Page 1 of 7 Date: December 28, 2010 Case No.: 10-06-3545A LOMR-F



Federal Emergency Management Agency

Washington, D.C. 20472

LETTER OF MAP REVISION BASED ON FILL DETERMINATION DOCUMENT (REMOVAL)

COMMU	NITY AND MAP PANEL INFORMATION	LEGAL PROPERTY DESCRIPTION		
COMMUNITY	CITY OF EL PASO, EL PASO COUNTY, TEXAS COMMUNITY NO.: 480214	Lots 3 through 12, and 56, Block 2, Sunset Terrace, Unit 3, as shown on the Plat, recorded as File No. 20080070374; and Lots 39 through 47 and 52, Block 2, Sunset Terrace, Unit 3, Replat A, as shown on the Plat, recorded as File No. 20090066241, both Plats filed in the Office of the County Clerk, El Paso County, Texas		
AFFECTED	NUMBER: 4802120125B	<u>-</u>		
MAP PANEL	DATE: 9/4/1991			
FLOODING SOURCE: FLOW PATH 38; RIO GRANDE RIVER		APPROXIMATE LATITUDE & LONGITUDE OF PROPERTY: 31.888, -106.588 SOURCE OF LAT & LONG: ESRI: FEMA GEOCODE/GOOGLE MAPS DATUM: NAD 83		

DETERMINATION

LOT	BLOCK/ SECTION	SUBDIVISION	STREET	OUTCOME WHAT IS REMOVED FROM THE SFHA	FLOOD ZONE	1% ANNUAL CHANCE FLOOD ELEVATION (NGVD 29)	LOWEST ADJACENT GRADE ELEVATION (NGVD 29)	LOWEST LOT ELEVATION (NGVD 29)
6	2	Sunset Terrace, Unit 3		Property	X (unshaded)	3815.0 feet		3824.0 feet

Special Flood Hazard Area (SFHA) - The SFHA is an area that would be inundated by the flood having a 1-percent chance of being equaled or exceeded in any given year (base flood).

ADDITIONAL CONSIDERATIONS (Please refer to the appropriate section on Attachment 1 for the additional considerations listed below.)

DETERMINATION TABLE (CONTINUED)

FILL RECOMMENDATION

ANNEXATION

STUDY UNDERWAY

ZONE A

This document provides the Federal Emergency Management Agency's determination regarding a request for a Letter of Map Revision based on Fill for the property described above. Using the information submitted and the effective National Flood Insurance Program (NFIP) map, we have determined that the property(ies) is/are not located in the SFHA, an area inundated by the flood having a 1-percent chance of being equaled or exceeded in any given year (base flood). This document revises the effective NFIP map to remove the subject property from the SFHA located on the effective NFIP map; therefore, the Federal mandatory flood insurance requirement does not apply. However, the lender has the option to continue the flood insurance requirement to protect its financial risk on the loan. A Preferred Risk Policy (PRP) is available for buildings located outside the SFHA. Information about the PRP and how one can apply is enclosed.

This determination is based on the flood data presently available. The enclosed documents provide additional information regarding this determination. If you have any questions about this document, please contact the FEMA Map Assistance Center toll free at (877) 336-2627 (877-FEMA MAP) or by letter addressed to the Federal Emergency Management Agency, LOMC Clearinghouse, 6730 Santa Barbara Court, Elkridge, MD 21075.

> Luis Rodriguez, P.E., Chief **Engineering Management Branch**



Federal Emergency Management Agency

Washington, D.C. 20472

LETTER OF MAP REVISION BASED ON FILL DETERMINATION DOCUMENT (REMOVAL)

ATTACHMENT 1 (ADDITIONAL CONSIDERATIONS)

DETERMINATION '	TABLE (CONTINUED)

DETE	DETERMINATION TABLE (CONTINUED)							
LOT	BLOCK/ SECTION	SUBDIVISION	STREET	OUTCOME WHAT IS REMOVED FROM THE SFHA	FLOOD ZONE	1% ANNUAL CHANCE FLOOD ELEVATION (NGVD 29)	LOWEST ADJACENT GRADE ELEVATION (NGVD 29)	LOWEST LOT ELEVATION (NGVD 29)
7	2	Sunset Terrace, Unit 3		Property	X (unshaded)	3814.0 feet		3823.6 feet
10	2	Sunset Terrace, Unit 3		Property	X (unshaded)	3808.0 feet		3825.0 feet
39	2	Sunset Terrace, Unit 3, Replat A		Property	X (unshaded)	3800.0 feet		3805.9 feet
40	2	Sunset Terrace, Unit 3, Replat A		Property	X (unshaded)	3800.0 feet		3806.4 feet
41	2	Sunset Terrace, Unit 3, Replat A		Property	X (unshaded)	3797.0 feet		3805.5 feet
42	2	Sunset Terrace, Unit 3, Replat A		Property	X (unshaded)	3795.2 feet		3805.2 feet
43	2	Sunset Terrace, Unit 3, Replat A		Property	X (unshaded)	3795.2 feet		3804.6 feet
44	2	Sunset Terrace, Unit 3, Replat A		Property	X (unshaded)	3793.0 feet		3804.2 feet
45	2	Sunset Terrace, Unit 3, Replat A		Property	X (unshaded)	3792.0 feet		3805.5 feet
46	2	Sunset Terrace, Unit 3, Replat A		Property	X (unshaded)	3792.0 feet		3803.6 feet

This attachment provides additional information regarding this request. If you have any questions about this attachment, please contact the FEMA Map Assistance Center toll free at (877) 336-2627 (877-FEMA MAP) or by letter addressed to the Federal Emergency Management Agency, LOMC Clearinghouse, 6730 Santa Barbara Court, Elkridge, MD 21075.

Luis Rodriguez, P.E., Chief Engineering Management Branch



Federal Emergency Management Agency

Washington, D.C. 20472

LETTER OF MAP REVISION BASED ON FILL DETERMINATION DOCUMENT (REMOVAL)

ATTACHMENT 1 (ADDITIONAL CONSIDERATIONS)

LOT	BLOCK/ SECTION	SUBDIVISION	STREET	OUTCOME WHAT IS REMOVED FROM THE SFHA	FLOOD ZONE	1% ANNUAL CHANCE FLOOD ELEVATION (NGVD 29)	LOWEST ADJACENT GRADE ELEVATION (NGVD 29)	LOWEST LOT ELEVATION (NGVD 29)
47	2	Sunset Terrace, Unit 3, Replat A		Property	X (unshaded)	3791.0 feet		3803.3 feet
52	2	Sunset Terrace, Unit 3, Replat A		Property	X (unshaded)	3794.2 feet		3800.6 feet
56	2	Sunset Terrace, Unit 3		Property	X (unshaded)	3794.2 feet		3801.0 feet

FILL RECOMMENDATION (This Additional Consideration applies to the preceding 14 Properties.)

The minimum NFIP criteria for removal of the subject area based on fill have been met for this request and the community in which the property is located has certified that the area and any subsequent structure(s) built on the filled area are reasonably safe from flooding. FEMA's Technical Bulletin 10-01 provides guidance for the construction of buildings on land elevated above the base flood elevation through the placement of fill. A copy of Technical Bulletin 10-01 can be obtained by calling the FEMA Map Assistance Center toll free at (877) 336-2627 (877-FEMA MAP) or from our web site at http://www.fema.gov/mit/tb1001.pdf. Although the minimum NFIP standards no longer apply to this area, some communities may have floodplain management regulations that are more restrictive and may continue to enforce some or all of their requirements in areas outside the Special Flood Hazard Area.

ANNEXATION (This Additional Consideration applies to the preceding 14 Properties.)

Although the subject of this determination is shown on the National Flood Insurance Program map as being located in a community other than the community indicated on the Determination/Comment Document, it has been annexed by the community referenced therein.

This attachment provides additional information regarding this request. If you have any questions about this attachment, please contact the FEMA Map Assistance Center toll free at (877) 336-2627 (877-FEMA MAP) or by letter addressed to the Federal Emergency Management Agency, LOMC Clearinghouse, 6730 Santa Barbara Court, Elkridge, MD 21075.

Luis Rodriguez, P.E., Chief Engineering Management Branch Federal Insurance and Mitigation Administration Page 4 of 7 Date: December 28, 2010 Case No.: 10-06-3545A LOMR-F



Federal Emergency Management Agency

Washington, D.C. 20472

LETTER OF MAP REVISION BASED ON FILL DETERMINATION DOCUMENT (REMOVAL)

ATTACHMENT 1 (ADDITIONAL CONSIDERATIONS)

ZONE A (This Additional Consideration applies to the preceding 14 Properties.)

The National Flood Insurance Program map affecting this property depicts a Special Flood Hazard Area that was determined using the best flood hazard data available to FEMA, but without performing a detailed engineering analysis. The flood elevation used to make this determination is based on approximate methods and has not been formalized through the standard process for establishing base flood elevations published in the Flood Insurance Study. This flood elevation is subject to change.

STUDY UNDERWAY (This Additional Consideration applies to all properties in the LOMR-F DETERMINATION DOCUMENT (REMOVAL))

This determination is based on the flood data presently available. However, the Federal Emergency Management Agency is currently revising the National Flood Insurance Program (NFIP) map for the community. New flood data could be generated that may affect this property. When the new NFIP map is issued it will supersede this determination. The Federal requirement for the purchase of flood insurance will then be based on the newly revised NFIP map.

This attachment provides additional information regarding this request. If you have any questions about this attachment, please contact the FEMA Map Assistance Center toll free at (877) 336-2627 (877-FEMA MAP) or by letter addressed to the Federal Emergency Management Agency, LOMC Clearinghouse, 6730 Santa Barbara Court, Elkridge, MD 21075.

Luis Rodriguez, P.E., Chief Engineering Management Branch

Page 5 of 7 | Date: December 28, 2010 | Case No.: 10-06-3545A | LOMR-F



Federal Emergency Management Agency

Washington, D.C. 20472

LETTER OF MAP REVISION BASED ON FILL DETERMINATION DOCUMENT (REMOVAL)

СОММИ	NITY AND MAP PANEL INFORMATION	LEGAL PROPERTY DESCRIPTION			
COMMUNITY	CITY OF EL PASO, EL PASO COUNTY, TEXAS	Lots 3 through 12, and 56, Block 2, Sunset Terrace, Unit 3, as shown on the Plat, recorded as File No. 20080070374; and Lots 39 through 47 and 52, Block 2, Sunset Terrace, Unit 3, Replat A, as shown on the Plat, recorded as File No. 20090066241, both Plats filed in the Office of the County Clerk, El Paso County, Texas			
	COMMUNITY NO.: 480214				
AFFECTED	NUMBER: 4802120125B				
MAP PANEL	DATE: 9/4/1991				
FLOODING SOURCE: FLOW PATH 38; RIO GRANDE RIVER		APPROXIMATE LATITUDE & LONGITUDE OF PROPERTY: 31.888, -106.588 SOURCE OF LAT & LONG: ESRI: FEMA GEOCODE/GOOGLE MAPS DATUM: NAD 83			
		DETERMINATION			

DETERMINATION

LOT	BLOCK/ SECTION	SUBDIVISION	STREET	OUTCOME WHAT IS REMOVED FROM THE SFHA	FLOOD ZONE	1% ANNUAL CHANCE FLOOD ELEVATION (NGVD 29)	LOWEST ADJACENT GRADE ELEVATION (NGVD 29)	LOWEST LOT ELEVATION (NGVD 29)
3	2	Sunset Terrace, Unit 3	-	Structure	X (unshaded)	3817.0 feet	3826.0 feet	

Special Flood Hazard Area (SFHA) - The SFHA is an area that would be inundated by the flood having a 1-percent chance of being equaled or exceeded in any given year (base flood).

