT THE NORTH HEEL OPPOSITE LOT 8, BLOCK 2, RIVER RUN TRACTS. ELEVATION: 3708.40 (CITY DATUM)	HOR. AS SHOWN VER. AS SHOWN
SECONDARY BENCHMARK	FILE NAME: 0214.DWG
EXISTING CITY MONUMENT LOCATED ALONG THE CENTERLINE OF VALLEY CEDAR DRIVE AT THE PT OF CURVE IN FRONT OF LOT 2, BLOCK 7, VALLEY CREEK UNIT ONE. ELEVATION: 3709.42 (CITY DATUM)	W.O. 020811-5
	DATE: FEBRUARY, 2012
	DESIGN BY: L.A.J./H.P.
	DRAWN BY: L.A.J./S.R.
	CHKD. BY: H.P.
	APPR. BY: BR.

THIS SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY BRADLEY RICE, P.E. 29888 OR 29815, 2011. ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION IS A CRIMINAL OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.

**VALLEY CREEK UNIT TWO**  
**VALLEY PLUM STREET**  
**STATION 24+00.00 TO 29+68.23**

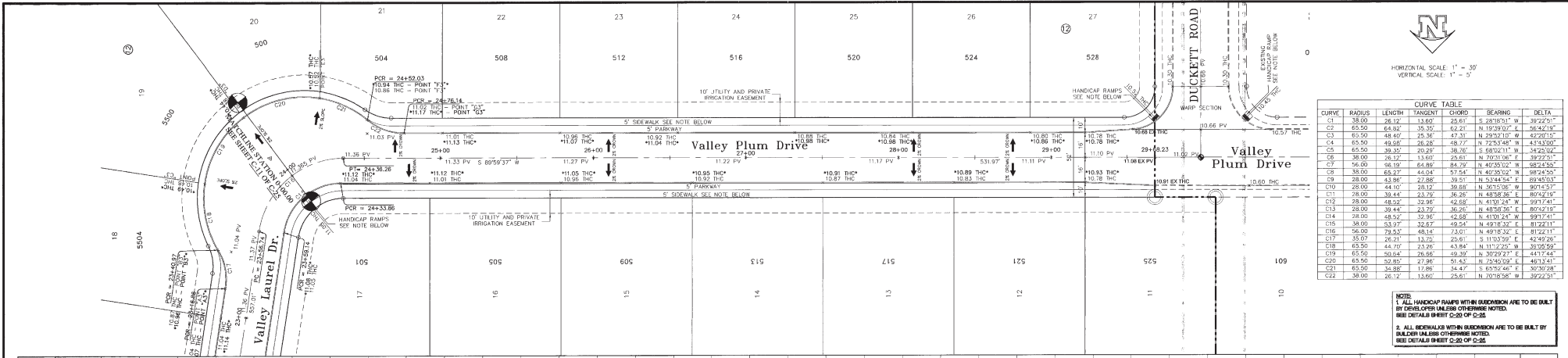
BEING A PORTION OF CITY OF TRACTS 8 AND 8, BLOCK 7, UPPER VALLEY SURVEYS, AND A PORTION OF DUCKETT ROAD CITY OF EL PASO, TEXAS, EL PASO COUNTY, TEXAS CONTAINING IN ALL 1,931.953 07 sq. ft. OR 44.3515 acres OF LAND MORE OR LESS

**AS-BUILTS**  
**April 22, 2013**

**Pro Engineering, L.C.**  
601 N. Dallas St., Suite 26.8 El Paso, TX 79902  
(915) 628-1440 - FAX: (915) 628-0972  
- email: pro@proengineering.com

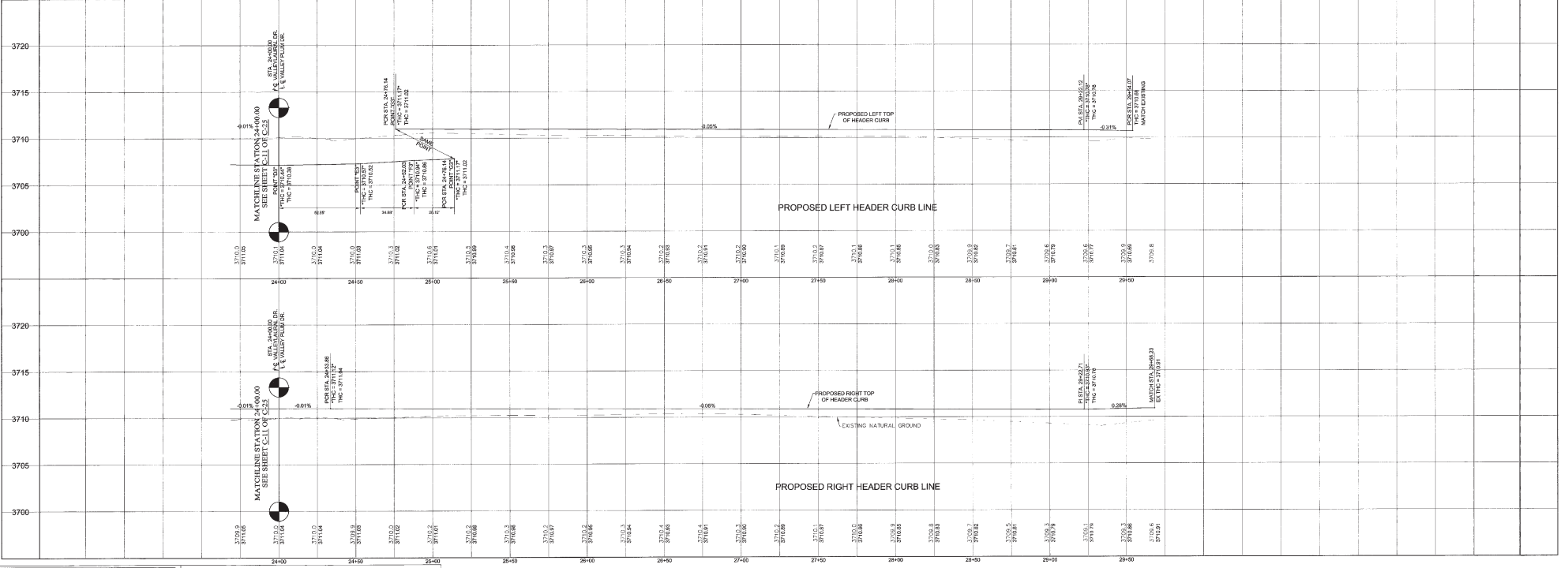
ENGINEERING/LAND DEVELOPMENT/PLANNING/SURVEYING  
SHEET **C12** OF **C-26**

400924



HORIZONTAL SCALE: 1" = 30'  
VERTICAL SCALE: 1" = 5'

NOTE:  
1. ALL HANDICAP RAMPS WITHIN SUBDIVISION ARE TO BE BUILT BY DEVELOPER UNLESS OTHERWISE NOTED. SEE DETAILS SHEET C-20 OF C-26.  
2. ALL SIDEWALKS WITHIN SUBDIVISION ARE TO BE BUILT BY BUILDER UNLESS OTHERWISE NOTED. SEE DETAILS SHEET C-20 OF C-26.



**FLOOD NOTE:**  
THE ABOVE REFERENCED SUBDIVISION IS WITHIN ZONE "X" (EXPLANATION ZONE "X" AREAS OR 500-YEAR FLOOD AREAS OF 100-YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AREAS PROTECTED BY LEVELS FROM 100-YEAR FLOOD) ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP AS FOR THE UNDERWRITING AREAS COMMUNITY FANL NO. 480212 250 B DATED SEPTEMBER 4, 1991.

**LEGEND**

- 44.51 THC PROPOSED TOP OF HEADER CURB
- 44.27 FG PROPOSED FINISHED GRADE ELEVATION
- 45.00 PV PROPOSED TOP OF PAVEMENT
- 44.51 TP PROPOSED TOP OF PAD ELEVATION
- PROPOSED DRAINAGE FLOW
- PROPOSED STREET CENTERLINE
- SUBDIVISION BOUNDARY LINE
- PROPOSED CITY MONUMENT
- PROPOSED HIGH POINT
- PROPOSED LOW POINT

DATE	REVISIONS	BY

PRIMARY BENCHMARK	SCALE
EXISTING CITY MONUMENT LOCATED ALONG THE CENTERLINE OF COUNTY JAMES DRIVE AT THE NORTH END OPPOSITE LOT 9, BLOCK 2, ROVER RUN ESTATES ELEVATION: 3708.40 (CITY DATUM)	HOR. AS SHOWN VER. AS SHOWN FILE NAME: 240129.DWG W.C. 080811-5 DATE: FEBRUARY, 2012 DESIGN BY: LAJ/HP DRAWN BY: L.A.J./S.R. CHKD. BY: H.P. APPRO. BY: BR.
SECONDARY BENCHMARK	
EXISTING CITY MONUMENT LOCATED ALONG THE CENTERLINE OF VALLEY CREEK DRIVE AT THE PT OF CURVE IN FRONT OF LOT 2, BLOCK 7, VALLEY CREEK UNIT ONE ELEVATION: 3708.47 (CITY DATUM)	



THIS SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY BRADLEY ROE, P.E. #31566 ON JUNE 15, 2011. ALTERATION OF SAID DOCUMENT IN ANY MANNER WITHOUT HIS WRITTEN CONSENT IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.

**VALLEY CREEK UNIT TWO**  
**VALLEY PLUM STREET**  
**STATION 24+00.00 TO 29+68.23**

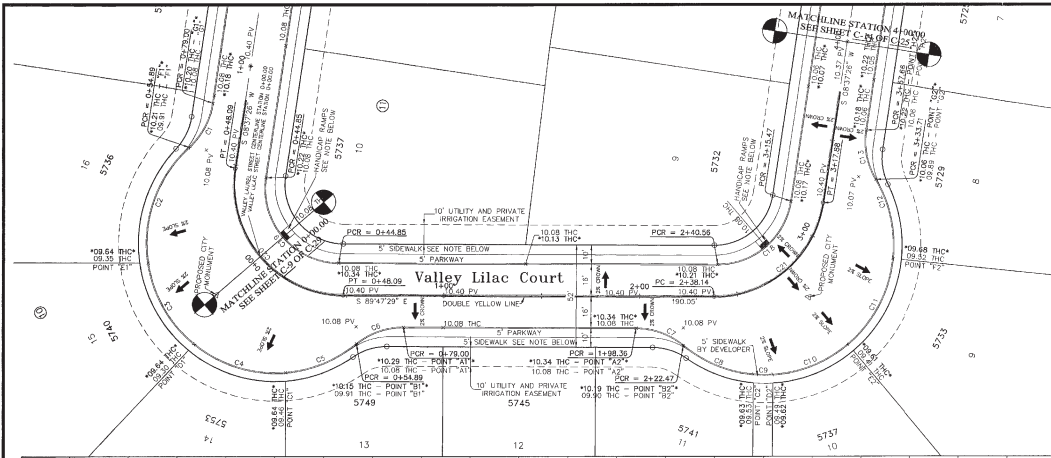
BEING A PORTION OF OF TRACTS 8 AND 9, BLOCK 7, UPPER VALLEY SURVEYS, AND A PORTION OF DUCKETT ROAD, CITY OF EL PASO, TEXAS, EL PASO COUNTY, TEXAS CONTAINING IN ALL 1,821,953.07 sq. ft. OR 44.3516 acres OF LAND MORE OR LESS.

**AS-BUILTS**  
April 22, 2013

**hnp** Roe Engineering, L.C.  
601 N. Goston St., Suite 308 B El Paso, Tx. 79902  
(915) 839-1418 FAX: (915) 839-4972  
e-mail: roeeng@hnpelc.com

ENGINEERING/LAND DEVELOPMENT/PLANNING/SURVEYING  
SHEET C12 OF C-26

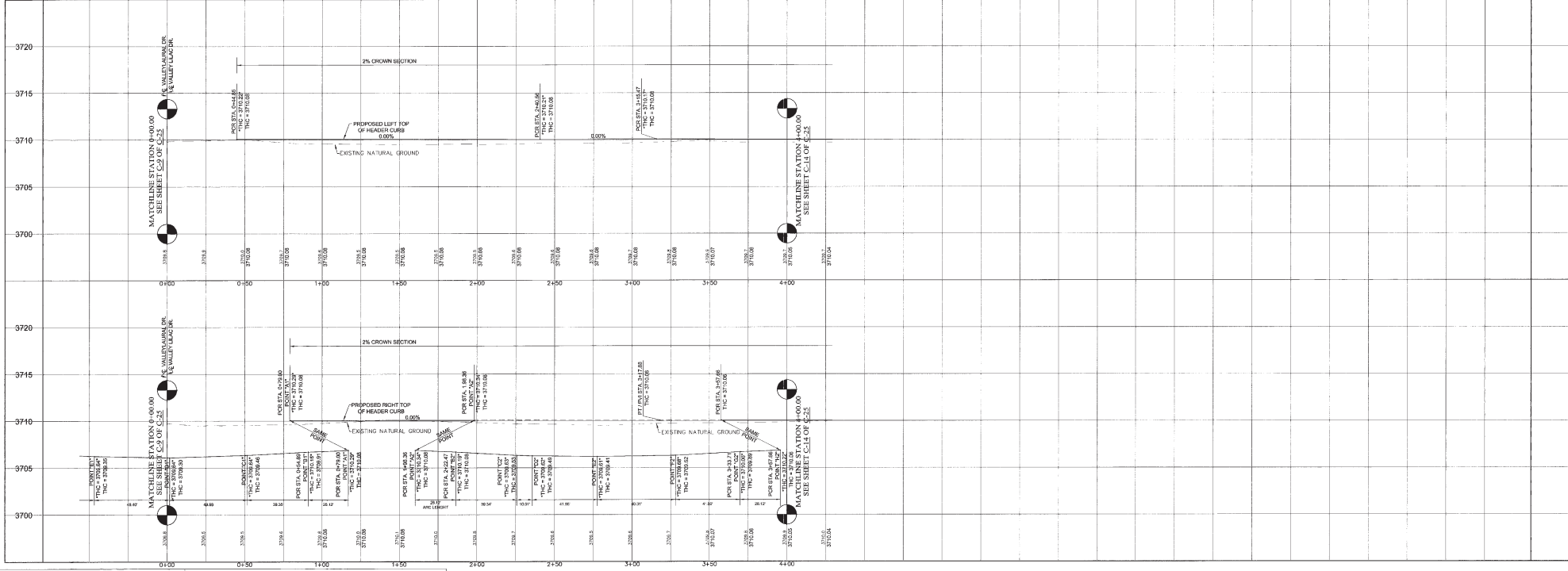
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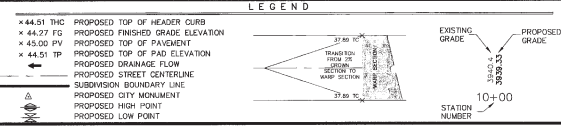
N  
 HORIZONTAL SCALE 1" = 30'  
 VERTICAL SCALE 1" = 5'

CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C1	38.00	26.37	13.60	25.61	S 28°18'51" W	39°22'51"
C2	65.50	64.62	35.35	62.21	N 19°39'07" E	58°42'19"
C3	65.50	48.47	29.36	47.31	N 23°52'10" W	42°20'15"
C4	65.50	69.98	28.29	48.77	N 22°54'48" W	61°43'00"
C5	65.50	39.30	20.42	38.76	S 68°02'11" W	34°23'02"
C6	38.00	26.37	13.60	25.61	N 30°18'06" E	39°22'51"
C7	38.00	26.32	13.60	25.61	S 20°06'04" E	39°22'51"
C8	65.50	39.24	20.28	38.75	N 67°36'53" W	34°24'30"
C9	65.50	39.00	20.00	38.75	N 69°19'50" W	69°45'31"
C10	65.50	41.95	21.87	41.14	S 68°02'13" W	30°36'30"
C11	65.50	50.30	28.47	49.06	S 27°48'42" W	44°00'33"
C12	65.50	41.89	21.84	41.09	S 22°28'30" E	30°33'30"
C13	38.00	26.17	13.60	25.61	N 11°01'59" W	39°22'51"
C14	294.56	109.20	56.63	99.02	N 18°44'46" E	40°16'40"
C15	28.00	24.18	40.81	46.19	N 84°13'06" E	110°50'01"
C16	28.00	43.68	73.70	39.30	S 23°04'03" E	89°13'30"
C17	316.56	54.80	27.47	54.73	N 27°01'03" E	93°58'08"
C18	38.00	24.11	32.79	49.65	S 48°24'58" W	31°30'00"
C19	38.00	45.27	44.64	37.54	N 40°33'02" W	89°24'53"
C20	56.00	38.19	24.82	34.79	N 40°33'02" W	89°24'53"
C21	56.00	79.74	48.32	73.17	S 48°24'58" W	81°30'00"
C22	300.56	183.02	86.81	166.80	N 24°45'13" E	32°13'14"
C23	316.56	74.22	37.28	74.05	N 15°20'27" E	13°49'03"

NOTE:  
 1. ALL HANDCAP PAVES WITHIN BLOCKWORK ARE TO BE BUILT BY DEVELOPER UNLESS OTHERWISE NOTED. SEE DETAILS SHEET C-20 OF C-26.  
 2. ALL REWORKS WITHIN BLOCKWORK ARE TO BE BUILT BY BUILDER UNLESS OTHERWISE NOTED. SEE DETAILS SHEET C-20 OF C-26.