ADDITIONAL CONSIDERATIONS (Please refer to the appropriate section on Attachment 1 for the additional considerations listed below.)

DETERMINATION TABLE (CONTINUED)

ZONE A

PORTIONS REMAIN IN THE SFHA

STUDY UNDERWAY

ANNEXATION

This document provides the Federal Emergency Management Agency's determination regarding a request for a Letter of Map Revision based on Fill for the property described above. Using the information submitted and the effective National Flood Insurance Program (NFIP) map, we have determined that the structure(s) on the property(ies) is/are not located in the SFHA, an area inundated by the flood having a 1-percent chance of being equaled or exceeded in any given year (base flood). This document revises the effective NFIP map to remove the subject property from the SFHA located on the effective NFIP map; therefore, the Federal mandatory flood insurance requirement does not apply. However, the lender has the option to continue the flood insurance requirement to protect its financial risk on the loan. A Preferred Risk Policy (PRP) is available for buildings located outside the SFHA. Information about the PRP and how one can apply is enclosed.

This determination is based on the flood data presently available. The enclosed documents provide additional information regarding this determination. If you have any questions about this document, please contact the FEMA Map Assistance Center toll free at (877) 336-2627 (877-FEMA MAP) or by letter addressed to the Federal Emergency Management Agency, LOMC Clearinghouse, 6730 Santa Barbara Court, Elkridge, MD 21075.

Luis Rodriguez, P.E., Chief Engineering Management Branch

Date: December 28, 2010

Case No.: 10-06-3545A

LOMR-F



Federal Emergency Management Agency

Washington, D.C. 20472

LETTER OF MAP REVISION BASED ON FILL **DETERMINATION DOCUMENT (REMOVAL)**

ATTACHMENT 1 (ADDITIONAL CONSIDERATIONS)

DETERMINATION TABLE (CONTINUED)

DETE	TIVITIVATION	TABLE (CONTINU	ED)					
LOT	BLOCK/ SECTION	SUBDIVISION	STREET	OUTCOME WHAT IS REMOVED FROM THE SFHA	FLOOD ZONE	1% ANNUAL CHANCE FLOOD ELEVATION (NGVD 29)	LOWEST ADJACENT GRADE ELEVATION (NGVD 29)	LOWEST LOT ELEVATION (NGVD 29)
4	2	Sunset Terrace, Unit 3		Structure	X (unshaded)	3817.0 feet	3825.8 feet	
5	2	Sunset Terrace, Unit 3		Structure	X (unshaded)	3817.0 feet	3525.1 feet	
8	2	Sunset Terrace, Unit 3		Structure	X (unshaded)	3813.0 feet	3823.7 feet	
9	2	Sunset Terrace, Unit 3		Structure	X (unshaded)	3810.0 feet	3824.7 feet	
11	2	Sunset Terrace, Unit 3		Structure	X (unshaded)	3804.0 feet	3825.0 feet	
12	2	Sunset Terrace, Unit 3		Structure	X (unshaded)	3804.0 feet	3825.0 feet	

PORTIONS OF THE PROPERTY REMAIN IN THE SFHA (This Additional Consideration applies to the preceding 7 Properties.)

Portions of this property, but not the subject of the Determination/Comment document, may remain in the Special Flood Hazard Area. Therefore, any future construction or substantial improvement on the property remains subject to Federal, State/Commonwealth, and local regulations for floodplain management.

ANNEXATION (This Additional Consideration applies to the preceding 7 Properties.)

Although the subject of this determination is shown on the National Flood Insurance Program map as being located in a community other than the community indicated on the Determination/Comment Document, it has been annexed by the community referenced therein.

This attachment provides additional information regarding this request. If you have any questions about this attachment, please contact the FEMA Map Assistance Center toll free at (877) 336-2627 (877-FEMA MAP) or by letter addressed to the Federal Emergency Management Agency, LOMC Clearinghouse, 6730 Santa Barbara Court, Elkridge, MD 21075.

> Luis Rodriguez, P.E., Chief **Engineering Management Branch**

Page 7 of 7 Date: December 28, 2010 Case No.: 10-06-3545A



Federal Emergency Management Agency

LOMR-F

Washington, D.C. 20472

LETTER OF MAP REVISION BASED ON FILL DETERMINATION DOCUMENT (REMOVAL)

ATTACHMENT 1 (ADDITIONAL CONSIDERATIONS)

ZONE A (This Additional Consideration applies to the preceding 7 Properties.)

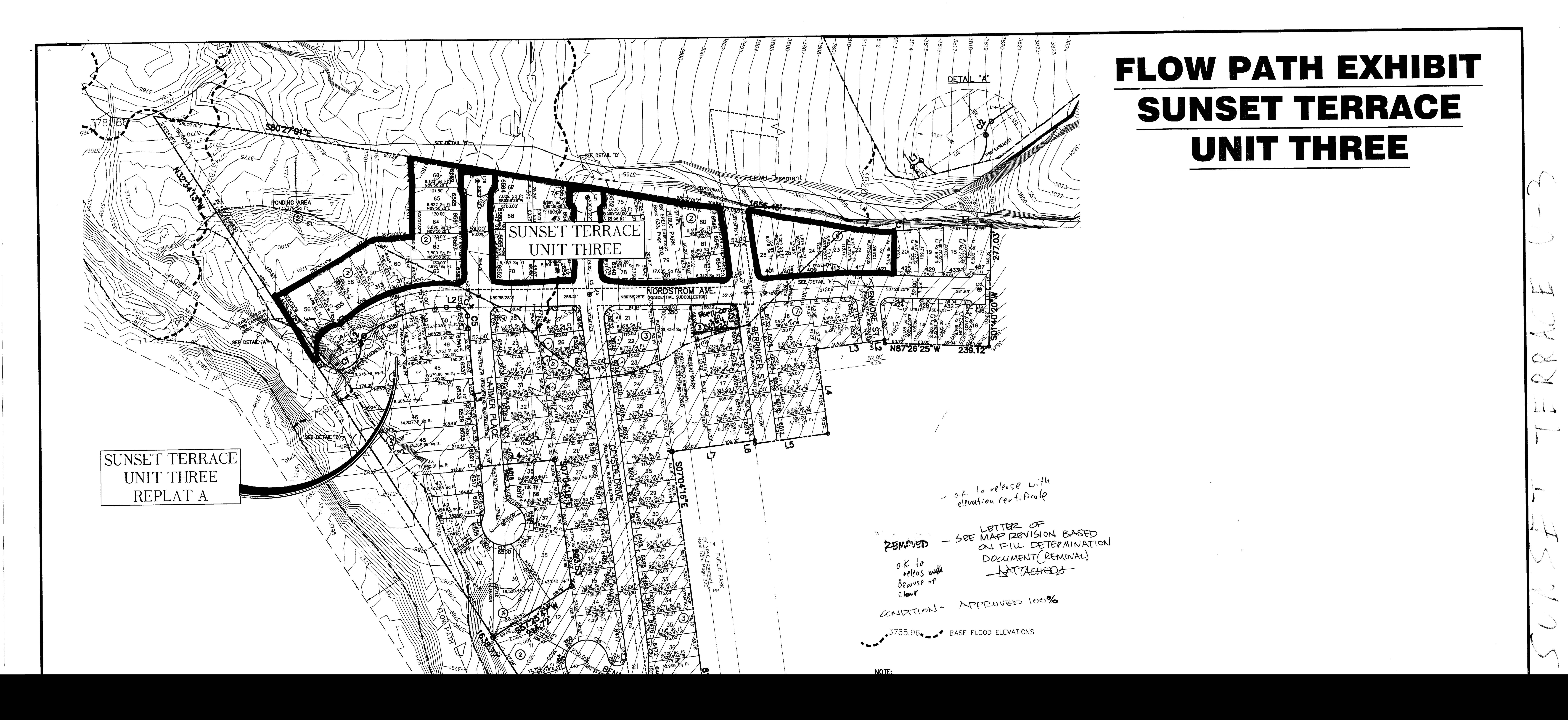
The National Flood Insurance Program map affecting this property depicts a Special Flood Hazard Area that was determined using the best flood hazard data available to FEMA, but without performing a detailed engineering analysis. The flood elevation used to make this determination is based on approximate methods and has not been formalized through the standard process for establishing base flood elevations published in the Flood Insurance Study. This flood elevation is subject to change.

STUDY UNDERWAY (This Additional Consideration applies to all properties in the LOMR-F DETERMINATION DOCUMENT (REMOVAL))

This determination is based on the flood data presently available. However, the Federal Emergency Management Agency is currently revising the National Flood Insurance Program (NFIP) map for the community. New flood data could be generated that may affect this property. When the new NFIP map is issued it will supersede this determination. The Federal requirement for the purchase of flood insurance will then be based on the newly revised NFIP map.

This attachment provides additional information regarding this request. If you have any questions about this attachment, please contact the FEMA Map Assistance Center toll free at (877) 336-2627 (877-FEMA MAP) or by letter addressed to the Federal Emergency Management Agency, LOMC Clearinghouse, 6730 Santa Barbara Court, Elkridge, MD 21075.

Luis Rodriguez, P.E., Chief Engineering Management Branch Federal Insurance and Mitigation Administration



SUNSET TERRACE UNIT THREE REPLAT A SUBDIVISION IMPROVEMENTS

Being a Replat of Lots 35 thru 55, Block 2, Sunset Terrace Unit Three, City of El Paso, El Paso County, Texas Containing 4.68± Acres

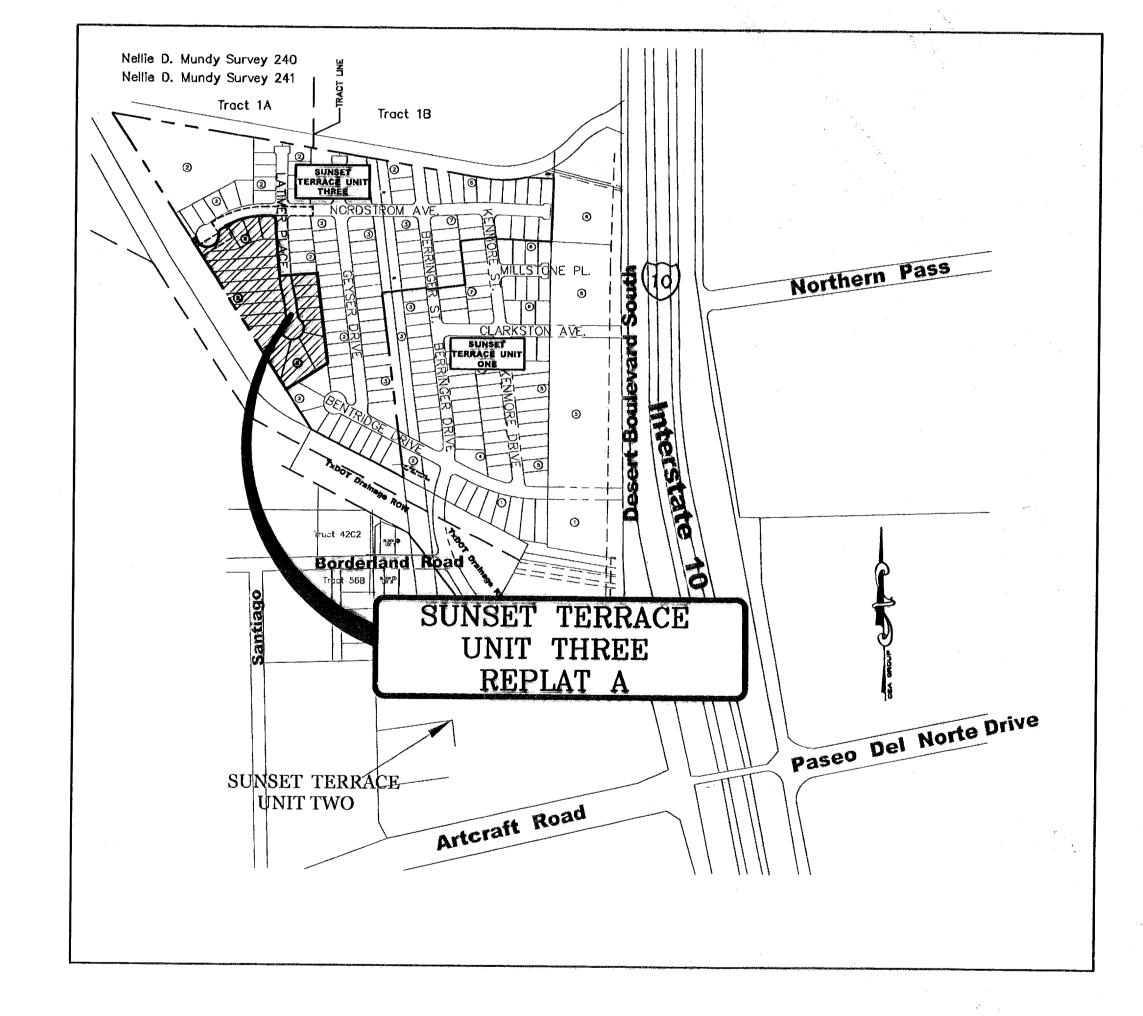
PROJECT TO MAN AND MAN	SOME CLASSIFY SOME SOM

VICINITY MAP

SHEST NUMBER	SHEET TITLE		
CVR,1	COVER SHEET, GENERAL INFORMATION		
2	PLAT		·
3	GRADING PLAN	,	
4	DRAINAGE PLAN	······································	
5	GRADING SECTIONS		
6	STREET PLAN & PROFILE		
7-8	STANDARD DETAILS	4-n	
9	ILLUMINATION PLAN		
10-12	STORM WATER POLLUTION PREVENTION PLANS		









NAME **ADDRESS** CITY & ZIP PHONE FAX TROPICANA DEVELOPMENT INC. 4655 COHEN DRIVE EL PASO, 79924 (915) 821-3550 (915) 821-3556 4712 WOODROW BEAN STE. F EL PASO, 79924 (915) 544-5232 (915) 544-5233 CUTT'S LAND SURVEYING, INC 1100 MONTANA AVE. SUITE 206 SURVEYOR:_ EL PASO, 79902 (915) 534-9391 (915) 534-9394



anna		RACE UNIT	IHREE	HEPLAT A
		COVER SHEET		
DATE PREPARED	DRAWN BY:	DESIGN BY:	CHECKED BY:	APPROVED BY:
APRIL 2009	J.I.A.	J.I.A.	J.L.A.	J.L.A.
REVISION NUMBER	SHEET NAME OR NUMBER	DESCRIPTION OF REVISION	DATE OF REVISION	REVISION APPROVED BY:
			,	

RECORD DRAWINGS
THESE RECORD DOCUMENTS HAVE BEEN PREPARED BASED ON
INFORMATION PROVIDED BY OTHERS. CEA GROUP HAS NOT VERIFIED TH
ACCURACY AND/OR COMPLETENESS OF THIS INFORMATION AND SHALL
NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS THAT MAY BE
INCORPORATED AS A RESULT OF ERRONEOUS INFORMATION PROVIDED BY
OTHERS.

8/17/11

600832

GENERAL NOTES

- 1. THE CONTRACTOR SHALL VISIT AND FAMILIARIZE HIMSELF WITH THE PROJECT SITE PRIOR TO SUBMITTING BIDS.
- 2. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE AUTOMOBILE AND PEDESTRIAN ACCESS TO THE USER AT ALL TIMES, INCLUDING SATURDAYS, SUNDAYS, AND HOLIDAYS. THIS INCLUDES, BUT IS NOT LIMITED TO DRIVEWAYS, STREETS, PARKING, AND WALKWAYS. THIS REQUIREMENT SHALL BE FULFILLED AT NO EXTRA COST TO THE
- CONTRACTOR SHALL WATER CONSTRUCTION AREA A MINIMUM OF TWICE A DAY TO KEEP DUST TO A MINIMUM - ONCE IN THE MORNING AND BEFORE QUITTING TIME. THIS SHALL ALSO BE DONE DURING WEEKENDS AND HOLIDAYS.
- 4. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE, PROTECT, AND REPLACE ALL UNDERGROUND UTILITY LINES AT NO EXTRA COST TO THE OWNER WHEN LINES ARE DISTURBED AS A RESULT OF THE WORK. SERVICE SHALL BE PROVIDED TO USER AT ALL TIMES.
- 5. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO SCHEDULE AND PERFORM HIS WORK SO AS TO ASSURE PROPER PASSAGE OF STORM RUNOFF DURING THE COURSE OF HIS OPERATIONS. ALL LABOR, TOOLS, EQUIPMENT, AND SUPERVISION REQUIRED TO ASSURE SUCH PROPER PASSAGE OF RUNOFF WATER AND ANY REMOVAL OR HANDLING OF WATER IN ORDER TO MAINTAIN DRY CONDITIONS SHALL BE CONSIDERED INCIDENTAL TO THE WORK, AND SHALL BE AT THE EXPENSE OF THE CONTRACTOR.
- THE CONTRACTOR SHALL COORDINATE THE CONSTRUCTION SCHEDULE WITH THE USER, ALL UTILITIES, AND ALL OTHER AGENCIES WITH JURISDICTION OVER THE PROJECT.
- 7. ALL EXISTING PAVEMENT, ADJACENT UTILITIES, STRUCTURES, ETC., DISTURBED AS A RESULT OF THE NEW CONSTRUCTION, SHALL BE REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- THE OWNER WILL FURNISH HORIZONTAL AND VERTICAL CONTROL REFERENCED POINTS ONLY. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND GRADES BEFORE PROCEEDING WITH THE WORK. ANY DISCREPANCIES FOUND SHALL BE REPORTED IMMEDIATELY TO THE ENGINEER, OTHERWISE THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR THEIR CORRECTNESS.
- 9. ALL ELEVATIONS ARE TO CITY OF EL PASO DATUM. SEE REFERENCED BENCHMARK ON THIS SHEET.
- VIBRATORY ROLLERS WILL NOT BE PERMITTED ON ANY PHASE OF THIS PROJECT, UNLESS APPROVED IN WRITING BY THE ENGINEER.
- ALL WORK REQUIRED BY THESE PLANS SHALL BE CONDUCTED IN CONFORMANCE WITH CURRENT SAFETY CODES AND STANDARDS WITH JURISDICTION OVER THE PROJECT.
- 12. THE LOCATION OF THE FLUMES AND INLETS SHALL BE AT THE FIELD LOW POINT AND APPROVED BY THE ENGINEER.
- IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN THE FINAL APPROVED SUBDIVISION PLANS PRIOR TO COMMENCING ANY CONSTRUCTION WORK.

LEGEND

4000.00

TC 4000.00

TP 4000.00

2:1 SLOPE

AS PER FIRM PANEL

NO. 480214-0016-C

(FEBRUARY 5, 1986)