**FLOOD NOTE:**  
 THE ABOVE REFERENCED UNDERGROUND AREAS WITHIN ZONE "A" (EXPLANATION FLOW "A" AREAS OF 500-YEAR FLOOD, AREAS OF 100-YEAR FLOOD WITH AVERAGE DEPTH OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE) AREAS PROTECTED BY LEVES FROM 100-YEAR FLOOD) ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAPS AS FOR THE UNINCORPORATED AREAS COMMUNITY PANEL NO. 480212 250 B, DATED SEPTEMBER 4, 1991.

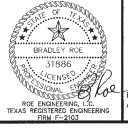


DATE	REVISIONS	BY

**PRIMARY BENCHMARK**  
 EXISTING CITY MONUMENT LOCATED ALONG THE CENTERLINE OF COUNTY ROAD DRIVE AT THE NORTH HEAD OPPOSITE LOT 9, BLOCK 2, RIVER HIGH ESTATES  
 ELEVATION: 3708.40 (CITY DATUM)

**SECONDARY BENCHMARK**  
 EXISTING CITY MONUMENT LOCATED ALONG THE CENTERLINE OF VALLEY LILAC DRIVE AT THE PT OF CURVE IN FRONT OF LOT 2, BLOCK 7, VALLEY GREEN UNIT ONE  
 ELEVATION: 3709.42 (CITY DATUM)

SCALE
HOR: 1" = 30' VERT: 1" = 5'
FILE NAME: VALLEY LILAC
W.O. NO: 080811-5
DATE: FEBRUARY, 2012
DESIGN BY: LAJ/RS
DRAWN BY: LAJ/SJR
CHKD. BY: H.P.
APPD. BY: BR



**AS-BUILTS**  
**April 22, 2013**

**VALLEY CREEK UNIT TWO**  
**VALLEY LILAC STREET**  
**STATION 0+00.00 TO 4+00.00**

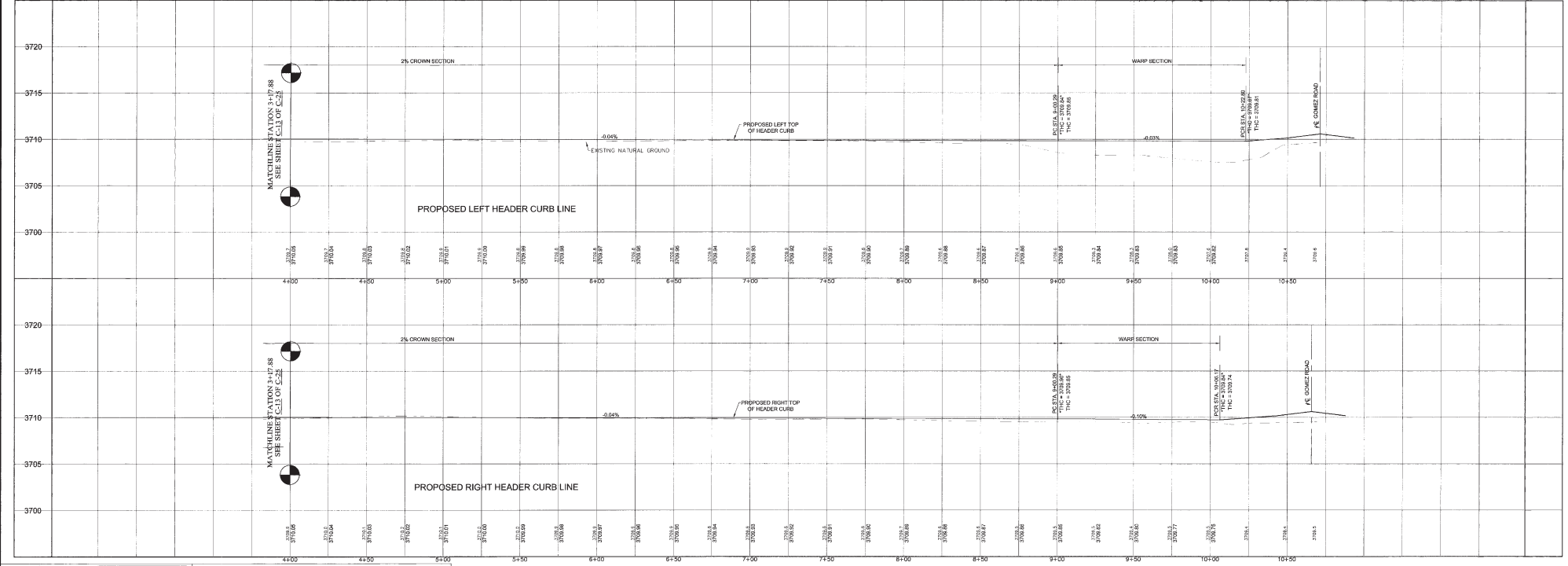
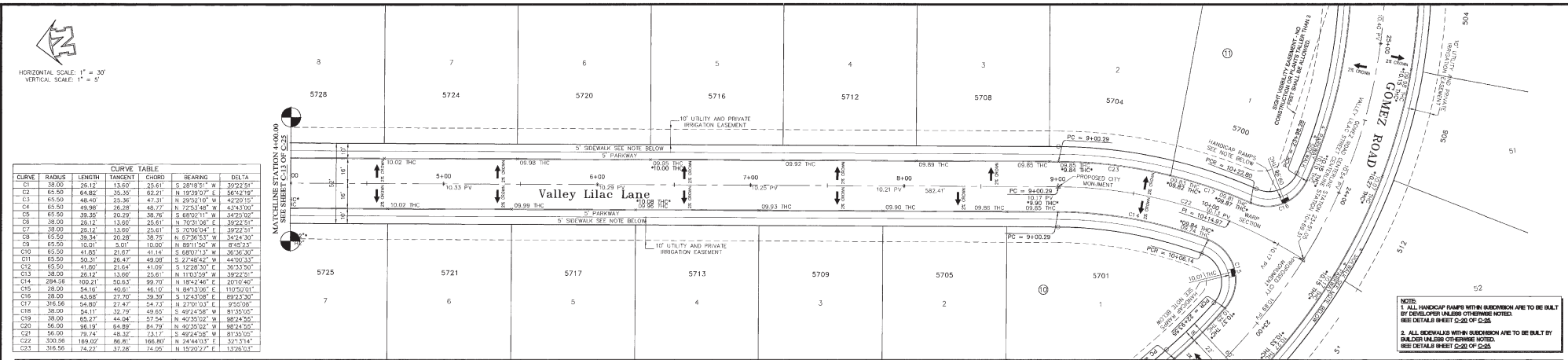
BEING A PORTION OF OF TRACTS 8 AND 5, BLOCK 7, UPPER VALLEY SURVEYS, AND A PORTION OF DUCKETT ROAD, CITY OF EL PASO, TEXAS, EL PASO COUNTY, TEXAS CONTAINING ALL IN 1,931,953.07 SQ. FT. OR 44,351.6 ACRES OF LAND MORE OR LESS

ROE ENGINEERS, L.L.C.  
 TEXAS REGISTERED ENGINEERS  
 PBM # 3103

ROE ENGINEERING, L.L.C.  
 801 N. Cotton St., Suite 610, El Paso, TX 79902  
 (915) 533-1418 - FAX (915) 533-8972  
 e-mail: roe@roeengineers.com

ENGINEERING/LAND DEVELOPMENT/PLANNING/SURVEYING  
 SHEET **C13** OF **C-26**

000924



**FLOOD NOTE:**  
 THE ABOVE REFERENCED SUBDIVISION IS WITHIN ZONE "X" (EXPLANATION ZONE "X" AREAS OF 500-YEAR FLOOD, AREAS OF 100-YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT, AND AREAS WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE AREAS PROTECTED BY LEVENS FROM 100-YEAR FLOOD) ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAPS AS FOR THE UNINCORPORATED AREAS COMMUNITY PANEL NO. 480212 220 U. DATED SEPTEMBER 4, 1991.

**LEGEND**

- 44.51 TH Proposed Top of Header Curb
- 44.27 FG Proposed Finished Grade Elevation
- 45.00 PV Proposed Top of Pavement
- 44.51 TP Proposed Top of Pad Elevation
- Proposed Drainage Flow
- Proposed Street Centerline
- Subdivision Boundary Line
- Proposed City Monument
- Proposed High Point
- Proposed Low Point

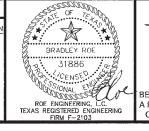
**EXISTING GRADE**  
 37.00  
 37.05  
 37.10  
 37.15  
 37.20

**PROPOSED GRADE**  
 37.00  
 37.05  
 37.10  
 37.15  
 37.20

**STATION NUMBER**  
 10+00

DATE	REVISIONS	BY

PRIMARY BENCHMARK	SCALE
EXISTING CITY MONUMENT LOCATED ALONG THE CENTERLINE OF COUNTY OAKS DRIVE AT THE NORTH NEEL OPPOSITE LOT 9, BLOCK 2, RIVER HEIGHT ESTATES. ELEVATION: 3708.49 (CITY DATUM)	HOR: AS SHOWN VER: AS SHOWN FILE NAME: C:\C14 W.O.: 080811-5
SECONDARY BENCHMARK	DATE: JANUARY, 2012 DESIGN BY: LAU/EP DRAWN BY: LAU/S.R. CHKD. BY: H.P. APPD. BY: BR
EXISTING CITY MONUMENT LOCATED ALONG THE CENTERLINE OF VALLEY CREEK DRIVE AT THE PT OF CURVE IN FRONT OF LOT 2, BLOCK 7, VALLEY CREEK UNIT ONE. ELEVATION: 3709.42 (CITY DATUM)	BRADLEY RICE REGISTERED PROFESSIONAL ENGINEER TEXAS REGISTERED ENGINEERING FIRM # 2-003



**VALLEY CREEK UNIT TWO**  
**VALLEY LILAC STREET**  
**STATION 4+00.00 TO 10+69.31**

BEING A PORTION OF OF TRACTS 8 AND 9, BLOCK 7, UPPER VALLEY SURVEYS, AND A PORTION OF DUCKETT ROAD, CITY OF EL PASO, TEXAS, EL PASO COUNTY, TEXAS CONTAINING IN ALL 1,931,993.07 sq. ft. OR 44.3515 acres OF LAND MORE OR LESS

**\* AS-BUILTS \***  
**April 22, 2013**

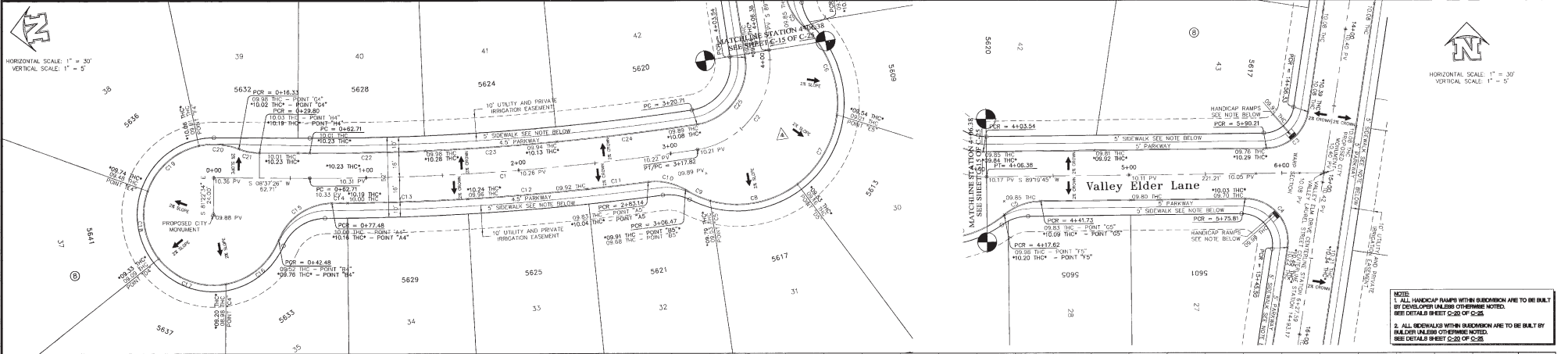
**Roe Engineering, L.C.**  
 801 N. Cotton St. Suite 804 El Paso, TX 79902  
 (915) 638-1400 - FAX (915) 533-6972  
 e-mail: roe@roeellc.com

ENGINEERING/LAND DEVELOPMENT/PLANNING/SURVEYING

SHEET **C14** OF **C-26**

*W009700*

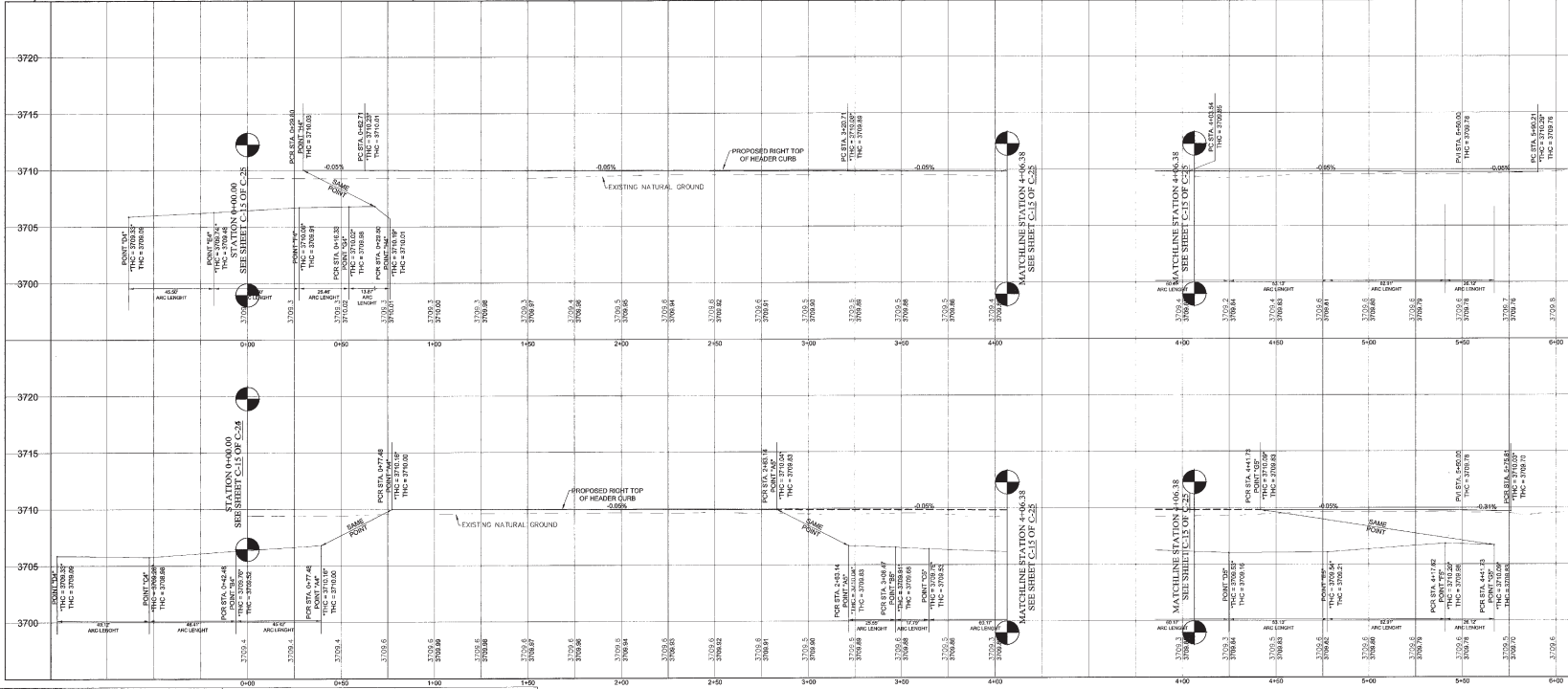




HORIZONTAL SCALE: 1" = 30'  
VERTICAL SCALE: 1" = 5'

HORIZONTAL SCALE: 1" = 30'  
VERTICAL SCALE: 1" = 5'

NOTE:  
1. ALL HANDICAP RAMPS WITH BLOCKWORK ARE TO BE BUILT BY DEVELOPER UNLESS OTHERWISE NOTED. SEE DETAIL SHEET C-20 OF C-26.  
2. ALL SIDEWALKS WITH BLOCKWORK ARE TO BE BUILT BY BUILDER UNLESS OTHERWISE NOTED. SEE DETAIL SHEET C-20 OF C-26.