GRADING SPECIFICATIONS

- CLEARING AND GRUBBING: CLEAR SITE OF TREES, SHRUBS AND OTHER VEGETATION; COMPLETELY REMOVE STUMPS, ROOTS AND OTHER DEBRIS PROTRUDING THROUGH GROUND SURFACE; FILL DEPRESSIONS CAUSED BY CLEARING AND GRUBBING OPERATIONS WITH SATISFACTORY FILL MATERIAL, UNLESS FURTHER EXCAVATION OF EARTHWORK IS INDICATED; REMOVE EXISTING ABOVE-GRADE AND BELOW-GRADE IMPROVEMENTS AS INDICATED AND AS NECESSARY TO FACILITATE NEW CONSTRUCTION. BURNING IS NOT PERMITTED ON OWNER'S PROPERTY. REMOVE WASTE MATERIALS FROM OWNER'S PROPERTY.
- 2. SATISFACTORY FILL MATERIALS: FILL MATERIALS SHALL BE FREE OF ANY ORGANIC OR DELETERIOUS SUBSTANCE AND SHALL NOT CONTAIN ROCKS OR LUMPS OVER 3 INCHES IN GREATEST DIMENSION AND SHALL BE DEFINED AS THOSE COMPLYING WITH ASTM D2487 SOIL CLASSIFICATION GROUPS GW, GP,GM, GC, SM, SP, SM, AND SC. OR UNLESS OTHERWISE APPROVED BY THE DESIGN ENGINEER, GEO-TECH ENGINEER OR CITY ENGINEER.
- UNSATISFACTORY FILL MATERIAL: ARE DEFINED AS THOSE COMPLYING WITH ASTM D2487 SOIL CLASSIFICATION GROUPS ML, MH, CL, CH, OL, OH, AND PT, OR WHERE THE PLASTICITY INDEX EXCEEDS 12.
- 4. EXCAVATION: IS UNCLASSIFIED AND INCLUDES EXCAVATION TO ELEVATIONS INDICATED, REGARDLESS OF CHARACTER OF MATERIAL AND OBSTRUCTIONS ENCOUNTERED.
- 5. GROUND SURFACE PREPARATION FOR FILL: REMOVE VEGETATION, DEBRIS, UNSATISFACTORY SOIL MATERIAL, OBSTRUCTIONS, AND DELETERIOUS MATERIAL FROM GROUND SURFACE UPON WHICH THE FILL IS TO BE PLACED. THE SURFACE SHALL THEN BE SCARIFIED TO A DEPTH OF AT LEAST 6-INCHES, AND UNTIL THE SURFACE IS FREE FROM RUTS, HUMMOCKS OR OTHER UNEVEN FEATURES WHICH WOULD PREVENT UNIFORM COMPACTION. PLOW STRIP, OR BREAK UP SLOPED SURFACES STEEPER THAN 1 VERTICAL TO 4 HORIZONTAL SO THAT FILL MATERIAL WILL BOND WITH EXISTING SURFACE. AFTER PLOWING AND SCARIFYING FILL AREA, IT SHALL THEN BE DISCED OR BLADED UNTIL IT IS UNIFORM AND FREE FROM LARGE CLODS, BROUGHT TO OPTIMUM MOISTURE, AND COMPACTED TO 95% OF MAXIMUM DENSITY IN ACCORDANCE WITH ASTM D-1557.
- 6. PLACEMENT OF FILL: PLACE BACKFILL AND FILL MATERIALS IN LAYERS NOT MORE THAN 8 INCHES IN LOOSE DEPTH FOR MATERIAL COMPACTED BY HEAVY COMPACTION EQUIPMENT, AND NOT MORE THAN 4 INCHES IN LOOSE DEPTH FOR MATERIAL COMPACTED BY HAND-OPERATED TAMPERS. BEFORE COMPACTION, MOISTEN OR AERATE EACH LAYER AS NECESSARY TO PROVIDE OPTIMUM MOISTURE CONTENT. PLACE FILL MATERIALS EVENLY ADJACENT TO SITE APPURTENANCES, PIPING, OR CONDUIT TO REQUIRED ELEVATIONS. PREVENT WEDGING ACTION OF BACKFILL AGAINST SITE APPURTENANCES OR DISPLACEMENT OF PIPING OR CONDUIT BY CARRYING MATERIAL UNIFORMLY AROUND SITE APPURTENANCES, PIPING, OR CONDUIT TO APPROXIMATELY SAME ELEVATION IN EACH LIFT. COMPACT SOIL TO NOT LESS THAN 95% OF MAXIMUM DENSITY, IN ACCORDANCE WITH ASTM D1557.
- MOISTURE CONTROL: WHERE SUBGRADE OR LAYER OF SOIL MATERIAL MUST BE CONDITIONED FOR OPTIMUM MOISTURE BEFORE COMPACTION, UNIFORMLY APPLY WATER TO SURFACE OF SUBGRADE OR LAYER OF SOIL MATERIAL. APPLY WATER IN MINIMUM QUANTITY AS NECESSARY TO PREVENT FREE WATER FROM APPEARING ON SURFACE DURING OR SUBSEQUENT TO COMPACTION OPERATIONS. WATER CONTENT SHALL BE WITHIN 2 PERCENTAGE POINTS OF OPTIMUM MOISTURE CONTENT. REMOVE AND REPLACE, OR SCARIFY AND AIR DRY SOIL MATERIAL THAT IS TOO WET TO PERMIT COMPACTION TO SPECIFIED DENSITY.
- QUALITY CONTROL: THE OWNER SHALL PROVIDE A GEOTECHNICAL ENGINEER TO PERFORM FIELD DENSITY TEST OF THE COMPACTION OF EACH LAYER OF FILL. DENSITY TESTS SHALL BE TAKEN IN THE COMPACTED MATERIAL BELOW THE DISTURBED SURFACE. WHEN THESE TESTS INDICATE THAT THE DENSITY OF ANY LAYER OF FILL OR PORTION THEREOF IS BELOW THE REQUIRED DENSITY, THE PARTICULAR LAYER OR PORTION SHALL BE REWORKED UNTIL THE REQUIRED DENSITY HAS BEEN OBTAINED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ADDITIONAL TESTING AND WHEN REQUIRED DENSITIES ARE NOT MET, SUPERVISION BY THE GEOTECHNICAL ENGINEER IS REQUIRED DURING THE GRADING OPERATIONS TO ENSURE GRADING WORK IN ACCORDANCE WITH THIS PLAN AND SPECIFICATIONS.

HP

ELEV

STA

VCS

VCE

TP

TYP

PVC

PVI

PVT

CR

ROW

FG

MIN.

RCP

EXP

INV

CFS

DA

STD

CONC

TEMP

HGL

PC

UTILITY LOCATOR SERVICES

EL PASO ELECTRIC COMPANY (915) 543-5720 EL PASO ENERGY CORPORATION (915) 496-5244 EL PASO WATER UTILITIES (915) 594-5500 MCI SURVEILLANCE (800) MCI-WORK TIME WARNER COMMUNICATIONS (915) 772-1123 TEXAS GAS SERVICE (915) 680-7200 (800) 545-6005 AT&T (800) 852-3786 (800) 521-0579 U.S. SPRINT TELECOMM STREET DEPT. - SIGNAL & SIGN (915) 621-6750

(AFTER HOURS) (915) 240-3220

FOR FIELD LOCATING EXISTING UTILITIES

WARNING! BEFORE YOU DIG

1-800-DIG-TESS 1-800-344-8377

SHEET NO.

0 \circ

SHEET TITLE

GENERAL INFORMATION

OF

SHEET NO.

ABBREVIATIONS LOW POINT HIGH POINT ELEVATION STATION VERTICAL CURVE STATION VERTICAL CURVE ELEVATION TOP OF CURB TOP OF PAVEMENT TYPICAL POINT OF VERTICAL CURVE POINT OF VERTICAL INTERSECTION POINT OF VERTICAL TANGENT ALGEBRAIC DIFFERENCE CURVE RETURN RIGHT OF WAY CENTER LINE PROPERTY LINE FINISH GRADE FINISH FLOOR EXISTING GRADE MINIMUM REINFORCED CONCRETE PIPE QUANTITY CAPACITY EXPECTED INVERT CUBIC FEET PER SECOND AREA DRAINAGE AREA LINEAR FEET STANDARD CONCRETE POINT OF CURVATURE POINT OF INTERSECTION POINT OF TANGENT LENGTH SLOPE TEMPORARY

INDEX OF DRAWINGS <u>DRAWING NAME</u>

COVER	
GENERAL INFORMATION	1
FINAL PLAT	2
GRADING PLAN	
DRAINAGE PLAN	4
GRADING SECTIONS	5
PLAN AND PROFILE - LATIMER STREET FROM S	TA. 0+00.00 TO STA. 1+35.826
STANDARD DETAILS (SHEET 1 OF 2)	7
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-STANDARD DETAIL/SECTION NUMBER -SHEET NUMBER WHERE STANDARD/ SECTION DETAIL IS LOCATED

-----P-----P EXISTING ELECTRICAL LINE

EXISTING RETAINING ROCKWALL

SUBDIVISION BOUNDARY

CURB LINE

PROPERTY LINE

EASEMENT LINE

MATCH LINE

----4000-----

STREET CENTERLINE

STORM SEWER LINE

HIGH WATER MARK

CURB AND GUTTER DROP INLET

FINISHED GROUND CONTOUR ELEVATION (INDEX)

EXISTING GROUND CONTOUR ELEVATION (INDEX)

NEW RETAINING ROCKWALL (3'-9' IN HEIGHT)

NEW RETAINING ROCKWALL (2'-3' IN HEIGHT)

FINISHED GROUND CONTOUR ELEVATION (INTERMEDIATE)

EXISTING GROUND CONTOUR ELEVATION (INTERMEDIATE)

STORM SEWER MANHOLE

WHEELCHAIR RAMP

OF 100 YEAR FLOOD, NGVD, SUBTRACT 8.462-FEET.

FINISHED SPOT ELEVATION

TOP OF CURB ELEVATION

STORM SEWER LINE FLOW

PROPOSED HIGH POINT

PROPOSED LOW POINT

EXISTING HIGH POINT

EXISTING LOW POINT

DRAINAGE AREA

HEADWALL WITH WINGWALLS

HORIZONTAL: VERTICAL SLOPE RATIO

APPROXIMATE BASE FLOOD ELEVATION

(NATIONAL GEODETIC VERTICAL DATUM, NGVD).

TO CONVERT TO CITY OF EL PASO DATUM FROM

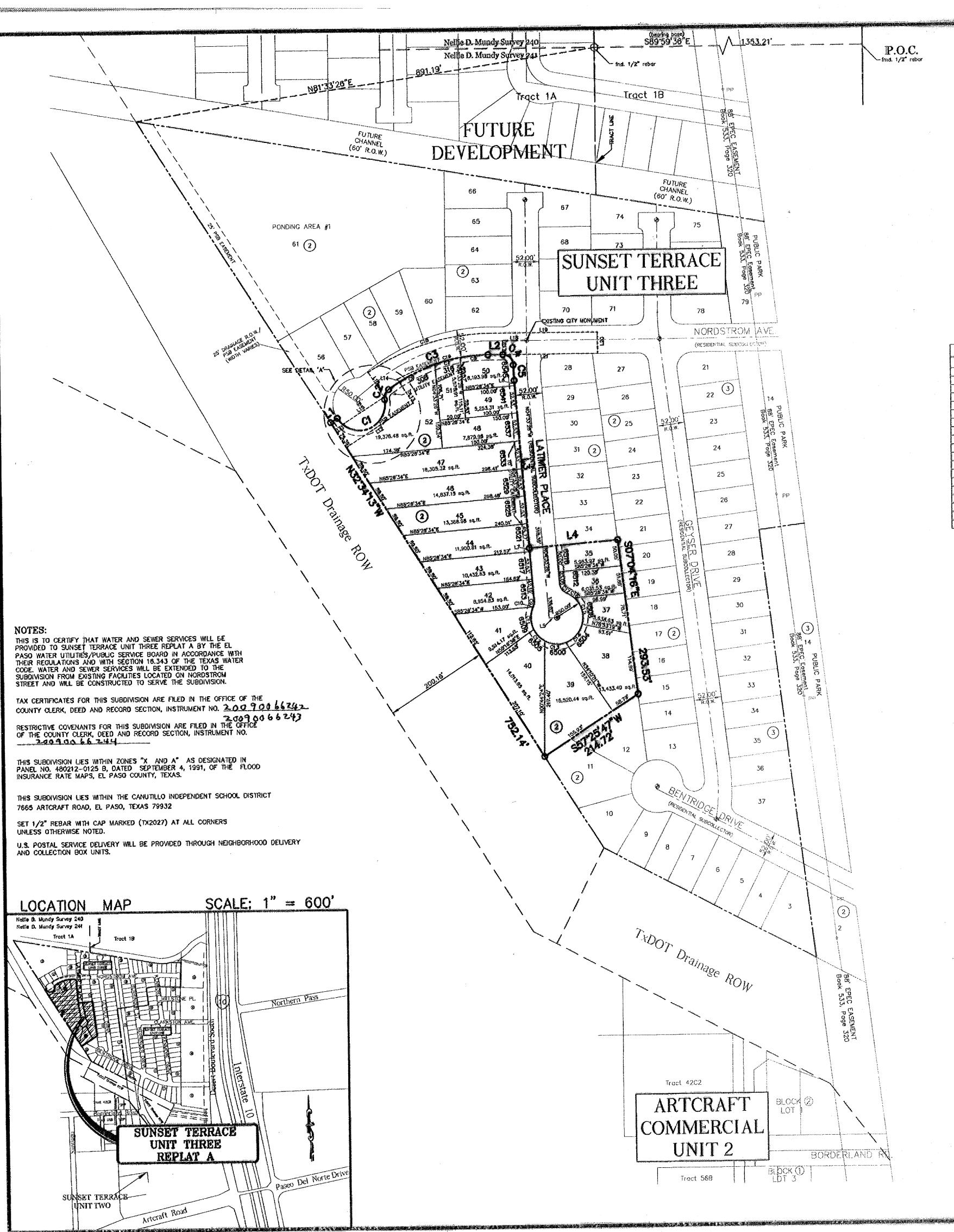
DRAINAGE FLOW

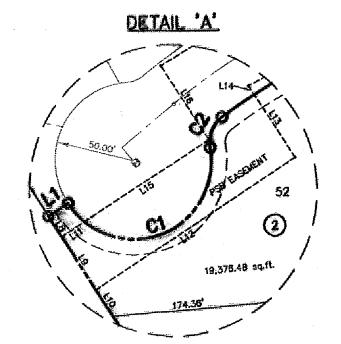
TOP OF PAVEMENT ELEVATION

SUBDIVISION LOT AND BLOCK NUMBER

LOT FINISHED GROUND ELEVATION

VELOCITY IN FEET PER SECOND HYDRAULIC GRADE LINE HIGH WATER ELEVATION





CURVE TABLÉ								
URVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	ÖELTA		
C1	50.00 ′	138.64	241.23'	97.92	N69'08'23"E	156'34'49"		
C2	20.00	21.85	12.16	20.78	N22'08'38"E	62'35'19 "		
C3	324.00	206.61	106.95	203.12	N71'42'23"E	36'32'11 "		
C4	20.00	31.29	19.88	28,20	S45'12'12"E	89'38'41"		
C5	401.00	25.23	14.62	29.22	S02'28'09"E	410/35/		
C6	324.00	101.68	51,26	101.26	S82'25'43"W	17'58'51"		
c7	324.00	50.75	25.43	50.70	S75'54'24"W	8'58'30"		
C8	324.00	54.18	27,15	54.11	S8511'03'W	9:34'49"		
C9	20.00	10.25	5.24	10.14	N10'07'48'E	29'22'30"		
C10	50.00	0.61	0.30	0.61'	S24'28'07"W	0'41'53"		
C11	50.00	43.78	23.41	42.40'	S00'58'00"E	5010'21"		
C12	50.001	30.74	15.87	30.26	S43/39/57*E	3513'33 °		
C13	50.00/	41.69	22.14	40.49	S85'09'48"\$	47'46'10°		
Č14	50.00	48.17	26.14	46.32	N43"21'19"E	55'11'36'		
C15	50.00/	55.11	30.73	52.36	N15'48'58'W	63'08'58"		
C16	50,00	18.22	9.21	18.12	N57'49'51"W	20'52'49'		
Ci7	20.00/	22.24	12.43	21.11'	S36'24'51"E	63'42'49'		
CIB	429.00	249.75	128.53	18.12	N73"15"38"E	33'21'22'		
Cig	389.00	186.77	95.22	21,11	N76"18"23"E	27'30'36"		

		
Ļ	INE TABLE	
LINE	BEARING	LENGTH
LJ	N57*25'47"E	15.00
L2	N89'58'28"E	28.68
L3	S04'33'26"E	318.39/
L4	N85'28'34"E	170.18
L5	N85'26'34"E	15.00
Lð	S04'33'26"E	9.95
L7	S04'33'26"E	6.76
L8	S32'34'13'E	15.54
Lĝ	S32'34'13'E	40.00
L10	S32'34'13''Ē	19.85
L1)	N57'18'00"£	17.46
L12	N5718'00'E	153.08/
L13	N32'42'00"W	.48.09
L14	N32'42'00"W	6.60
L15	N5718'00"E	95.52
L18	N32'42'00"W	56.19
L17	N00'01'32"W	26,00
L18	N89'58'28"E	45.99/
L19	S89'56'19"E	207,15
L20	S00'01'32"W	40.00
L21	N89'56'19"E	207.13

BENCHMARK:

BENCHMARK IS CITY MONUMENT AT THE INTERSECTION OF PASEO DEL NORTE & NORTHWESTERN ELEVATION = 3887.39 (CITY DATUM). THIS IS BASED ON NGS MONUMENT "CHINO" ELEVATION = 3935.48 (CITY DATUM).

600832 GRAPHIC SCALE

(IN FEET)

SUNSET TERRACE

UNIT THREE REPLATA

Being a Replat of
Lots 35 thru 55, Block 2,
Sunset Terrace Unit Three,
City of El Paso, El Paso County, Texas
Containing 4.68± Acres

DEDICATION

Tropicana Development Inc. the owners of this land, do hereby present this mop and dedicate their respective portions of property to the use of the public, the street, drives, PSB and utility easements as hereon laid down and designated, including easements for overhang of service wires for pole type utilities and the right for installation of service poles alongside lot lines as may be required, easements for buried service wires, conduits and pipes for underground utilities, and the right to ingress and egress for service and construction, and the right to trim interfering trees and shrubs.

ACKNOWLEDGEMENT

STATE OF TEXAS COUNTY OF EL PASO

Before me, the undersigned authority, on this day personally appeared R. L. Bowling, III, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same as the act and deed for the purpose and consideration herein expressed.

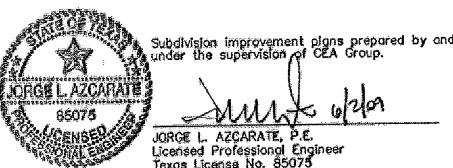


This subdivision is hereby approved as to the platting and as to the condition of the dedication in accordance with Chapter 212 of the Local Government Code of Texas this /5 day of Lytuber 2009.

FILING

of September 2009, in File No. 200900 6624 of the Plat Records.





This plat represents a survey made on the ground by me or under my supervision and complies with the current Texas Board of Professional Land Survey Professional and Technical Standards.



A TROPICANA DEVELOPMENT 4655 COHEN DRIVE JEL PASO, TEXAS 79924 VOICE (915) 821-3550 FAX (915) 821-3556 CONTACT: MR. R.L. BOWLING, III

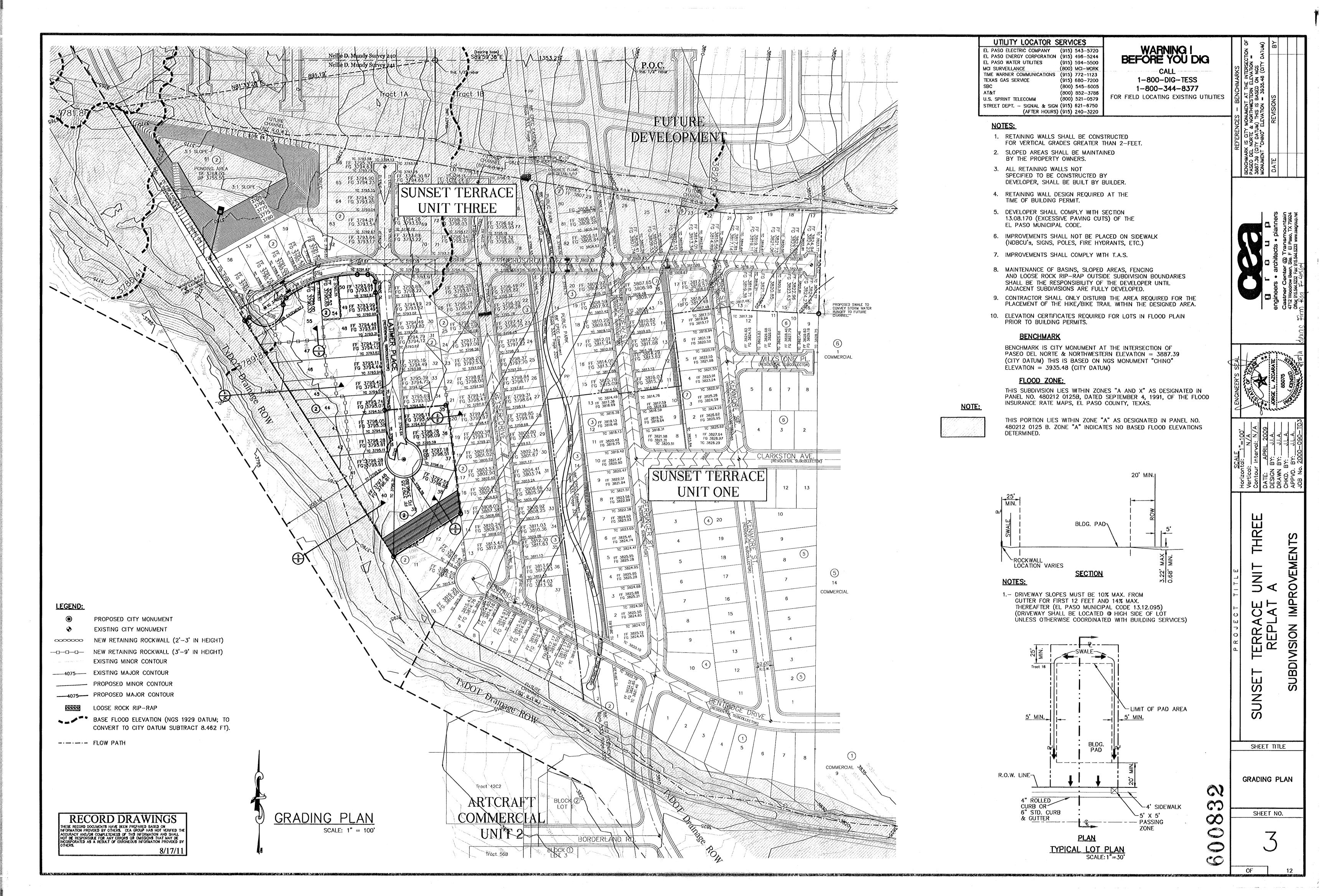
Cutts Land Surveying, Inc.