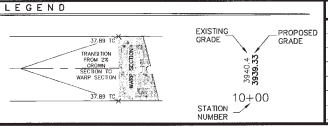
CURVE	RADIUS	LENGTH	CHORD	BEARING	DELTA
C1	165.50	255.11	127.80	234.86	S 04°16'58" W 84°02'52"
C2	56.20	88.50	56.07	79.92	S 43°33'02" E 80°34'46"
C3	28.00	39.44	23.79	36.26	N 48°58'38" E 80°42'19"
C4	38.00	48.52	32.46	42.68	N 43°01'24" W 39°17'41"
C5	38.00	28.12	13.82	26.81	S 85°18'20" E 39°21'41"
C6	65.50	64.91	34.12	60.52	N 72°27'42" E 55°01'36"
C7	65.50	24.12	28.12	51.69	S 81°17'15" E 48°29'30"
C8	65.50	60.17	33.39	58.02	S 02°14'04" E 32°37'50"
C9	38.00	17.79	8.97	17.74	S 33°31'43" E 12°33'29"
C10	38.00	25.55	13.36	25.07	N 20°22'58" E 38°31'14"
C11	165.50	40.11	20.05	40.11	S 04°17'04" W 1°01'08"
C12	165.50	78.52	39.32	78.61	S 04°17'04" W 2°30'02"
C13	165.50	78.52	39.32	78.61	S 08°27'00" W 2°30'02"
C14	165.50	15.77	5.17	10.27	S 07°16'34" W 0°20'46"
C15	38.00	45.42	25.87	42.72	N 28°07'28" W 68°25'28"
C16	45.50	46.41	25.43	44.43	S 31°38'51" E 58°26'38"
C17	45.50	19.12	27.98	46.72	S 20°05'11" E 03°31'38"
C18	45.50	46.17	25.79	44.22	S 82°30'03" W 58°38'51"
C19	45.50	68.17	25.37	44.22	N 82°01'48" W 58°38'51"
C20	45.50	26.48	13.62	26.09	N 12°32'35" E 33°19'05"
C21	38.00	12.87	7.01	13.29	S 10°04'41" W 20°34'42"
C22	165.50	26.84	13.42	26.84	S 82°18'11" W 4°28'18"
C23	165.50	86.57	43.28	86.56	S 04°31'04" W 2°30'29"
C24	165.50	93.30	46.61	93.30	S 01°12'25" W 31°23'25"
C25	38.00	60.05	36.35	53.92	S 45°24'02" E 80°34'30"

FLOOD NOTE:  
THE ABOVE REFERENCED SUBDIVISION IS WITHIN ZONE "X" (EXPLANATION: ZONE "X" AREAS OF 500-YEAR FLOOD, AREAS OF 100-YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT AND AREAS WITH GRADES ABOVE 1.00 FEET). THESE AREAS ARE PROTECTED BY LEVES FROM 100-YEAR FLOODS ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP 13-0318R FOR THE UNINCORPORATED AREAS COMMUNITY PANEL NO. 482012 250 B, DATED SEPTEMBER 4, 1991.

THIS SEAL APPEARING ON THIS DOCUMENT WAS REVISED BY BRADLEY ROE, P.E. UNDER LICENSE NO. 1011, A PORTION OF A SEALED DOCUMENT WITHOUT PRESENT NOTIFICATION, TO BE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.

**\* AS-BUILTS \***  
**April 22, 2013**

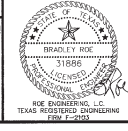
LEGEND:  
 x 44.51 THC PROPOSED TOP OF HEADER CURB  
 x 44.27 FG PROPOSED FINISHED GRADE ELEVATION  
 x 45.00 PV PROPOSED TOP OF PAVEMENT  
 x 44.51 TP PROPOSED TOP OF PAD ELEVATION  
 PROPOSED DRAINAGE FLOW  
 PROPOSED STREET CENTERLINE  
 SUBDIVISION BOUNDARY LINE  
 PROPOSED CITY MONUMENT  
 PROPOSED HIGH POINT  
 PROPOSED LOW POINT



DATE	REVISIONS	BY

PRIMARY BENCHMARK  
 EXISTING CITY MONUMENT LOCATED ALONG THE CENTERLINE OF COUNTY ROAD 636 AT THE NORTH END OPPOSITE LOT B, BLOCK 2, RIVER RUN ESTATES  
 ELEVATION: 3708.40 (CITY DATUM)  
 SECONDARY BENCHMARK  
 EXISTING CITY MONUMENT LOCATED ALONG THE CENTERLINE OF VALLEY ELDER DRIVE AT THE PT OF CURVE IN FRONT OF LOT 2, BLOCK 7, VALLEY CREEK UNIT ONE  
 ELEVATION: 3709.42 (CITY DATUM)

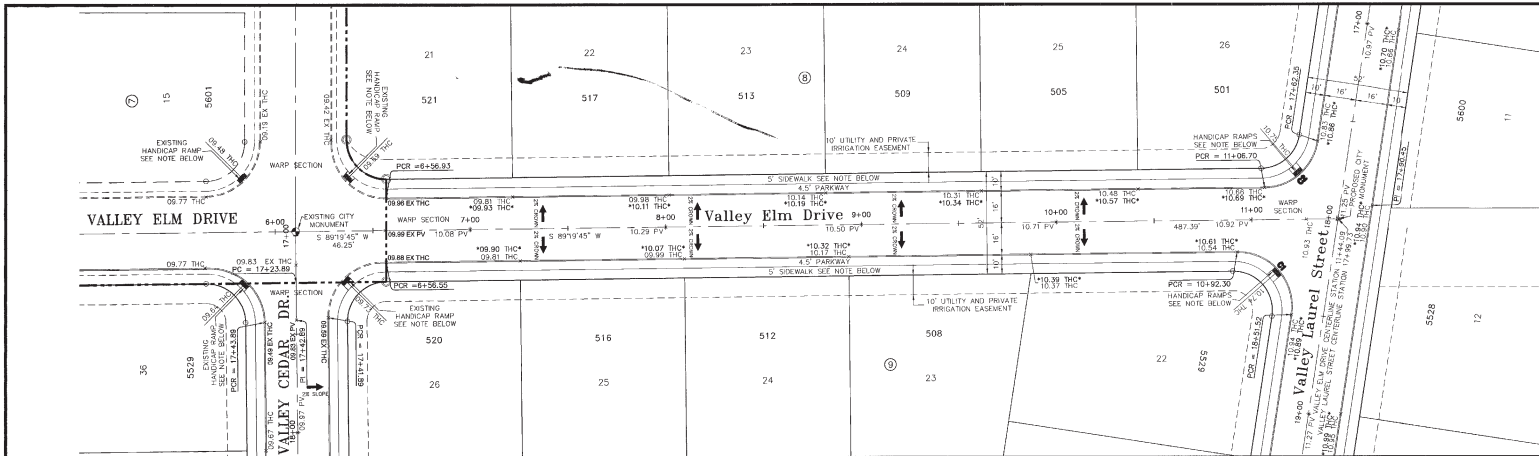
SCALE  
 HOR: AS SHOWN  
 VERT: AS SHOWN  
 FILE NAME: C:\P\250\250.dwg  
 W.D.: 080811-5  
 DATE: FEBRUARY, 2012  
 DESIGNED BY: L.A./J.R.  
 DRAWN BY: L.A./S.R.  
 CHKD BY: H.P.  
 APP'D BY: BR



**VALLEY CREEK UNIT TWO**  
**VALLEY ELDER STREET**  
**STATION 0+00.00 TO 6+27.59**

**Brp** Roe Engineering, L.C.  
 800 N. Cotton St. Suite 206 B El Paso, TX 79908  
 (915) 639-1449 • Fax: (915) 639-4972  
 www.roeeng.com  
 ENGINEERING/LAND DEVELOPMENT/PLANNING/SURVEYING  
 SHEET C15 OF C-26

000920

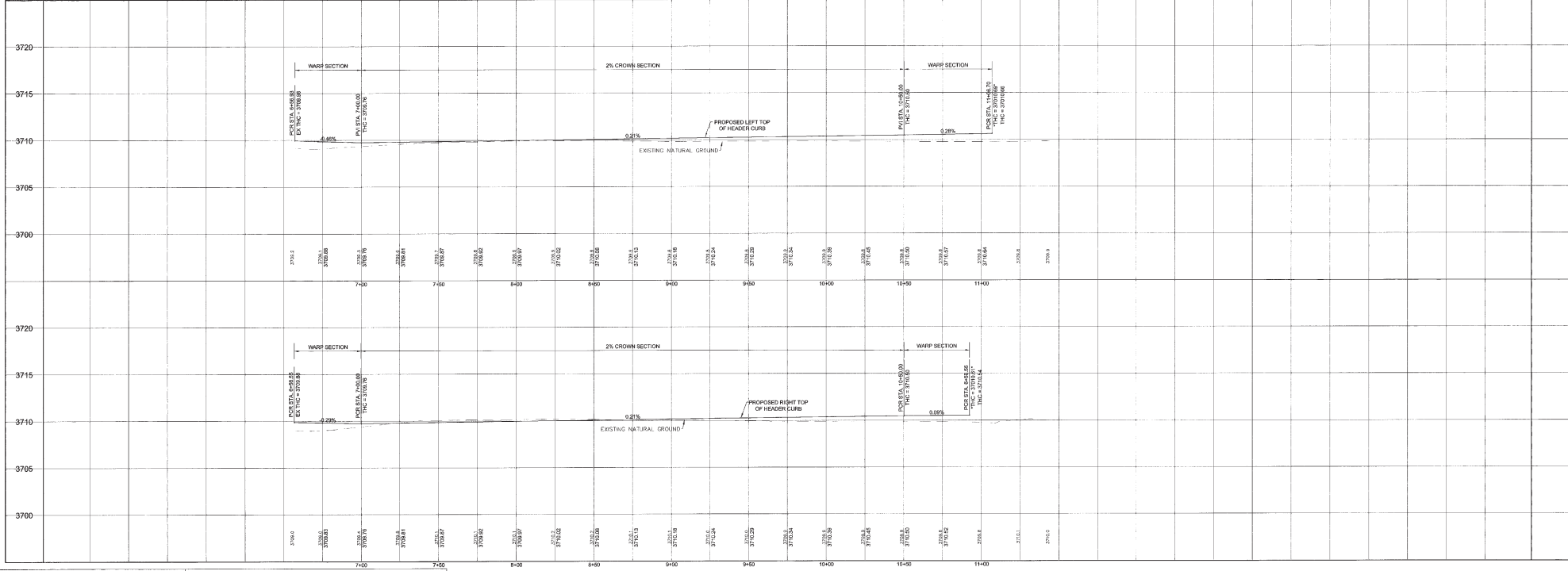


N

HORIZONTAL SCALE: 1" = 30'  
VERTICAL SCALE: 1" = 5'

CURVE TABLE						
CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
CT	28.00	48.52	32.86	42.68	N 41°31'24" W	90°17'41"
CC	28.00	39.44	23.75	36.30	N 48°58'56" E	89°52'17"

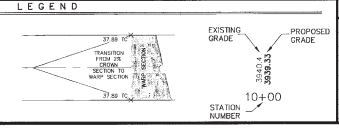
**NOTE:**  
 1. ALL HANDICAP RAMPS WITH BLOCKWORK ARE TO BE BUILT BY DEVELOPER UNLESS OTHERWISE NOTED. SEE DETAILS SHEET C-20 OF C-25.  
 2. ALL SIDEWALKS WITH BLOCKWORK ARE TO BE BUILT BY BUILDER UNLESS OTHERWISE NOTED. SEE DETAILS SHEET C-20 OF C-25.



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**FLOOD NOTE:**  
 THE ABOVE REFERENCED SUBDIVISION IS WITHIN ZONE "X" (COPLANATION ZONE "C" AREAS OF 200-YEAR FLOOD, AREAS OF 100-YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE, AREAS PROTECTED BY LEVELS FROM 100-YEAR FLOOD) ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAPS FOR THE UNINCORPORATED AREAS COMMUNITY PANEL NO. 480212 250 B, DATED SEPTEMBER 4, 1991.