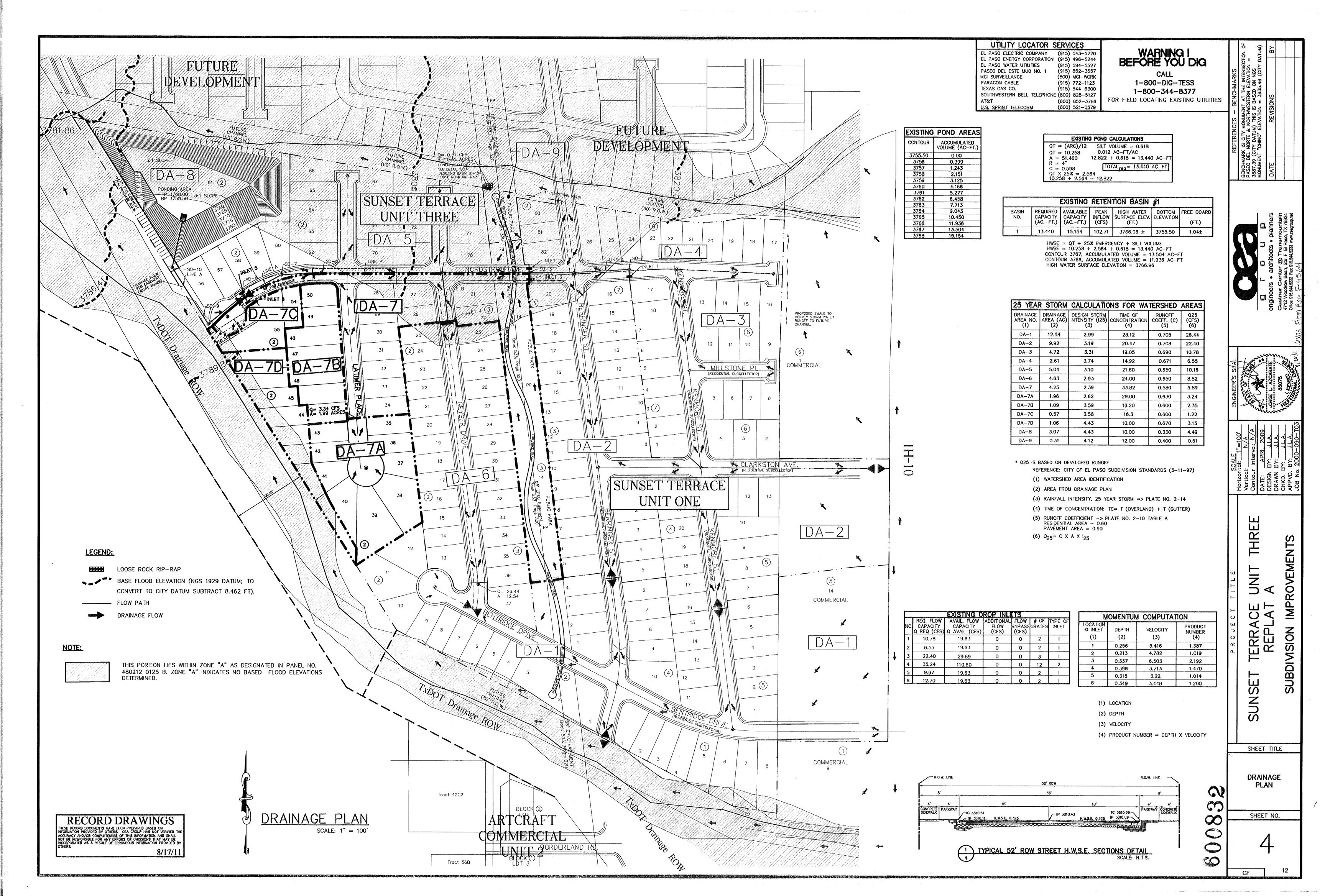
Professional Land Surveyors
1100 Montana Avenue, Suite 206 Ph. (915) 534-9391 Fx. (915) 534-9394 El Paso, Texas 79902

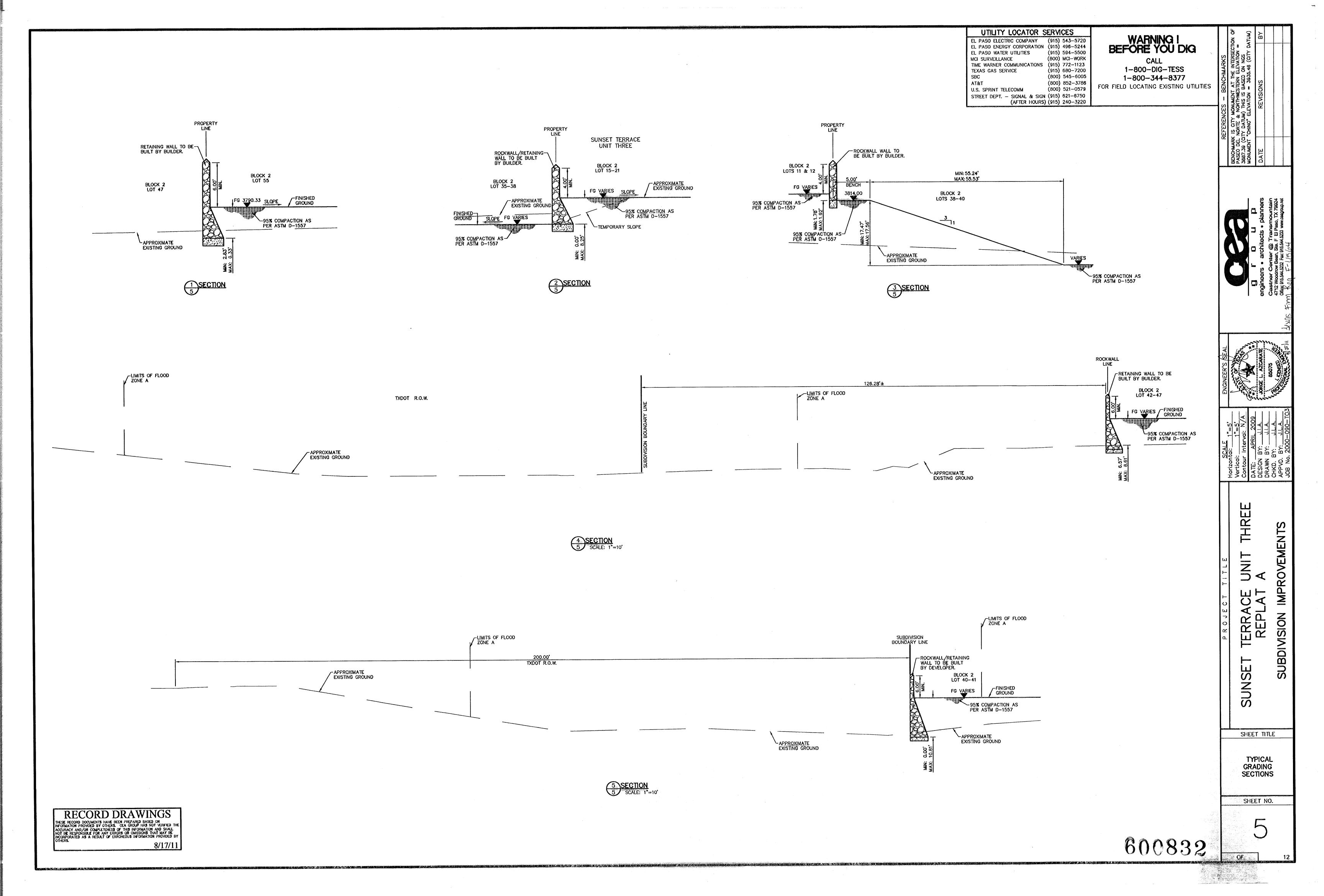
Contacts Jerry Cutts, R.P.L.S. DATE OF PREPARATION: JANUARY 2009

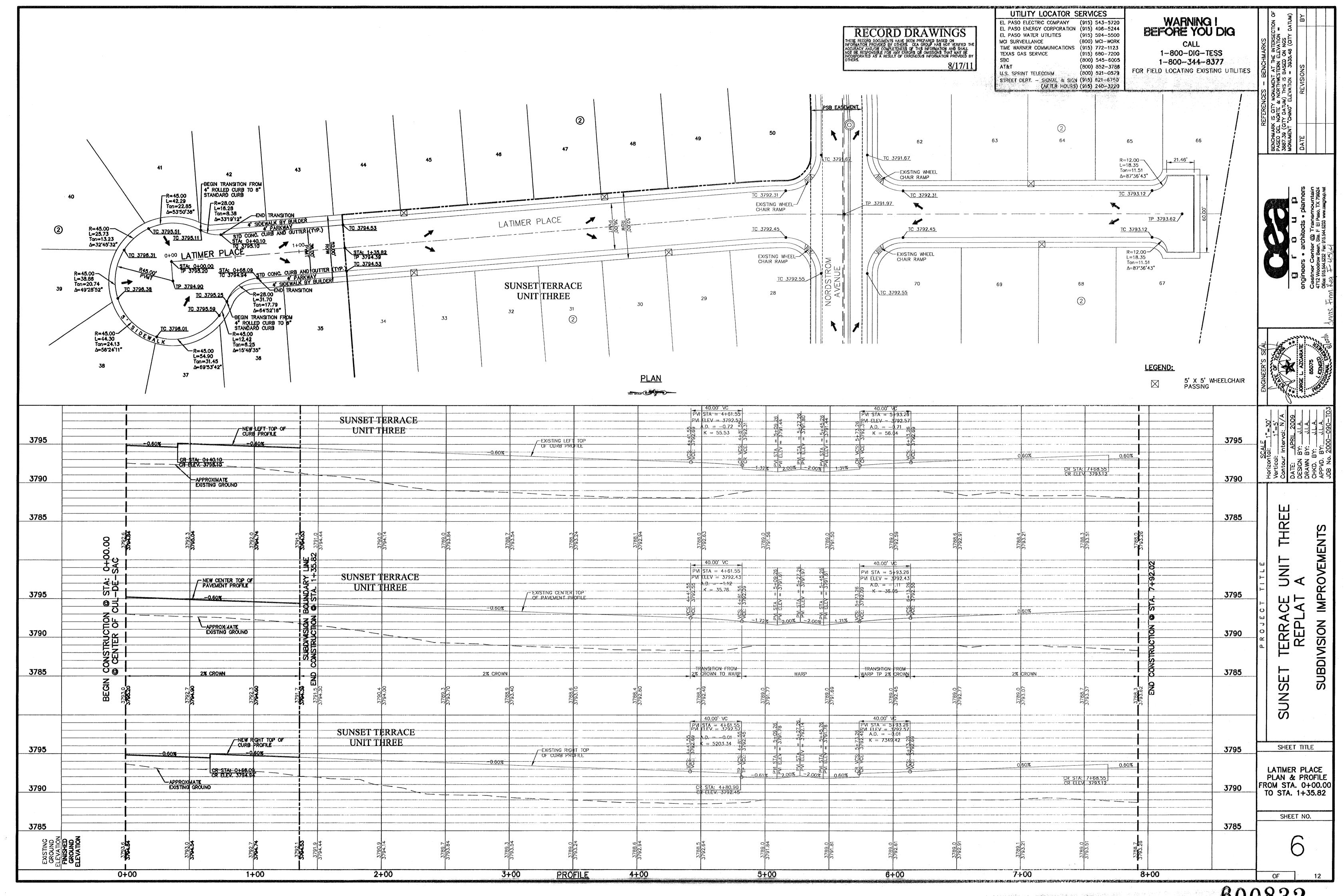
engineers • architects • planners Castner Center @ Transmountain 4712 Woodrow Bean, Ste. F El Paso, TX 79924 Office: 915.544.5232 Fax: 915.544.5233 www.ceagroup.net

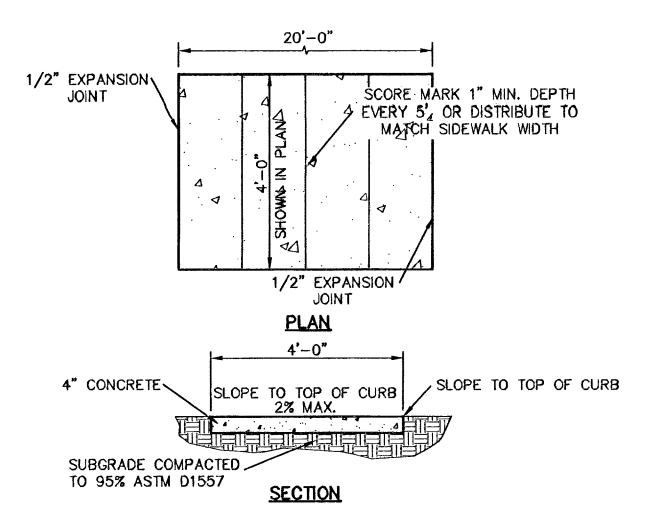
CONTACT: JORGE L. AZCARATE, P.E.