- LEGEND**
- × 44.51 THC PROPOSED TOP OF HEADER CURB
  - × 44.27 FG PROPOSED FINISHED GRADE ELEVATION
  - × 45.42 PV PROPOSED TOP OF PAVEMENT
  - × 44.51 TP PROPOSED TOP OF PAD ELEVATION
  - PROPOSED DRAINAGE FLOW
  - PROPOSED STREET CENTERLINE
  - SUBDIVISION BOUNDARY LINE
  - PROPOSED CITY MONUMENT
  - PROPOSED HIGH POINT
  - PROPOSED LOW POINT



DATE	REVISIONS	BY

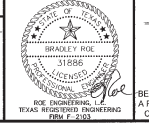
**PRIMARY BENCHMARK**  
 EXISTING CITY MONUMENT LOCATED ALONG THE CENTERLINE OF COUNTY ROAD DRIVE AT THE NORTH END, OPPOSITE LOT 9, BLOCK 2, RIVER RAIN ESTATES.  
 ELEVATION: 3708.40 (CITY DATUM)

**SECONDARY BENCHMARK**  
 EXISTING CITY MONUMENT LOCATED ALONG THE CENTERLINE OF VALLEY CEDAR DRIVE AT THE PT OF CURVE IN FRONT OF LOT 7, VALLEY CREEK UNIT ONE.  
 ELEVATION: 3709.42 (CITY DATUM)

**SCALE**  
 HOR: 1" = 30' VER: 1" = 5'  
 FILE NAME: S:\1166\1166.dwg  
 W.D.: 080811-5  
 DATE: FEBRUARY 2012  
 DESIGN BY: LAJ/HP  
 DRAWN BY: L.A.J./S.R.  
 CHD. BY: H.P.  
 APPD. BY: BR

**VALLEY CREEK UNIT TWO**  
**VALLEY ELM STREET**  
**STATION 6+56.70 TO 11+44.09**

BEING A PORTION OF OF TRACTS 8 AND 9, BLOCK 7, UPPER VALLEY SURVEYS, AND A PORTION OF DUCKETT ROAD, CITY OF EL PASO, TEXAS, EL PASO COUNTY, TEXAS CONTAINING IN ALL 1,631,953.07 sq. ft. OR 44.3515 acres OF LAND MORE OR LESS

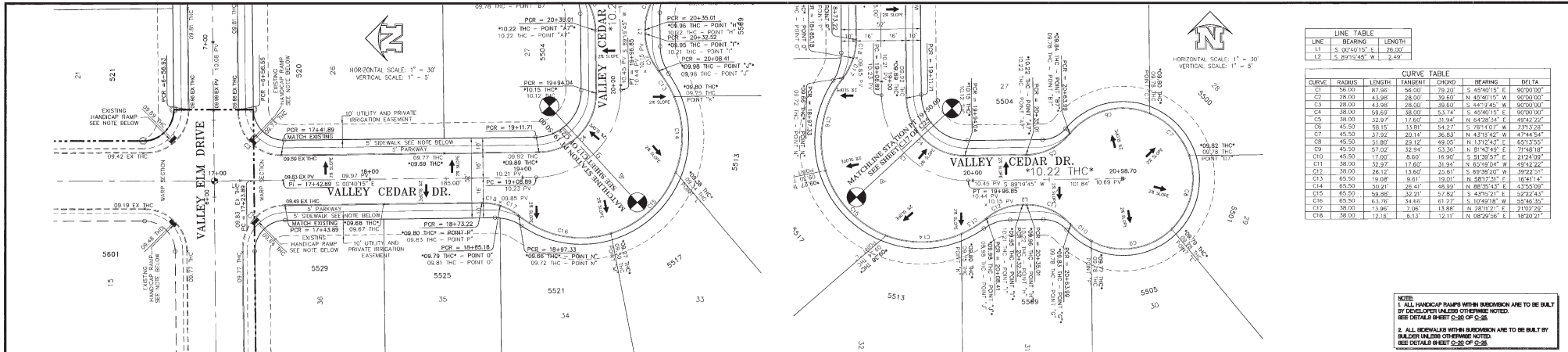


**\* AS-BUILTS \***  
**April 22, 2013**

**Bradley Roe Engineering, L.C.**  
 601 N. Cortez St., Suite 106 • El Paso, TX 79902  
 (915) 688-1448 • FAX (915) 688-6972  
 e-mail: roe@brued.com

ENGINEERS/LAND DEVELOPMENT/PLANNING/SURVEYING  
**SHEET C16 OF C-26**

1000920



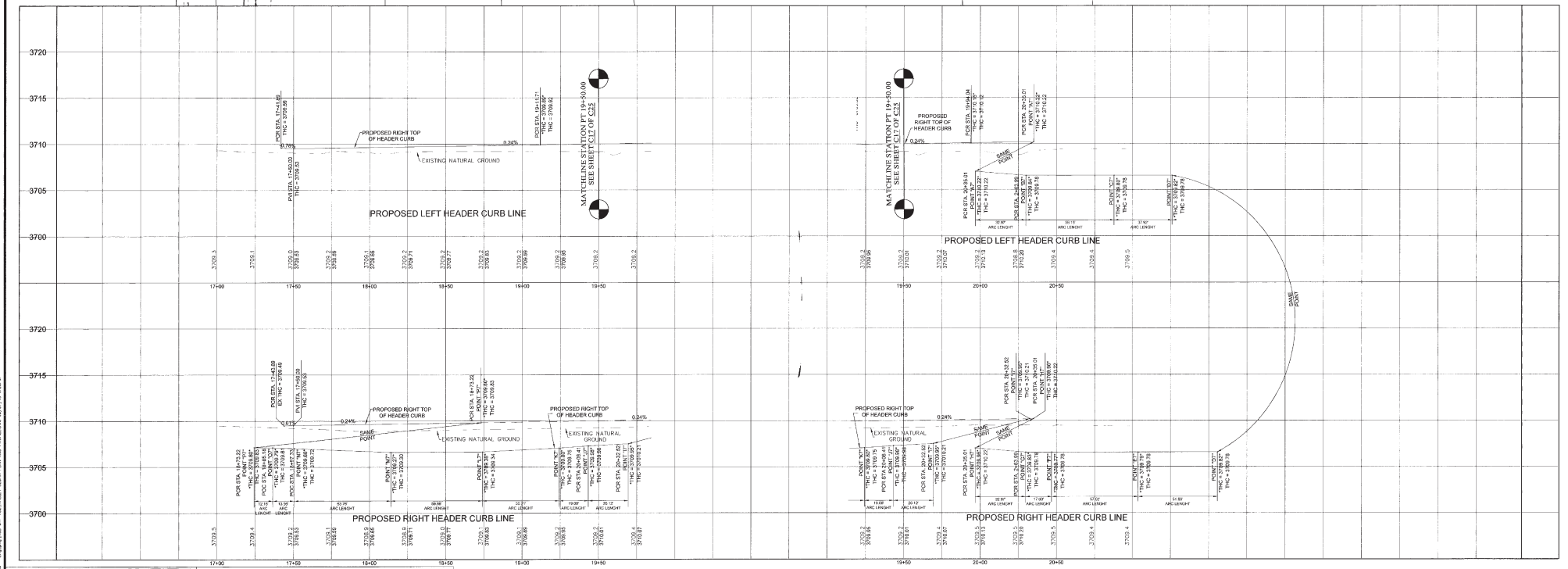
LINE TABLE

LINE	BEARING	LENGTH
L1	S. 90°49'15" E	26.00'
L2	S. 89°19'45" W	2.69'

CURVE TABLE

CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C1	28.00	43.98	28.00	39.80	N. 45°00'15" E	90°00'00"
C2	28.00	43.98	28.00	39.80	N. 45°00'15" W	90°00'00"
C3	28.00	43.98	28.00	39.80	S. 44°17'45" W	90°00'00"
C4	38.00	59.69	38.00	53.74	S. 45°00'15" E	90°00'00"
C5	38.00	59.69	38.00	53.74	N. 84°28'24" E	484°22'22"
C6	45.50	72.97	45.50	64.27	S. 79°19'07" W	77°13'29"
C7	45.50	72.97	45.50	64.27	N. 43°13'42" E	474°45'54"
C8	45.50	72.97	45.50	64.27	N. 13°02'43" E	60°33'35"
C9	45.50	72.97	45.50	64.27	N. 81°48'49" E	71°48'18"
C10	45.50	72.97	45.50	64.27	S. 81°28'27" E	81°28'27"
C11	38.00	52.97	38.00	46.92	S. 85°09'51" E	85°09'51"
C12	38.00	52.97	38.00	46.92	S. 89°38'20" W	89°38'20"
C13	65.50	100.00	65.50	90.00	N. 58°12'31" E	104°14'42"
C14	65.50	100.00	65.50	90.00	N. 88°30'43" E	43°30'09"
C15	65.50	100.00	65.50	90.00	S. 43°15'21" E	56°24'43"
C16	65.50	100.00	65.50	90.00	S. 10°49'18" W	55°46'35"
C17	38.00	52.97	38.00	46.92	N. 28°11'21" E	21°50'28"
C18	38.00	52.97	38.00	46.92	N. 08°28'56" E	18°28'21"

NOTE:  
 1. ALL MANHOLE RAMP UPS WITH BERKBOACH ARE TO BE BUILT BY DEVELOPER UNLESS OTHERWISE NOTED. SEE DETAIL SHEET C-25E.  
 2. ALL INDIVIDUALS WITH BERKBOACH ARE TO BE BUILT BY BUILDER UNLESS OTHERWISE NOTED. SEE DETAIL SHEET C-25E OF C-26.



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**FLOOD NOTE:**  
 THE ABOVE REFERENCED SUBDIVISION IS WITHIN ZONE "A" (EXPLANATION ZONE "A" AREAS OF 500-YEAR FLOOD, AREAS OF 100-YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH GRADUATED AREAS LESS THAN 1 SQUARE MILE). AREAS RESTRICTED BY LEVELS FROM 100-YEAR FLOOD ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAPS, AS PER THE UNINCORPORATED AREAS COMMUNITY PANEL NO. 485212 250 B, DATED SEPTEMBER 4, 1999.

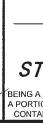
LEGEND

44.51 TH	PROPOSED TOP OF HEADER CURB
44.27 FD	PROPOSED FINISHED GRADE ELEVATION
45.00 PV	PROPOSED TOP OF PAVEMENT
44.51 TP	PROPOSED TOP OF PAID ELEVATION
→	PROPOSED GRADE FLOW
—	PROPOSED STREET CENTERLINE
—	SUBDIVISION BOUNDARY LINE
—	PROPOSED CITY MONUMENT
—	PROPOSED HIGH POINT
—	PROPOSED LOW POINT

DATE	REVISIONS	BY

<b>PRIMARY BENCHMARK</b>	EXISTING CITY MONUMENT LOCATED ALONG THE CENTERLINE OF COUNTY ROAD 805 AT THE NORTH END OPPOSITE LOT 9, BLOCK 2, RIVER RUN ESTATES ELEVATION: 3708.40 (CITY DATUM)
<b>SECONDARY BENCHMARK</b>	EXISTING CITY MONUMENT LOCATED ALONG THE CENTERLINE OF VALLEY CEDAR DRIVE AT THE PT OF CURVE IN FRONT OF LOT 2, BLOCK 7, VALLEY CREEK UNIT ONE ELEVATION: 3708.42 (CITY DATUM)

<b>SCALE</b>	HOR. AS SHOWN VER. AS SHOWN
<b>FILE NAME:</b>	250123.DWG
<b>W.D.:</b>	080811-5
<b>DATE:</b>	FEBRUARY, 2012
<b>DESIGN BY:</b>	L.A.J./S.R.
<b>DRAWN BY:</b>	L.A.J./S.R.
<b>CHKD. BY:</b>	H.P.
<b>APPR. BY:</b>	BR.



**VALLEY CREEK UNIT TWO**  
**VALLEY CEDAR STREET**  
**STATION 17+23.89 TO 20+98.70**

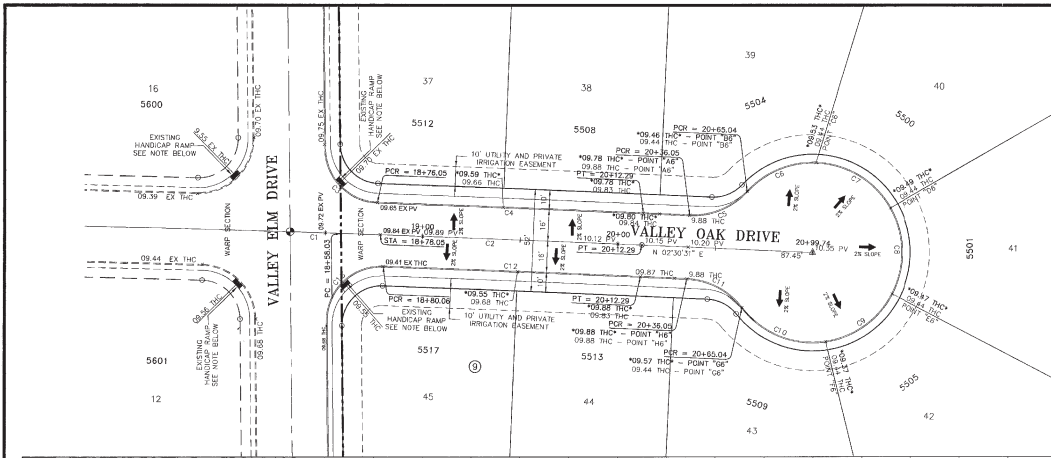
BEING A PORTION OF OF TRACTS 8 AND 6 BLOCK 7, UPPER VALLEY SURVEYS, AND A PORTION OF DUCKETT ROAD CITY OF EL PASO, TEXAS, EL PASO COUNTY, TEXAS CONTAINING ALL 1,931,953.07 S.F. OR 44.3516 ACRES OF LAND MORE OR LESS

**\* AS-BUILTS \***  
**April 22, 2013**

**Roe Engineering, L.C.**  
 808 N. Dallas St., Suite 806 B, El Paso, TX, 79902  
 (915) 533-3118 - FAX: (915) 533-4872  
 e-mail: crossett@roeeng.com

ENGINEERING/LAND DEVELOPMENT/PLANNING/SURVEYING  
**SHEET C17 OF C-26**

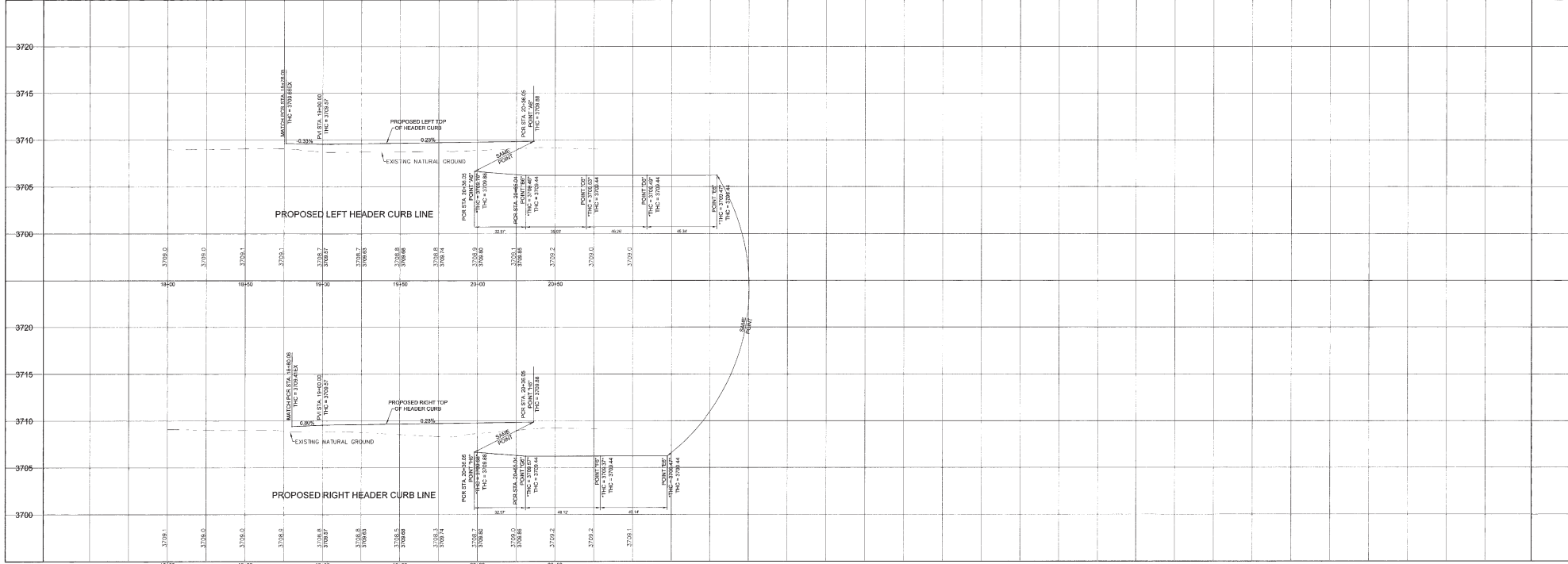
000980



HORIZONTAL SCALE: 1" = 30'  
VERTICAL SCALE: 1" = 5'

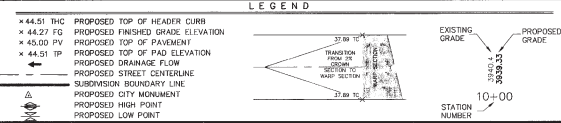
CURVE TABLE						
CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C1	1468.50	26.02'	13.01'	26.02'	N 01°47'09" E	03°08'39"
C2	13489.00	154.80'	371.37'	154.26'	N 02°10'50" E	03°09'22"
C3	28.00	42.71'	26.76'	38.69'	S 45°37'45" W	87°24'01"
C4	12484.50	136.40'	65.20'	136.40'	N 02°20'06" E	02°01'46"
C5	38.00	39.37'	17.85'	31.84'	S 22°20'00" E	48°42'22"
C6	45.50	35.03'	20.81'	32.88'	N 22°37'14" W	49°39'18"
C7	45.50	46.26'	25.75'	44.29'	N 33°04'50" E	58°57'02"
C8	45.50	45.14'	24.70'	43.49'	N 88°45'20" E	57°05'56"
C9	45.50	43.14'	23.35'	41.58'	S 35°20'00" E	64°18'04"
C10	45.50	48.12'	26.65'	45.91'	S 41°50'00" W	55°35'26"
C11	38.00	32.97'	17.50'	31.84'	N 27°21'42" E	45°42'22"
C12	14682.00	132.07'	66.04'	132.07'	N 02°13'38" E	03°03'45"
C13	28.00	45.26'	29.31'	40.19'	N 44°21'45" W	52°32'01"

NOTE:  
1. ALL HANDICAP RAMPS WITH BLOCKWORK ARE TO BE BUILT BY DEVELOPER UNLESS OTHERWISE NOTED. SEE DETAILS SHEET C-26 OF C-26.  
2. ALL BLOCKWORK WITH BLOCKWORK ARE TO BE BUILT BY G.A.L.D.R. UNLESS OTHERWISE NOTED. SEE DETAILS SHEET C-26 OF C-26.



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DATE	REVISIONS	BY

**PRIMARY BENCHMARK**  
EXISTING CITY MONUMENT LOCATED ALONG THE CENTERLINE OF COUNTY ROAD DRIVE AT THE NORTH WEST CORNER OPPOSITE LOT 9, BLOCK 2, RIVER RAIN ESTATES.  
ELEVATION: 3708.40 (CITY DATUM)

**SECONDARY BENCHMARK**  
EXISTING CITY MONUMENT LOCATED ALONG THE CENTERLINE OF VALLEY OAK DRIVE AT THE PT OF CURVE IN FRONT OF LOT 2, BLOCK 7, VALLEY CREEK UNIT ONE.  
ELEVATION: 3709.42 (CITY DATUM)

**SCALE**  
HOR: AS SHOWN  
VER: AS SHOWN  
FILE NAME: 080811-5  
W.D.: 080811-5  
DATE: FEBRUARY, 2012  
DESIGN BY: LAU/J  
DRAWN BY: LAU/J/S/R  
CHKD BY: H.P.  
APPD. BY: BR

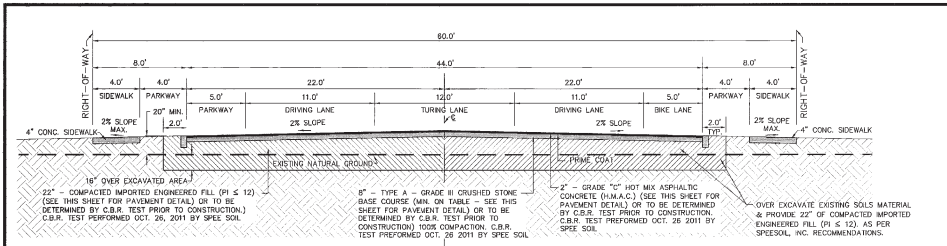


**VALLEY CREEK UNIT TWO**  
**VALLEY OAK STREET**  
**STATION 18+58.03 TO 20+99.74**

BRADLEY ROE ENGINEERING, L.C.  
801 N. Cotton St., Suite 406, El Paso, TX 79902  
(915) 838-1418 - FAX (915) 833-4972  
www.bradyroe.com

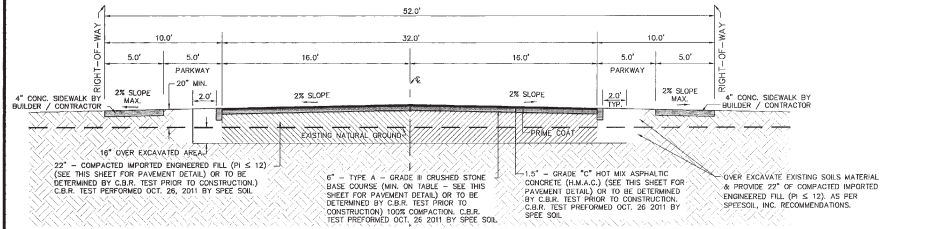
ENGINEERING/LAND DEVELOPMENT/PLANNING/SURVEYING  
SHEET **C-26** OF **C-26**

000926



**(GOMEZ ROAD) 60' RIGHT-OF-WAY TYPICAL CROWN STREET SECTION**

SCALE 1" = 5'

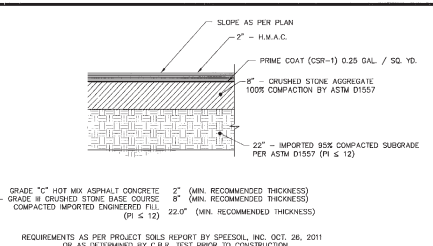


**52' RIGHT-OF-WAY TYPICAL CROWN STREET SECTION**

SCALE 1" = 5'

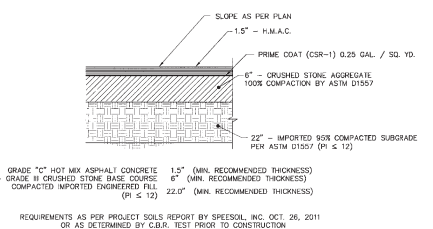
**NOTES FOR STREETS:**

- BASE TO BE COMPACTED TO 100% COMPACTION BY A.S.T.M. D1557
- H.M.A.C. BASE, AND SURGRADE WILL BE PLACED IN STRICT ACCORDANCE WITH THE LATEST CITY OF EL PASO SPECIFICATIONS
- SURGRADE TO BE COMPACTED TO 95% COMPACTION BY A.S.T.M. D1557
- PRIME COAT TO BE 0.25 GALLON PER SQUARE YARD (MIN. COVERAGE)
- ALL ELEVATIONS ON PLANS BASED ON CITY DATUM
- SURGRADE UNDER CURB MUST BE FORMED AND COMPACTED AS SHOWN OR EXCESS CUT MUST BE BACKFILLED WITH CONCRETE
  - ONE FOOT MIN. ON CUTS
  - TWO FOOT MIN. ON FILLS
- COMPACTION BEHIND CURB
  - ONE FOOT MIN. ON CUTS
  - TWO FOOT MIN. ON FILLS
- C.B.R. TEST WHERE REQUIRED BY THE CITY ENGINEER MUST BE PAID FOR BY THE DEVELOPER. THIS INCLUDES BUT IS NOT LIMITED TO SURGRADE AND BASE COURSE
- ALL PLANS MUST BE IN ACCORDANCE WITH THE LATEST EDITION OF THE CITY OF EL PASO SUBDIVISION DESIGN AND IMPROVEMENT STANDARDS
- C.B.R. TEST REQUIRED AT EVERY 500' AFTER SURGRADE IS IN PLACE OR A MIN. OF TWO TESTS IF STREET IS LESS THAN 500'
- STREET VERTICAL CONTROL OF ALL CURB AND GUTTER ELEVATIONS WILL BE MAINTAINED. (BLUE TOPPING REQUIRED THROUGHOUT)



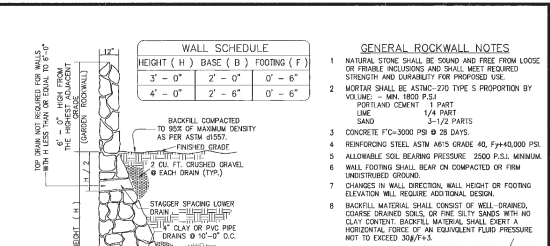
**GOMEZ ROAD PAVEMENT SECTION**

SCALE 1" = 1'



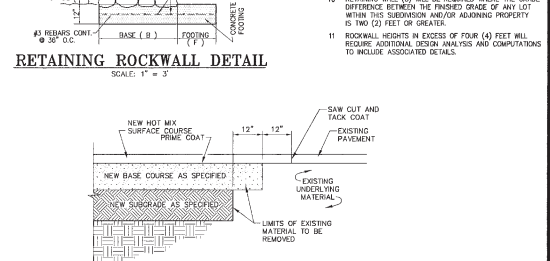
**52' STREET RIGHT-OF-WAY TYPICAL PAVEMENT SECTION**

SCALE 1" = 1'



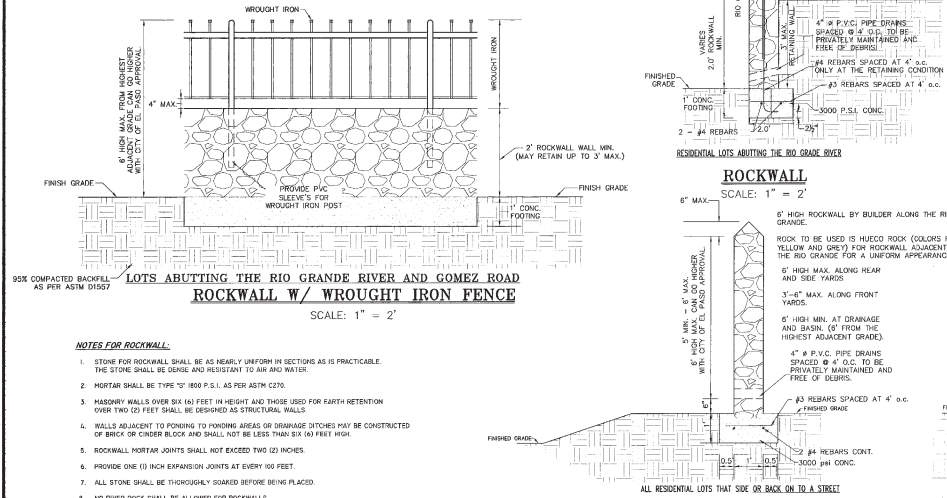
**RETAINING ROCKWALL DETAIL**

SCALE 1" = 3'



**JUNCTURE OF NEW FLEXIBLE AND EXISTING FLEXIBLE PAVEMENT**

SCALE N/A.



**ROCKWALL W/ WROUGHT IRON FENCE**

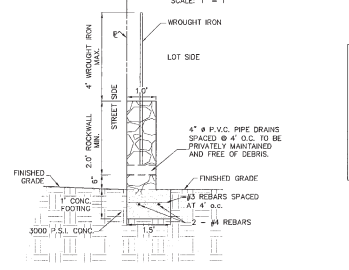
SCALE 1" = 2'

**NOTES FOR ROCKWALL:**

- STONE FOR ROCKWALL SHALL BE AS NEARLY UNIFORM IN SECTIONS AS IS PRACTICABLE. THE STONE SHALL BE DENSE AND RESISTANT TO AIR AND WATER.
- MORTAR SHALL BE TYPE "S" 800 P.S.I. AS PER ASTM C270
- ROCKWALL SHALL BE 6 INCHES THICK AND SHALL BE CONSTRUCTED OF BRICK OR CINDER BLOCK AND SHALL NOT BE LESS THAN SIX (6) FEET HIGH
- ROCKWALL MORTAR JOINTS SHALL NOT EXCEED TWO (2) INCHES
- PROVIDE ONE (1) INCH EXPANSION JOINTS AT EVERY 100 FEET
- ALL STONE SHALL BE THOROUGHLY SOAKED BEFORE BEING PLACED
- NO REVER ROCK SHALL BE ALLOWED FOR ROCKWALLS

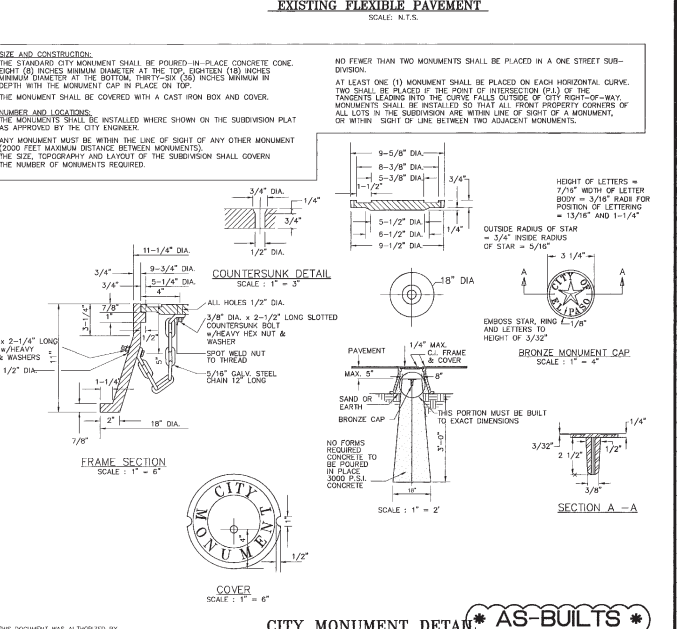
**ROCKWALL DETAIL**

SCALE 1" = 2'



**ALTERNATE ROCKWALL DETAIL**

SCALE 1" = 1'



**CITY MONUMENT DETAIL**

SCALE 1" = 4'

FLOOD NOTE:	DATE	REVISIONS	BY	PRIMARY BENCHMARK	SCALE
NOTE: THE ABOVE REFERENCED PROPERTY IS WITHIN ZONE "X" (EXPLANATIONS AREAS OF SPECIAL FLOOD AREAS IS 1" BEAR HEAD WITH REAR BEARING OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE, AND AREAS PROTECTED BY LEVELS FROM 100-100 FEET FLOOD) ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAPS AS PER THE UNINCORPORATED AREAS COMMUNITY PLAN NO. 480212-018, AS DATED SEPTEMBER 4, 1998.				EXISTING CITY MONUMENT LOCATED ALONG THE CENTERLINE OF COUNTY ROAD 303 AT THE NORTH HELL OPPOSITE LOT 9, BLOCK 2, RIVER HIGH DIVISION ELEVATION: 3708.40 (CITY DATUM)	FOR: VER: FILE NAME: DATE: DESIGN BY: DRAWN BY: CHKD. BY: APPD. BY:
				EXISTING CITY MONUMENT LOCATED ALONG THE CENTERLINE OF VALLEY CEDAR DRIVE AT THE PT OF CURVE IN FRONT OF LOT 2, BLOCK 7, VALLEY CREEK UNIT ONE ELEVATION: 3709.42 (CITY DATUM)	OR: 080811-5 DATE: FEBRUARY, 2012 L.A.J./S.R. H.P. ER

THIS PLAN APPEARING ON THIS DOCUMENT WAS PREPARED BY BRADLEY ROT, P.E. 31888 ON FEB. 1, 2012, AS A RESULT OF A SEALED DOCUMENT WHICH I HAVE AFFIXED TO THIS DOCUMENT IN ACCORDANCE WITH THE TEXAS ENGINEERING PRACTICE ACT.