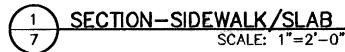




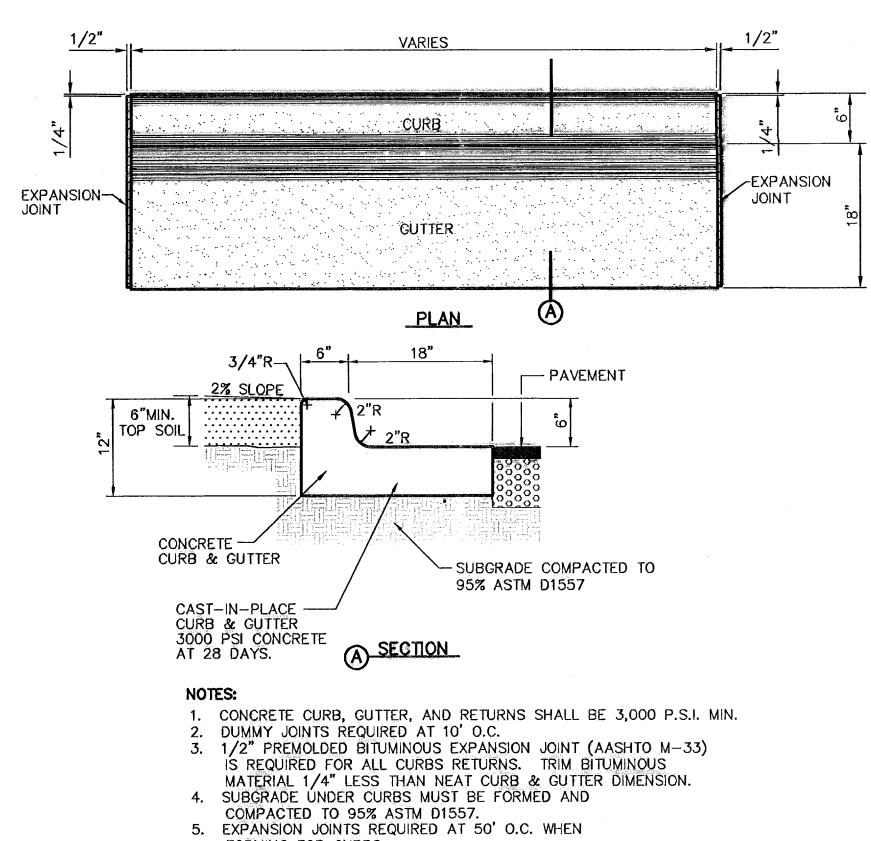


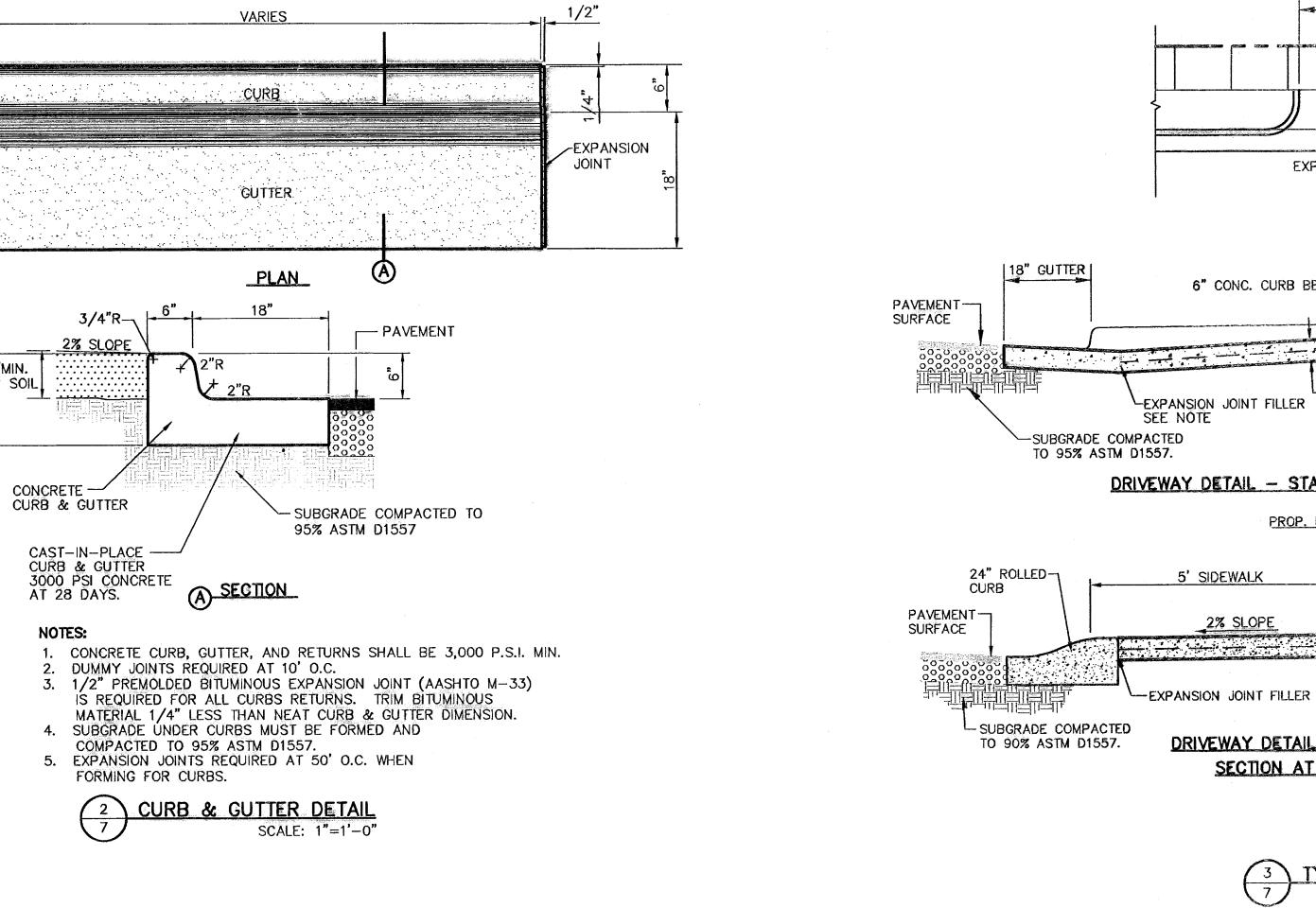
SIDEWALK NOTES:

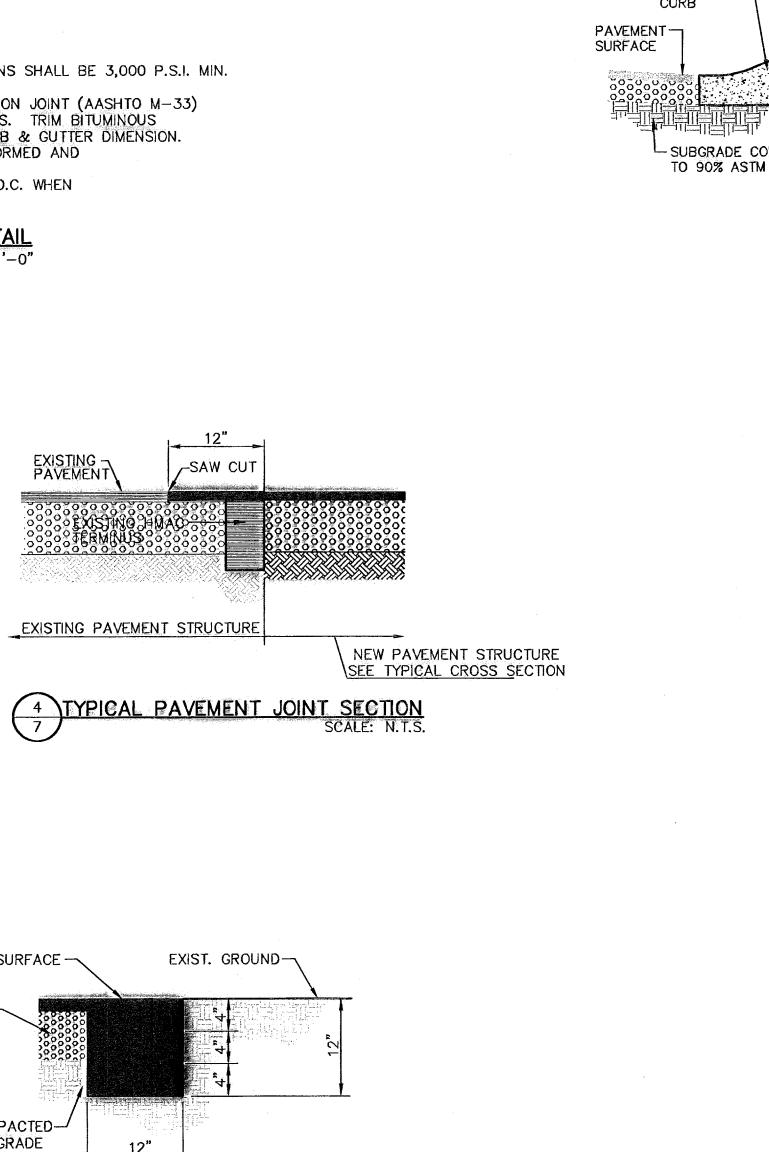
- 1. CONCRETE SIDEWALK SHALL BE 3.000 P.S.I.
- 2. DUMMY JOINTS REQUIRED AT 5' O.C. 3. EXPANSION JOINTS SHALL BE AT 20' O.C. MAXIMUM, USE 1/2" PREMOLDED BITUMINOUS EXPANSION JOINTS
- (AASHTO M-33) 4. EXPANSION JOINT FILLER SHALL BE PLACED WHEREVER SIDEWALK ABUTS ROCK OR MASONRY STRUCTURES SUCH AS CURBS OR BUILDINGS.