**BRADLEY ROT**  
REGISTERED PROFESSIONAL ENGINEER  
NO. 144709  
R.P.E. ENGINEERING, L.C.  
TEXAS REGISTERED ENGINEERING  
P.W. 7-2103

**CITY MONUMENT DETAIL**

**AS-BUILTS**  
April 22, 2013

**VALLEY CREEK UNIT TWO**

**TYPICAL DETAILS**

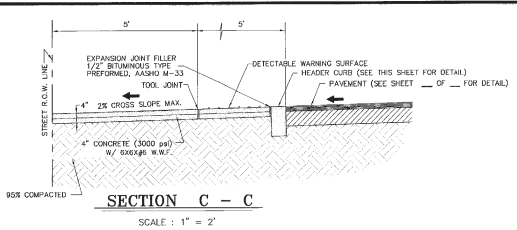
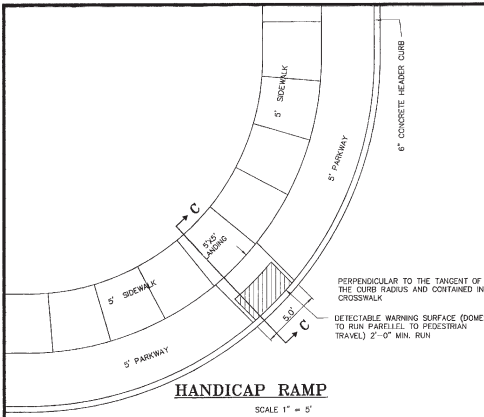
BEING A PORTION OF TRACTS 8 AND 9, BLOCK 7, UPPER VALLEY SURVEYS, AND A PORTION OF DUCKETT ROAD, CITY OF EL PASO, TEXAS, EL PASO COUNTY, TEXAS CONTAINING IN ALL 1,931,963.07 SQ. FT. OR 44,351.52 ACRES OF LAND MORE OR LESS.

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800 S. Cotton St. Suite 808 El Paso, TX, 79902  
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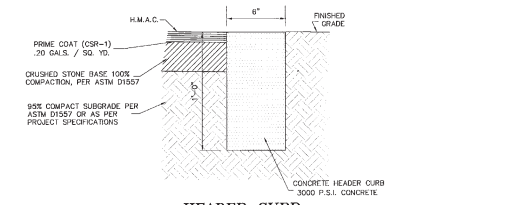
ENGINEERING/LAND DEVELOPMENT/PLANNING/SURVEYING

SHEET **C19** OF **C-26**

000926

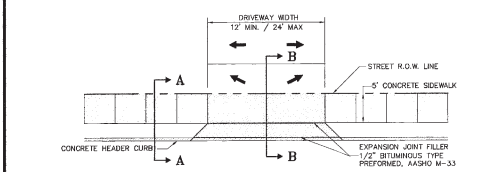


- NOTES FOR HEADER CURB:**
- EXPANSION JOINTS WILL BE REQUIRED AT THE END OF CURB RETURNS, AT 50' O.C. & POINT OF TANGENCY WITH STRAIGHT RUNS OF CURB AT EVERY INTERSECTION
  - CONTRACTION JOINTS (1/2 INCH MIN. SCORED JOINTS) MUST BE INSTALLED EVERY 10 FEET IN CURB OR CURB AND GUTTER.
  - ALL EXPANSION JOINTS WILL BE PERFORMED BITUMINOUS FIBER 1/2 INCH THICK.
  - CONCRETE TO BE CLASS "A", 3000 P.S.I.

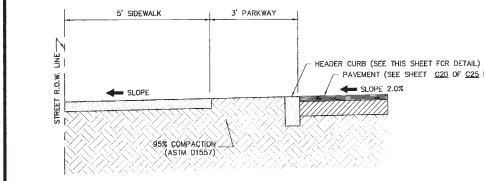
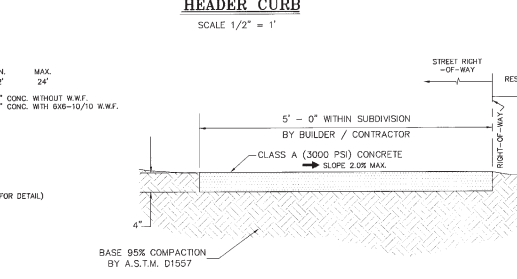


ALL LOTS WITHIN VALLEY CREEK UNIT TWO WILL REQUIRE TWO (1 EACH) PERMANENT ELEVATION MARKERS TO BE PLACED AT THE LOWEST POINT OF FRONT AND BACK YARDS. TO BE INSTALLED BY BUILDER / CONTRACTOR AND COORDINATED WITH ENGINEER / SURVEYOR.

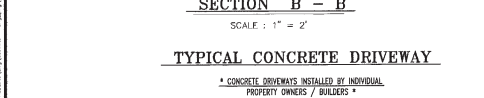
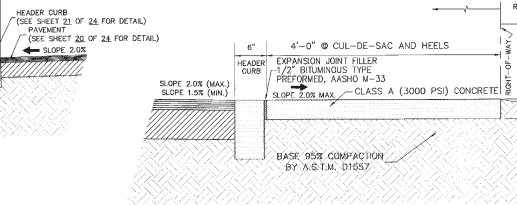
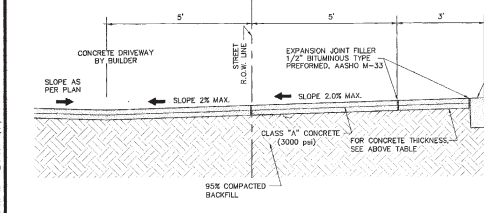
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DRIVEWAY WIDTH	MIN.	MAX.
RESIDENTIAL	12'	24'
DRIVEWAY THICKNESS	6" CONC. WITHOUT W.F.	4" CONC. WITH 600-10/10 W.F.
RESIDENTIAL		



- NOTE:**
- CONCRETE TO BE CLASS "A", 3000 P.S.I.
  - EXPANSION JOINTS EVERY 20 FEET AND AT ALL P.C. AND P.T. OF CURVES WITH 1/2 INCH MIN. SCORED JOINTS MUST BE INSTALLED EVERY 5 FEET ALONG CONCRETE SIDEWALK.
  - ALL EXPANSION JOINTS WILL BE PERFORMED



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**FLOOD NOTE:**  
NOTE: THE ABOVE REFERENCED PROPERTY IS WITHIN ZONE "X", (EXPLANATION: AREAS OF 500-YEAR FLOOD PROTECTION OF 150'-80" FEET) WITH AVERAGE DEPTH OF LESS THAN 1 FOOT OF WATER WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE, AND AREAS PROTECTED BY LEVELS FROM 100-YEAR FLOOD) ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAPS, AS PER THE UNINCORPORATED AREAS COMMUNITY PANEL NO. 485212 9725 B, DATED SEPTEMBER 4, 1995.

DATE	REVISIONS	BY	PRIMARY BENCHMARK	SCALE
			EXISTING CITY MONUMENT LOCATED ALONG THE CENTERLINE OF COUNTY ROAD 3708 AT THE NORTH END OPPOSITE LOT 9, BLOCK 2, RIVER RUN ESTATES ELEVATION: 3708.40 (CITY DATUM)	
			SECONDARY BENCHMARK EXISTING CITY MONUMENT LOCATED ALONG THE CENTERLINE OF VALLEY CREEK DRIVE AT THE PT OF CURVE IN FRONT OF LOT 2, BLOCK 7, VALLEY CREEK UNIT ONE ELEVATION: 3709.40 (CITY DATUM)	

DATE	DESIGN BY	DRAWN BY	CHECK BY	APPROVED BY
080811-5	L.A.J./H.P.	L.A.J./S.R.	H.P.	J.B.B.

THIS SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY BRADLEY ROE, P.E. #3888 ON FEB. 2, 2012. ALTERATION OF A SEAL DOCUMENT WITHOUT PROPER NOTIFICATION IS RESPONSIBLE UNDER THE AN ACT UNDER THE TEXAS ENGINEERING PRACTICE ACT.

**VALLEY CREEK UNIT TWO**  
**TYPICAL DETAILS**

BEING A PORTION OF OF TRACTS 8 AND 9, BLOCK 7, UPPER VALLEY SURVEYS, AND A PORTION OF DUCKETT ROAD, CITY OF EL PASO, TEXAS, EL PASO COUNTY, TEXAS CONTAINING IN ALL 1,931,993.97 SQ. FT. OR 44,351.6 ACRES OF LAND MORE OR LESS

**Pedestrian Facilities General Notes**

- ALL SLOPES ARE MAXIMUM ALLOWABLE. THE LEAST POSSIBLE SLOPE THAT WILL STILL DRAIN PROPERLY SHOULD BE USED. ADJUST CURB RAMP LENGTH OR GRADE OF APPROACH SIDEWALKS AS DIRECTED.
- LANDINGS SHALL BE 5' X 5' MINIMUM WITH A MAXIMUM 2% SLOPE IN ANY DIRECTION.
- LANDING SPACE AT THE BOTTOM OF CURB RAMPS SHALL BE A MINIMUM OF 4' X 4' WHOLLY CONTAINED WITHIN THE CROSSWALK AND WHOLLY OUTSIDE THE PARALLEL VEHICULAR TRAVEL PATH.
- MAXIMUM ALLOWABLE CROSS SLOPE ON SIDEWALK AND CURB RAMP SURFACES IS 2%.
- CURB RAMPS WITH RETURNED CURBS MAY BE USED ONLY WHERE PEDESTRIANS WOULD NOT NORMALLY WALK ACROSS THE RAMP, EITHER BECAUSE THE ADJACENT SURFACE IS PLANTING OR OTHER NON-WALKING SURFACE OR BECAUSE THE SIDE APPROACH IS SUBSTANTIALLY OBSTRUCTED. OTHERWISE, PROVIDE FLARED SIDES.
- ADDITIONAL INFORMATION ON CURB RAMP LOCATION, DESIGN, LIGHT REFLECTIVE VALUE AND TEXTURE MAY BE FOUND IN THE CURRENT EDITION OF THE TEXAS ACCESSIBILITY STANDARDS (TAS) AND 16 TAC 68.102.
- SEPARATE CURB RAMP AND LANDINGS FROM ADJACENT SIDEWALK AND ANY OTHER ELEMENTS WITH PRECISELY WITH BITUMINOUS EXP. JOINT OR BOARD JOINT OF 3/4" UNLESS OTHERWISE DIRECTED BY THE ENGINEER.
- PROVIDE A SMOOTH TRANSITION WHERE THE CURB RAMPS CONNECT TO THE STREET.
- FLARE SLOPE SHALL NOT EXCEED 10% MEASURED ALONG CURB LINE.

**General Notes for Detectable Warnings**

- CURB RAMPS MUST CONTAIN A DETECTABLE WARNING SURFACE THAT CONFORMS WITH SECTION 4.29 OF THE TEXAS ACCESSIBILITY STANDARDS (TAS). THE SURFACE MUST CONTRAST VISUALLY WITH ADJACENT SURFACES, INCLUDING SIDE FLARES. FINISH DARK BROWN OR DARK RED DETECTABLE WARNING SURFACE ADJACENT TO UNCOLORED CONCRETE, UNLESS SPECIFIED ELSEWHERE IN THE PLANS.
- DETECTABLE WARNING SURFACES MUST BE SLIP RESISTANT AND NOT ALLOW WATER TO ACCUMULATE.
- ALIGN TRUNCATED DOMES IN THE DIRECTION OF PEDESTRIAN TRAVEL WHEN ENTERING THE STREET.
- DETECTABLE WARNING SURFACES SHALL BE A MINIMUM OF 24" IN DEPTH IN THE DIRECTION OF PEDESTRIAN TRAVEL AND EXTEND THE FULL WIDTH OF THE CURB RAMP OR LANDINGS WHERE THE PEDESTRIAN ACCESS ROUTE ENTERS THE STREET.
- DETECTABLE WARNING SURFACES SHALL BE LOCATED SO THAT THE EDGE NEAREST THE CURB LINE IS A MINIMUM OF 6" AND A MAXIMUM OF 10" FROM THE EXTENSION OF THE FACE OF CURB. DETECTABLE WARNING SURFACES MAY BE CURVED ALONG THE CORNER RADIUS.

**\* AS-BUILTS \***  
**April 22, 2013**

**Roe Engineering, L.C.**  
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(915) 555-1416 - FAX: (915) 533-4922  
e-mail: roe@roeell.net

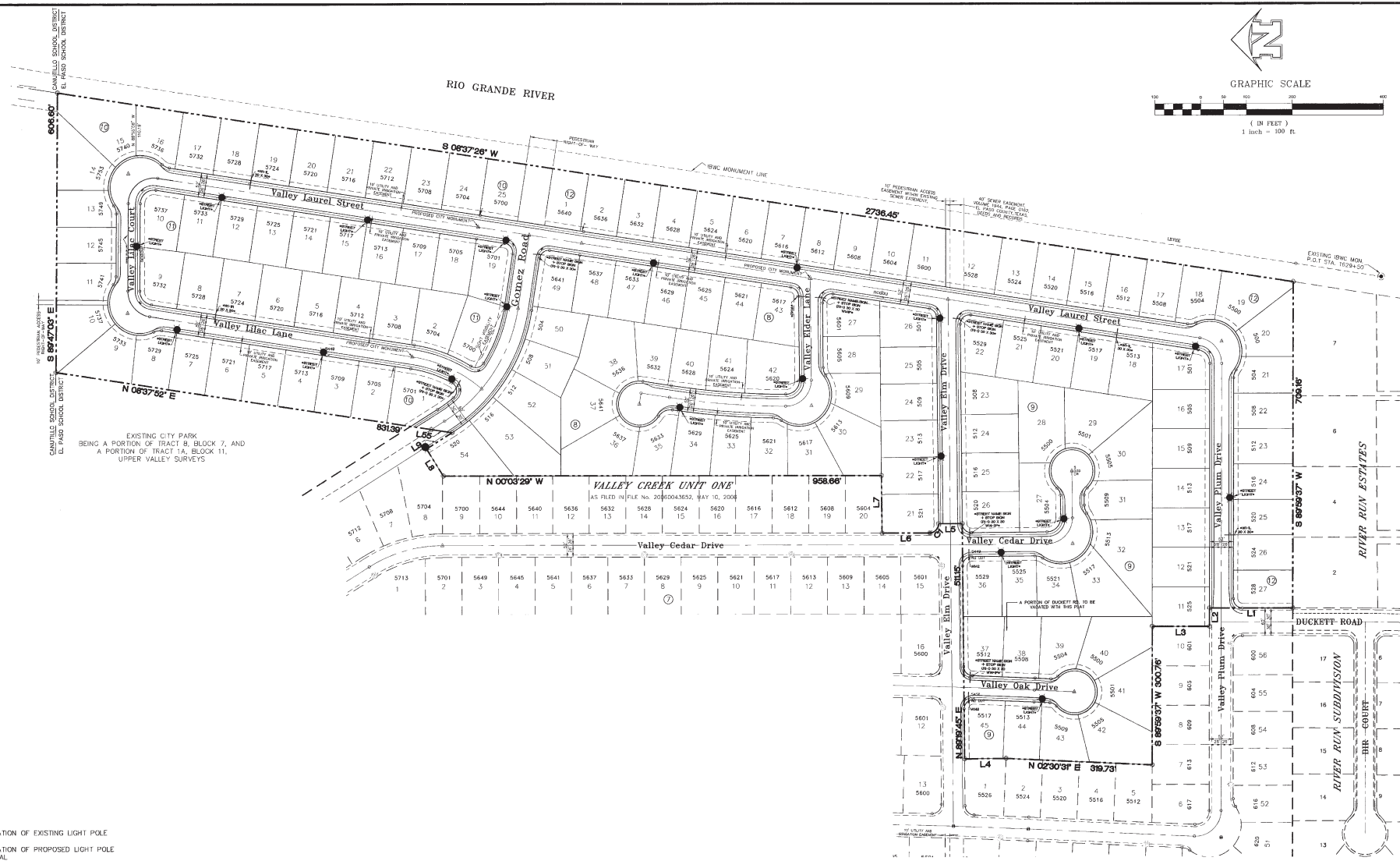
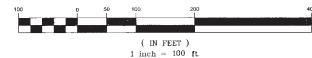
ENGINEERING/LAND DEVELOPMENT/PLANNING/SURVEYING

SHEET **C20** OF **C-26**





GRAPHIC SCALE



- DENOTES LOCATION OF EXISTING LIGHT POLE
- DENOTES LOCATION OF PROPOSED LIGHT POLE
- 21 POLES TOTAL
- DENOTES LOCATION OF NDCBU (4' X 6'-2 SITES TOTAL)
- ▬ DENOTES LOCATION OF PROPOSED 30" X 30" SIGNS
- ▬ DENOTES LOCATION OF PROPOSED 9" SNS WITH 30" STS

**\* AS-BUILTS \***  
**April 22, 2013**

**FLOOD NOTE:**  
 NOTE: THE ABOVE REFERENCED PROPERTY IS WITHIN ZONE "X". (EXPLANATION: AREAS OF 500-YEAR FLOOD; AREAS OF 100-YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 100-YEAR FLOOD) ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAPS, AS PER THE JURISDICTIONATED AREAS. COMMUNITY PANEL NO. 480212 0725 B, DATED SEPTEMBER 4, 1995.

DATE	REVISIONS	BY	PRIMARY BENCHMARK	SCALE
			EXISTING CITY MONUMENT LOCATED ALONG THE CENTERLINE OF COUNTY ROAD DRIVE AT THE NORTH NEEL OPPOSITE LOT 9, BLOCK 2, RIVER RUN ESTATES ELEVATION: 3728.40 (CITY DATUM)	HGR: AS SHOWN, VER: AS SHOWN FILE NAME: VC 2 SWP-ENG W.D.: 090811-5
			SECONDARY BENCHMARK EXISTING CITY MONUMENT LOCATED ALONG THE CENTERLINE OF VALLEY CEDAR DRIVE AT THE PT OF CURVE IN FRONT OF LOT 2, BLOCK 7, VALLEY CREEK UNIT ONE ELEVATION: 3726.47 (CITY DATUM)	DATE: JANUARY, 2012 DESIGN BY: L.A./J.P. DRAWN BY: L.A./S.R. CHKD. BY: H.P. APPR. BY: BR

**VALLEY CREEK UNIT TWO**  
**ILLUMINATION PLAN**

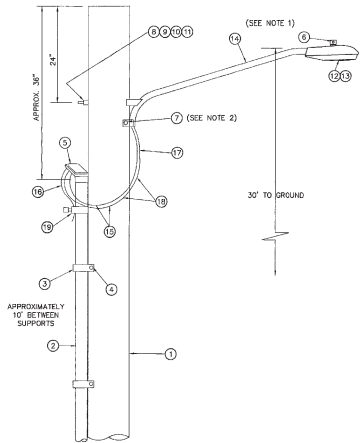


BEING A PORTION OF OF TRACTS 8 AND 9, BLOCK 7, UPPER VALLEY SURVEYS, AND A PORTION OF DUCKETT ROAD, CITY OF EL PASO, TEXAS, EL PASO COUNTY, TEXAS CONTAINING IN ALL, 1,331,953.07 SQ. FT. OR 44,3515 ACRES OF LAND MORE OR LESS

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 e-mail: info@proe-eng.com  
 ENGINEERING/LAND DEVELOPMENT/PLANNING/SURVEYING  
**SHEET C22 OF C-26**

000926

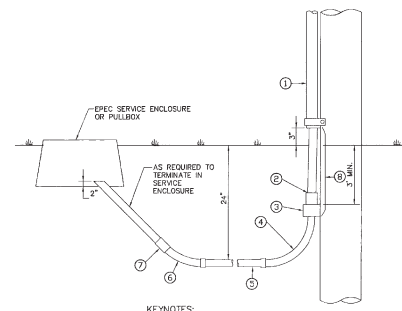




**\*ALTERNATE RESIDENTIAL STREET LIGHT WOOD POLE\***  
NOT TO SCALE

ITEM No.	DISCRPTION	STOCK No.	QTY.
1	POLE, 35 FT. - CLASS IV	009-035	1
2	SCHEDULE 80 - 1" CONDUIT	017-280	3
3	RIP STRAP FOR 1" CONDUIT, 2 - HOLE	017-334	7
4	LAG BOLT, 1/4" X 2"	002-330	6
5	WEATHERHEAD, 1" CONDUIT	017-293	1
6	PHOTOCELL, 240V - SEE NOTE 1	021-225	1
7	LAG BOLT, 1/2" X 4"	002-370	2
8	MACHINE BOLT, 5/8" X 8"	002-450	1
9	SQUARE GALV. WASHER, 2 - 1/4" X 2 - 1/4"	002-760	1
10	COIL-SPRING WASHER, 5/8"	002-766	1
11	LOCKNUT, 5/8"	002-705	1
12	LUMINAIRE, 100W H.P.S.	021-335	1
13	HPS LAMP, 100W	021-085	1
14	MAST ARM, 6' X 1-1/4"	021-200	1
15	COPPER CABLE, #12, 19 STRAND, 600 V	013-865	
16	COPPER CABLE, #12, SOLID, 600 V, GREEN	013-701	
17	CABLE, #10, 3 CONDUCTOR, 600 V, UF	013-690	8
18	SLEEVES, #12-10	005-140	2
19	GROUNDING CLAMP	021-215	1

- KEYNOTES:**
1. MOUNT SO THAT CONTROL FACES NORTH.
  2. ITEM 17 SHALL NOT BE SPLICED INSIDE ITEM 14.
- DESIGN NOTES:**
1. INSTALLATION SHALL COMPLY WITH ALL LOCAL CODE REQUIREMENTS.
  2. FOR ANY CLARIFICATION, EXCEPTIONS TO QUESTIONS REGARDING CODE INTERPRETATION, CALL EL PASO ELECTRIC CO. DISTRIBUTION DEVELOPMENT DEPARTMENT.
  3. THE LUMINAIRE SHALL BE DARK SKY COMPLIANT.

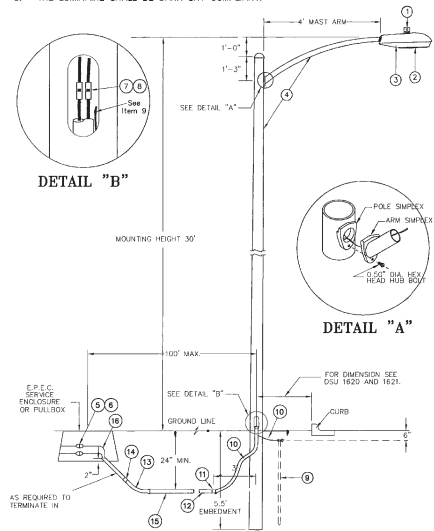


- KEYNOTES:**
1. 1/2" GALVANIZED RIGID CONDUIT
  2. REDUCER 1" TO 1/2" BUSHING
  1. 1" PVC FEMALE ADAPTER
  4. 1" PVC 90° ELBOW
  5. 1" PVC CONDUIT
  6. 1" PVC 45° ELBOW
  7. 1" PVC COUPLING
  8. TAPE 1/2" RIGID CONDUIT (8")

**ALTERNATE RESIDENTIAL STREET LIGHT WOOD POLE CONNECTION TO SERVICE ENCLOSURE**  
NOT TO SCALE

ITEM No.	DIRECT EMBEDDED SL STANDARD	STOCK / DSU No.	QTY.	C/U CODE	MACRO CODE
1	PHOTO CELL, 240 V - SEE NOTE 1	21-225	1		
2	HPS LAMP, 100W	21-085	1	LC0BR4H	
3	LUMINAIRE, 100W H.P.S.	21-335	1		
4	D.E. STANDARD, 3/4" 6" WITH 4' MAST ARM	09-310	1	L345TLUG	
5	FUSE 10A	21-240	2	LFUSE10A	
6	FUSEHOLDER - 30A SUBMERSIBLE	21-248	2	LFUSE30B	
7	COPPER CABLE, #12, SOLID, 600V, RED	13-702	70'	LC0F3CU	
8	BUTT SPLICE, #12 - #12	5-140	2	LSLV1210	
9	5/8" X 10' CU BLENDED GROUND ROD	08-626	1		LSLR006
	5/8" GROUND ROD CLAMP	07-461	1		
	TRANSFORMER GROUND CLAMP	04-100	1		LSRNDRO
	#4 BARE COPPER-GLAD	12-108	8'		
10	1" PVC FLEX CONDUIT	21-257	6'	LPVFLX1	
11	1" PVC FLEX CONDUIT FITTING	21-214	1	LPFLXFT1	
12	1" PVC FEMALE ADAPTER	17-295	1	LFADAPT1	
13	1" PVC 45 DEGREE ELBOW	17-298	1	LEL451	
14	1" PVC COUPLING	17-296	1	LOPLG1	
15	1" PVC CONDUIT	17-299	AS REQ	LPVCT1	
16	COPPER CABLE, #12, SOLID, 600V, RED	13-702	AS REQ	LC0F3CU	

- NOTES:**
1. MOUNT SO THAT PHOTO CELL IS FACING NORTH.
  2. INSTALLATION MUST COMPLY WITH LOCAL CODE REQUIREMENTS.
  3. FOR ANY CLARIFICATION, EXCEPTIONS OR QUESTIONS REGARDING THIS STANDARD, CALL THE EL PASO ELECTRIC COMPANY DISTRIBUTION DESIGN DEPARTMENT.
  4. ON STREET WHERE SIDEWALK IS ADJACENT TO CURB, STREET LIGHT POLE SHALL BE INSTALLED IN THE SIDEWALK NEXT TO PROPERTY LINE. 36 INCHES REQUIRED FROM BACK OF CURVE TO COMPLY WITH AMERICAN DISABILITY ACT AND LOCAL CODES.
  5. THE LUMINAIRE SHALL BE DARK SKY COMPLIANT.



**DIRECT EMBEDDED STANDARD FOR RESIDENTIAL STREET LIGHTING**

**\* AS-BUILTS \***  
April 22, 2013

**FLOOD NOTE:**

NOTE: THE ABOVE REFERENCED PROPERTY IS WITHIN ZONE "A". (EXPLANATION: AREAS OF 500-YEAR FLOOD; AREAS OF 100-YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH SHALLOVE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 100-YEAR FLOOD) ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAPS, AS FOR THE UNINCORPORATED AREAS COMMUNITY PANEL NO. 4802-2 0/25 B, DATED SEPTEMBER 4, 1995.

DATE	REVISIONS	BY

PRIMARY BENCHMARK	SCALE
EXISTING CITY MONUMENT LOCATED ALONG THE CENTERLINE OF COUNTY ROAD DRIVE AT THE NORTH HEAD OPPOSITE LOT 9, BLOCK 2, RIVER ROW ESTATES ELEVATION: 3708.49 (CITY DATUM)	HORIZ: AS SHOWN, VERT: AS SHOWN FILE NAME: VC 2-BLDRG W.O. 080811-5
SECONDARY BENCHMARK	DATE: JANUARY, 2012
EXISTING CITY MONUMENT LOCATED ALONG THE CENTERLINE OF VALLEY CEDAR DRIVE AT THE PT OF CURVE IN FRONT OF LOT 2, BLOCK 7, VALLEY CREEK UNIT ONE ELEVATION: 3709.42 (CITY DATUM)	DESIGN BY: L.A.J./H.P. DRAWN BY: L.A.J./S.R. CHKD. BY: H.P. APPD. BY: BR

THIS SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY BRADLEY RUIZ, JUDGE OF THE DISTRICT COURT, ALBUQUERQUE, NEW MEXICO, IN CONNECTION WITH THE PROCEEDINGS IN THE MATTER OF THE ESTATE OF ROBERTO RUIZ, DECEASED, UNDER THE PROBATE JURISDICTION OF THE DISTRICT COURT OF THE COUNTY OF BERNALILLO, NEW MEXICO. THE SEAL IS VALID FOR THE STATE OF NEW MEXICO.

**VALLEY CREEK UNIT TWO**  
**ILLUMINATION DETAILS**

BEING A PORTION OF OF TRACTS 8 AND 6, BLOCK 7, UPPER VALLEY SURVEYS, AND A PORTION OF DUCKETT ROAD, CITY OF EL PASO, TEXAS, EL PASO COUNTY, TEXAS CONTAINING ALL 1,931.953 07 sq. ft. OR 44.3515 acres OF LAND MORE OR LESS

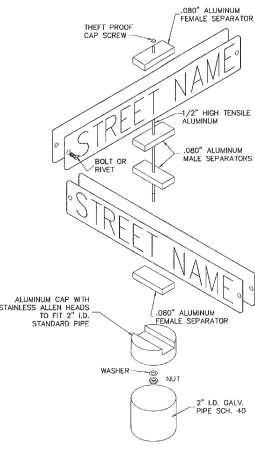
**Roe Engineering, L.C.**  
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(915) 688-1410 FAX (915) 688-4972  
E-mail: roe@roeeng.com

ENGINEERING/LAND DEVELOPMENT/PLANNING/SURVEYING

SHEET **C23** OF **C-26**

000526

- Specifications for ReflectORIZED Street Name Signs
- Color of Sign:** The finished sign must have a reflectORIZED green background. The green must conform with the Bureau of Public Roads Highway Green. The legend must be reflectORIZED silver white (green reverse screened background with silver copy).
  - Letter Detail:** The lettering of all legends must be upper case letters in accordance with standard alphabets for highway signs published by the Federal Highway Administration.
  - Letter Spacing:** The control for the spacing values in traffic layout is the distance recognized as aesthetic spacing between two straight letters (M). A spacing control of two times the width of the stroke of the letter series to be used must be the aesthetic control (1000). Two and one-half times (2-1/2) the control must be used on the aesthetic word space between elements in the primary legend.
  - Legals:** The minimum number of letters to be accommodated on a given length street name sign must be determined by widest letter series possible for that legend and the spacing control (1000) for the series used must be expanded or condensed to 25% in 5% increments.
  - The spacing control (1000) for the series used must be expanded or condensed up to 25% in 5% increments for the end margin with minimum of 1".
  - The word space must be expanded up to 25% in 5% increments but not condensed.
  - Space between primary and block number area must be 1/2 the aesthetic word space used in the primary legend.
  - Suffix letter size for all lengths must be 2" Capitals, "C" series except that series "A" or "B" where suffix abbreviations exceeds two letters, may be used.
  - Size of Legend:** For 9" street name signs, the primary legend, or street name must have copious letters six inches (6") high and all secondary legends, including the suffix, block numbers, must have upper case letters two and one-half inches (2-1/2") high.
  - Suffix letter size for all lengths must be 2-1/2" capitals, "C" series, except that series A and B where suffix abbreviation exceeds two letters, may be used.
  - Position of Legend:** Each sign face will consist of the street name, suffix and two series of the block number. The additional numbers of the block number will be applied by the city of El Paso. The suffix will be located in the upper right corner and the block number in the lower right corner of the sign face and the street name centered in the remaining space.
  - Sign Fabrication:** The sign face must be fabricated by reverse screening green transparent color over silver reflective sheeting. Transparent process colors must be as recommended by the sheeting manufacturer. Cut-out or applied legends are not permitted. Sign face must be completed on one piece or panel of reflective sheeting.
  - Type of sheeting:** High intensity reflective sheeting must be used in the fabrication of the street name sign faces.



SIGN CLASS	SIGN LENGTH	PRIMARY LETTERS SIZE AND SERIES	SUFFIX & BLOCK NUMBER SIZE AND SERIES
6" ARTERIAL STREETS	24"	4" C.D. SERIES 4" A,B,C,D. SERIES	3" C SERIES 3" C SERIES

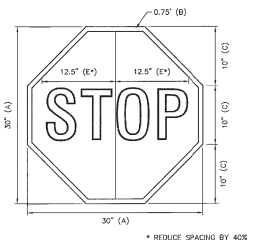


LAYOUT FOR 6" STREET NAME SIGN  
SCALE: 1" = 1"

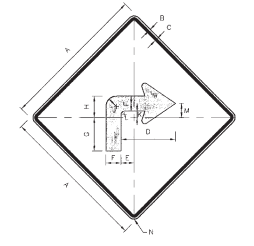
SIGN CLASS	SIGN LENGTH	PRIMARY LETTERS SIZE & SERIES	SUFFIX & BLOCK NUMBER SIZE AND SERIES
9" ARTERIAL STREETS	36" 48"	6" C.D. SERIES 6" A,B,C,D. SERIES	3" C SERIES 3" C SERIES



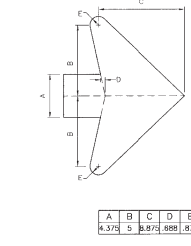
LAYOUT FOR 9" STREET NAME SIGN  
SCALE: 1" = 1"



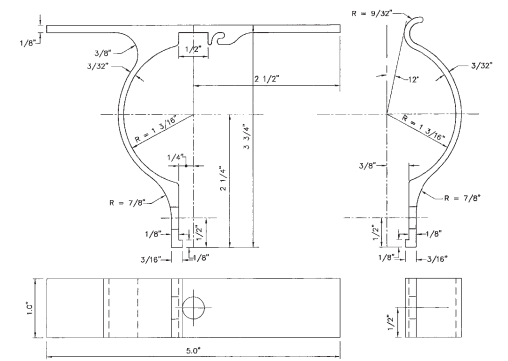
STOP SIGN DETAIL  
SCALE: NOT TO SCALE



W1-1R(L) SIGN DETAIL  
SCALE: NOT TO SCALE



STANDARD ARROW DETAIL  
SCALE: NOT TO SCALE



- NOTES:
- FILL HOLES 3/8" PUNCH
  - FILLETS AND ROUNDS 1/8" = R
  - FURNISH THE FOLLOWING HARDWARE FOR EACH BRACKET:
    - 1 - 5/16" x 3/4" BOLTS
    - 1 - 5/16" x 1 1/4" BOLT
    - 2 - 5/16" NUTS & LOCK WASHERS
    - 2 - 5/16" FLAT WASHERS
  - THE BRACKET IS TO BE MADE FROM HIGH STRENGTH ALUMINUM ALLOY. THE BRACKET IS TO EMPLOY AN EXTRUDED INTERLOCKING FEATURE. OFFERING A ROBUST MEANS OF ATTACHING A FLAT SIGN TO A STANDARD 2" (3/8" O.D.) TUBULAR POST.

ALUMINUM SIGN CLAMP BRACKET FOR TRAFFIC CONTROL SIGNS  
SCALE: 1" = 1"

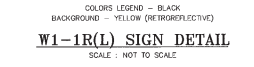
SIGN CLASS	SIGN LENGTH	PRIMARY LETTERS SIZE & SERIES	SUFFIX & BLOCK NUMBER SIZE AND SERIES
9" ARTERIAL STREETS	36" 48"	6" B.C.D. SERIES 6" A,B,C,D. SERIES	3" C SERIES 3" C SERIES



LAYOUT FOR 9" STREET NAME SIGN  
SCALE: 1" = 1"



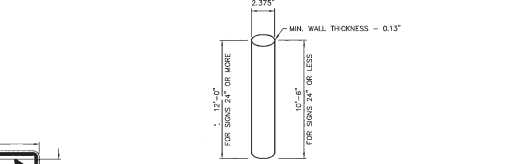
STOP SIGN DETAIL  
SCALE: NOT TO SCALE



W1-1R(L) SIGN DETAIL  
SCALE: NOT TO SCALE



W1-1P SIGN DETAIL  
SCALE: NOT TO SCALE

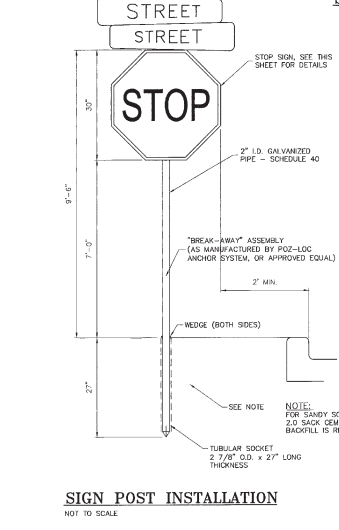


- NOTES:
- WELD ALONG ITS LENGTH TO FORM VIRTUALLY SEAMLESS.
  - POST SHALL BE HOT-DIPPED ZINC GALVANIZED UNIFORMLY ON THE OUTSIDE WITH A NOMINAL ZINC WEIGHT OF 1.0 OUNCE PER SQUARE FOOT.
  - THE ZINC COATING IS TO BE OVER-COATED WITH A CHROMATE CONVERSION AND ACRYLIC COATING TO PROVIDE RESISTANCE TO RUSTING AND CORROSION.
  - THE INSIDE OF THE POST SHALL BE COATED WITH AN ORGANIC MATERIAL FOR PROTECTION AGAINST RUST.
  - BOTH ENDS ARE TO BE SQUARELY CUT WITHOUT FLANGES.
  - POST SHALL BE FREE WARE, CORROSION, OR OTHER DEFECTS.
  - RING WELDS OR SPOULDS WILL NOT BE ACCEPTABLE.
  - BENDING STRENGTH AS SPECIFIED BY AASHTO FOR SCHEDULE 40 PIPE.
  - POST SHALL BE BUNDLE WITH METAL STRAPS AND SHALL NOT EXCEED 37 POSTS PER BUNDLE.

SIGN POST SPECIFICATIONS  
SCALE: NOT TO SCALE

Specifications for Aluminum Sign Blanks

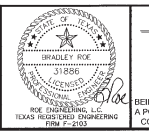
- All materials shall be new and unweathered and shall be of domestic origin, milled, rolled and finished in domestic mills.
- Sign blanks shall be .080 gauge anodized-treated aluminum, 5052-H38 alloy, free of burrs, corrosion, white rust and dirt, suitable for application of reflective sheeting without further preparation.
- Edges of blanks shall be cut true and square, corner radii, hole diameters and hole locations shall be as described in the aluminum sign blank bid D.U.I.T. standard.
- All sign blanks will be treated as follows:
  - Degraining**
    - Vapor Degraining** - By total immersion of sign blank in a saturated vapor of trichloroethylene or perchloroethylene. Trademark printing shall be removed with lacquer thinner before degrading.
    - Alkaline Degraining** - By total immersion of sign blank in a saturated vapor of caustic soda solution, controlled and titrated to the solution manufacturer's specification for time, temperature and concentration. Immersion time shall depend upon the amount of soil present, gauge of the metal and solution strength. Rinse thoroughly with running water.
    - Etching**
      - Acid Etch** - Etch well in 8 - 8 1/2 phosporic solution at 100 degrees Fahrenheit of proprietary acid etching solution. Rinse thoroughly with running water.
      - Alkaline Etch** - Etch well the pre-cleaned aluminum surface in an alkaline etching material that is operated by titration. Use time, temperature, and concentration specified by solution manufacturer. Rinse thoroughly. Remove spot with an acidic oxalic acid compound-type solution as specified by the solution manufacturer and then rinse thoroughly.
      - Chromate conversion coating**



SIGN POST INSTALLATION  
NOT TO SCALE

**FLOOD NOTE:**  
NOTE: THE ABOVE REFERENCED PROPERTY IS WITHIN ZONE "X". (EXPLANATIONS: AREAS OF SIGN-BEAR FLOOD AREAS OF 100-YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE, AND AREAS PROTECTED BY LEVEES FROM 100-YEAR FLOODS) ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAPS, AS PER THE UNINCORPORATED AREAS COMMUNITY PANEL NO. 496212 015 0. DATED SEPTEMBER 4, 1995.

DATE	REVISIONS	BY	PRIMARY BENCHMARK	SCALE
			EXISTING CITY MONUMENT LOCATED ALONG THE CENTERLINE OF COUNTY ROAD 806 AT THE NORTH HEEL OPPOSITE LOT 9, BLOCK 2, RIVER RUN RESERVES. ELEVATION: 3708.40 (CITY DATUM)	HOR. AS SHOWN; VER. AS SHOWN FILE NAME: VS 2-ALLDING W.D. 080811-5 DATE: JANUARY, 2012 DESIGN BY: LAJ/JP DRAWN BY: LAJ/S.R. CHKD. BY: H.P. APPRO. BY: BR.
			EXISTING CITY MONUMENT LOCATED ALONG THE CENTERLINE OF VALLEY CREEK RIVER AT THE PT OF CURVE IN FRONT OF LOT 2, BLOCK 7, VALLEY CREEK UNIT ONE. ELEVATION: 3708.42 (CITY DATUM)	



VALLEY CREEK UNIT TWO  
STREET SIGN DETAILS  
AND SPECIFICATIONS

AS-BUILTS  
April 22, 2013

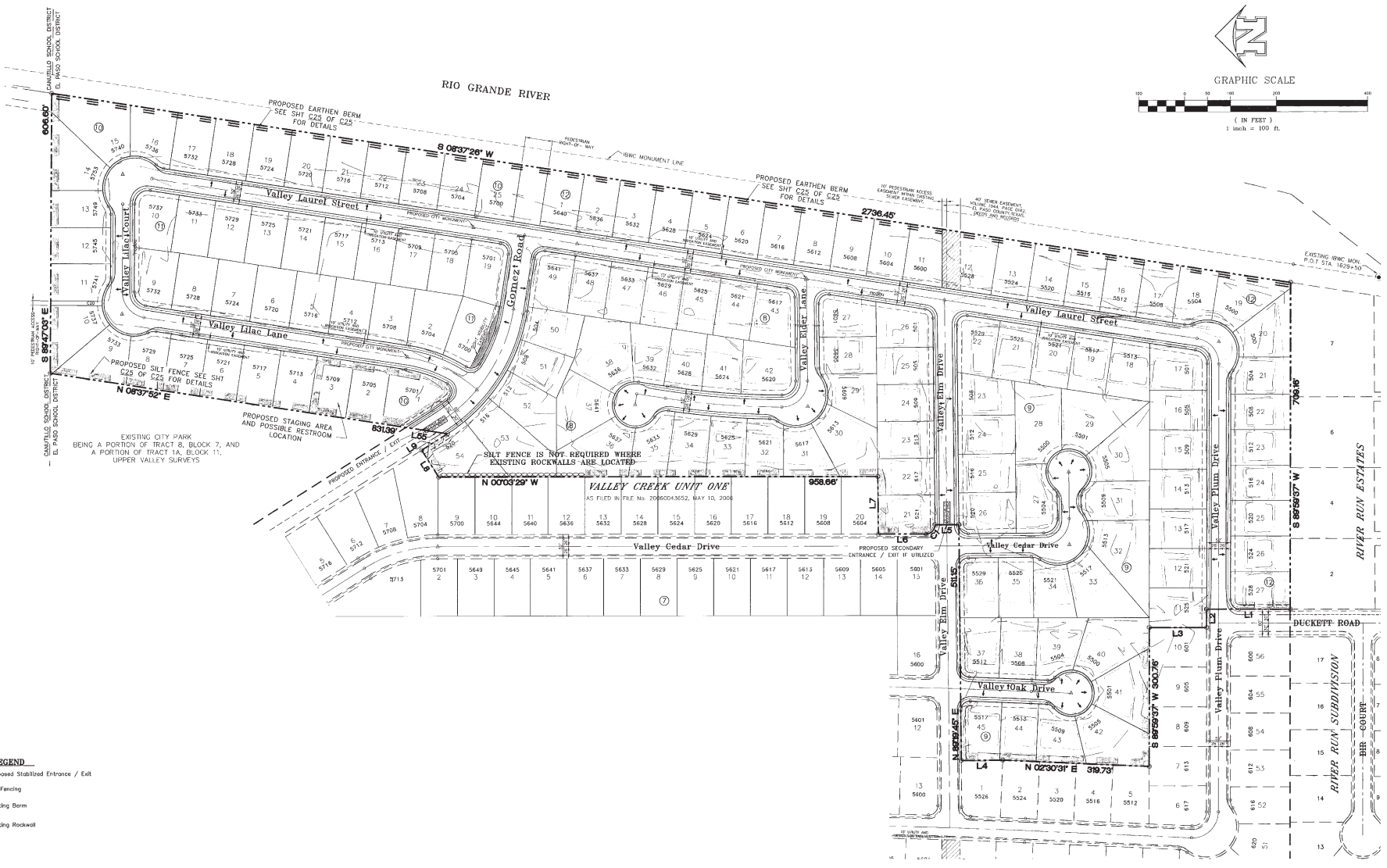
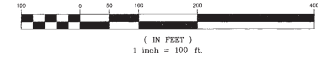
Pro Engineering, L.C.  
801 N. Dallas St. Suite No. 8 El Paso, TX 79906  
(915) 533-1448 - FAX: (915) 533-4972  
e-mail: roeeng@proe.com

ENGINEERING/LAND DEVELOPMENT/PLANNING/SURVEYING  
SHEET C24 OF C-26

C:\Users\BRADLEY\Documents\2012\2012-01-22\2012-01-22\VALLEY CREEK UNIT TWO\VALLEY CREEK UNIT TWO.dwg, 02/07/13, 3:30 PM



GRAPHIC SCALE



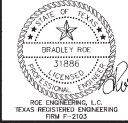
**LEGEND**

	Proposed Stabilized Entrance / Exit
	Silt Fencing
	Existing Berm
	Existing Rockwall

**FLOOD NOTE:**  
 NOTE: THE ABOVE REFERENCED PROPERTY IS WITHIN ZONE "X". (EXPLANATION: AREAS OF 200-YEAR FLOOD AREAS OF 100-TO-200 FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE, AND AREAS PROTECTED BY LEVEES FROM 100-YEAR FLOODS ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAPS, AS PER THE UNINCORPORATED AREAS COMMUNITY PANEL NO. 480212 025 B, DATED SEPTEMBER 4, 1995.

DATE	REVISIONS	BY	PRIMARY BENCHMARK	SCALE
			EXISTING CITY MONUMENT LOCATED ALONG THE CENTERLINE OF COUNTY ROAD DRIVE AT THE NORTH HEEL OPPOSITE LOT 9, BLOCK 2, RIVER RUN ESTATES ELEVATION: 3708.40 (CITY DATUM)	HOR: AS SHOWN, VERT: AS SHOWN FILE NAME: VC 2_SWP.DWG W.D. 080811-5
			SECONDARY BENCHMARK EXISTING CITY MONUMENT LOCATED ALONG THE CENTERLINE OF VALLEY CEDAR DRIVE AT THE PT OF CURVE IN FRONT OF LOT 2, BLOCK 7, VALLEY CREEK UNIT ONE ELEVATION: 3708.42 (CITY DATUM)	DATE: JANUARY, 2012 DESIGN BY: L.A./J.P. DRAWN BY: L.A./J.S.R. CHKD. BY: H.P. APPR. BY: BR

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY BRADLEY ROE, P.E. JIBNO ON JUL 5, 2012. ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER AUTHORIZATION TO RECAPTURE EMBLEM IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.



**VALLEY CREEK UNIT TWO**  
**STORM WATER POLLUTION PREVENTION PLAN**  
 BEING A PORTION OF OF TRACTS 8 AND A BLOCK 7, UPPER VALLEY SURVEYS, AND A PORTION OF DUCKETT ROAD, CITY OF EL PASO, TEXAS, EL PASO COUNTY, TEXAS CONTAINING ALL 1,931.953 07 SQ. FT. OR 44.3515 ACRES OF LAND MORE OR LESS

**\* AS-BUILTS \***  
**April 22, 2013**

**brp** **Roe Engineering, L.C.**  
 801 N. Cotton St. Suite No. 8 El Paso, TX 79902  
 (915) 538-1418 - FAX (915) 538-4972  
 or email: roe@brp.com  
 ENGINEERING/LAND DEVELOPMENT/PLANNING/SURVEYING  
**SHEET C25 OF C-26**

Handwritten signature or initials.