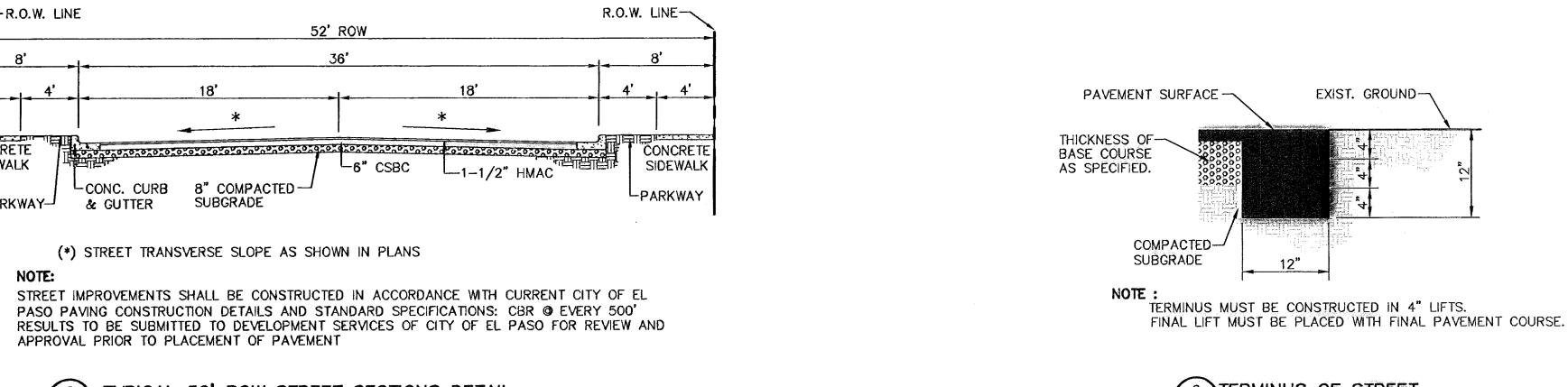


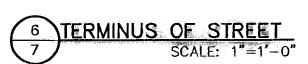
5. SUBGRADE TO BE COMPACTED TO 95% ASTM D1557.

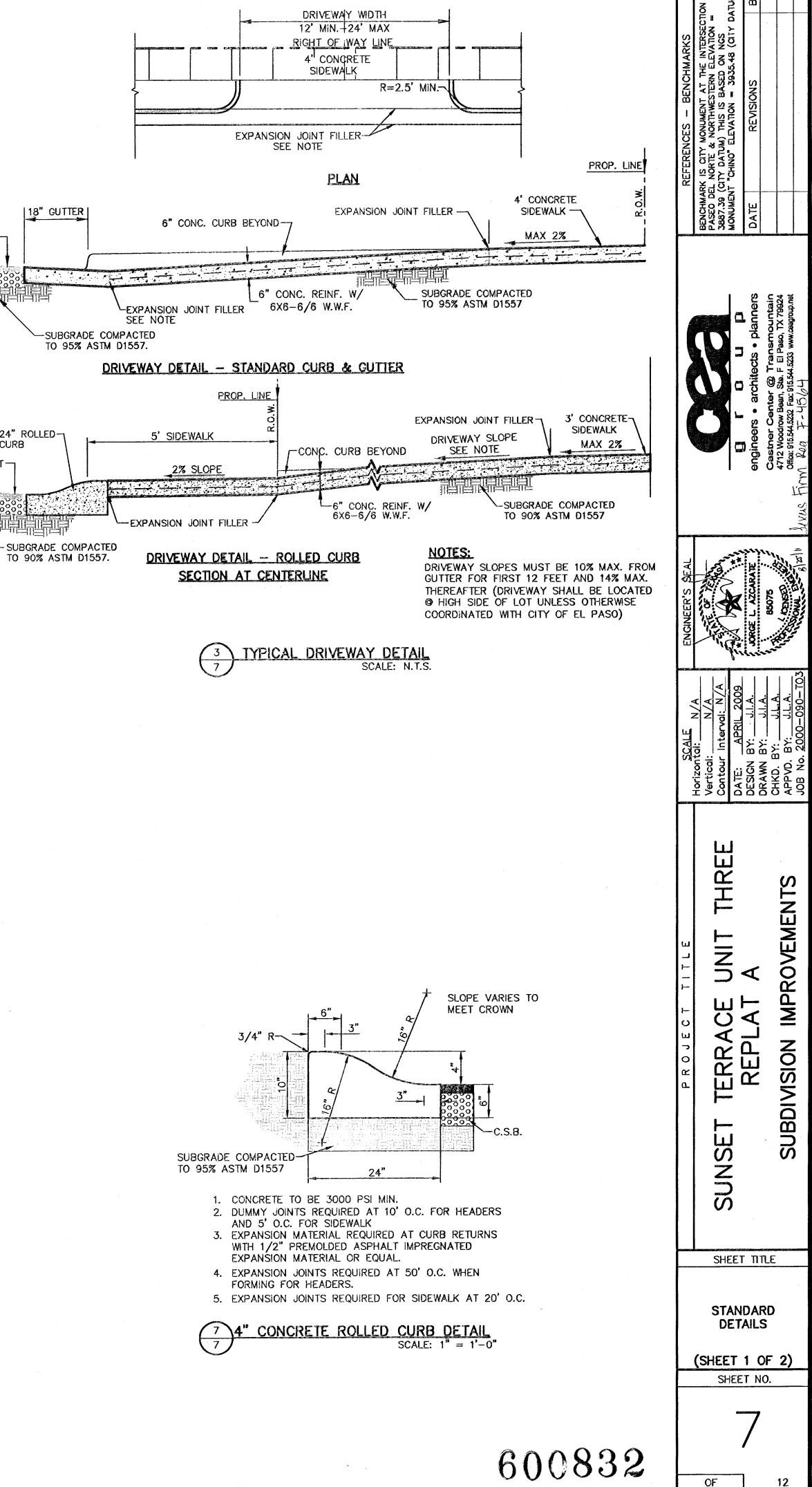




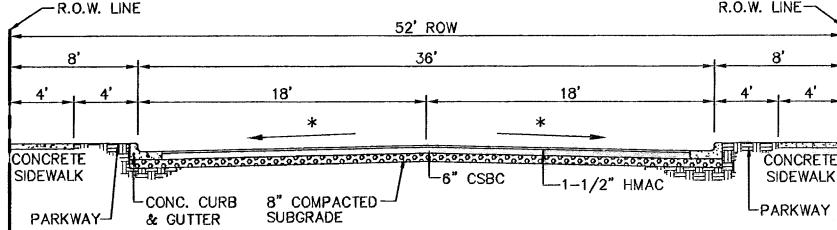






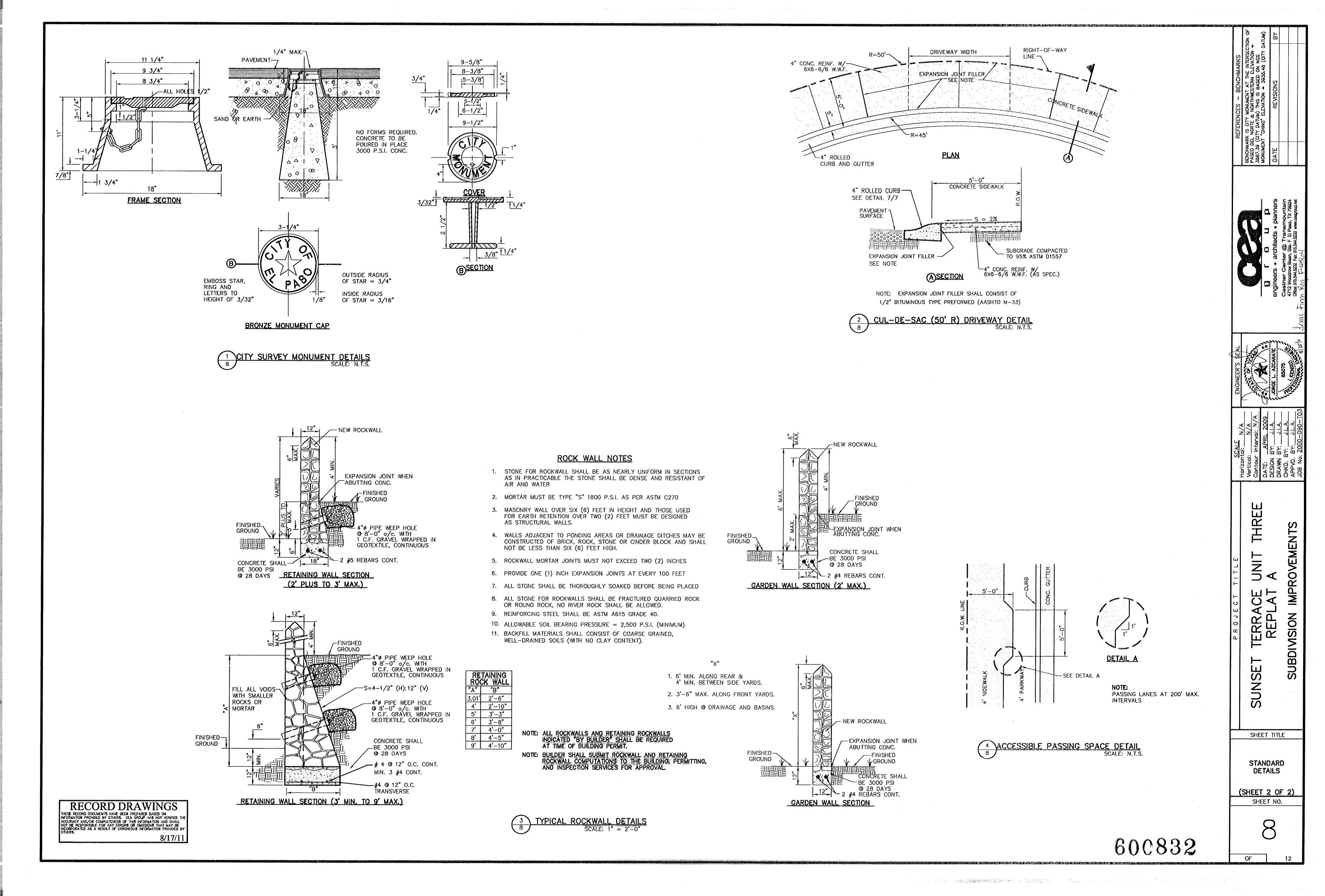


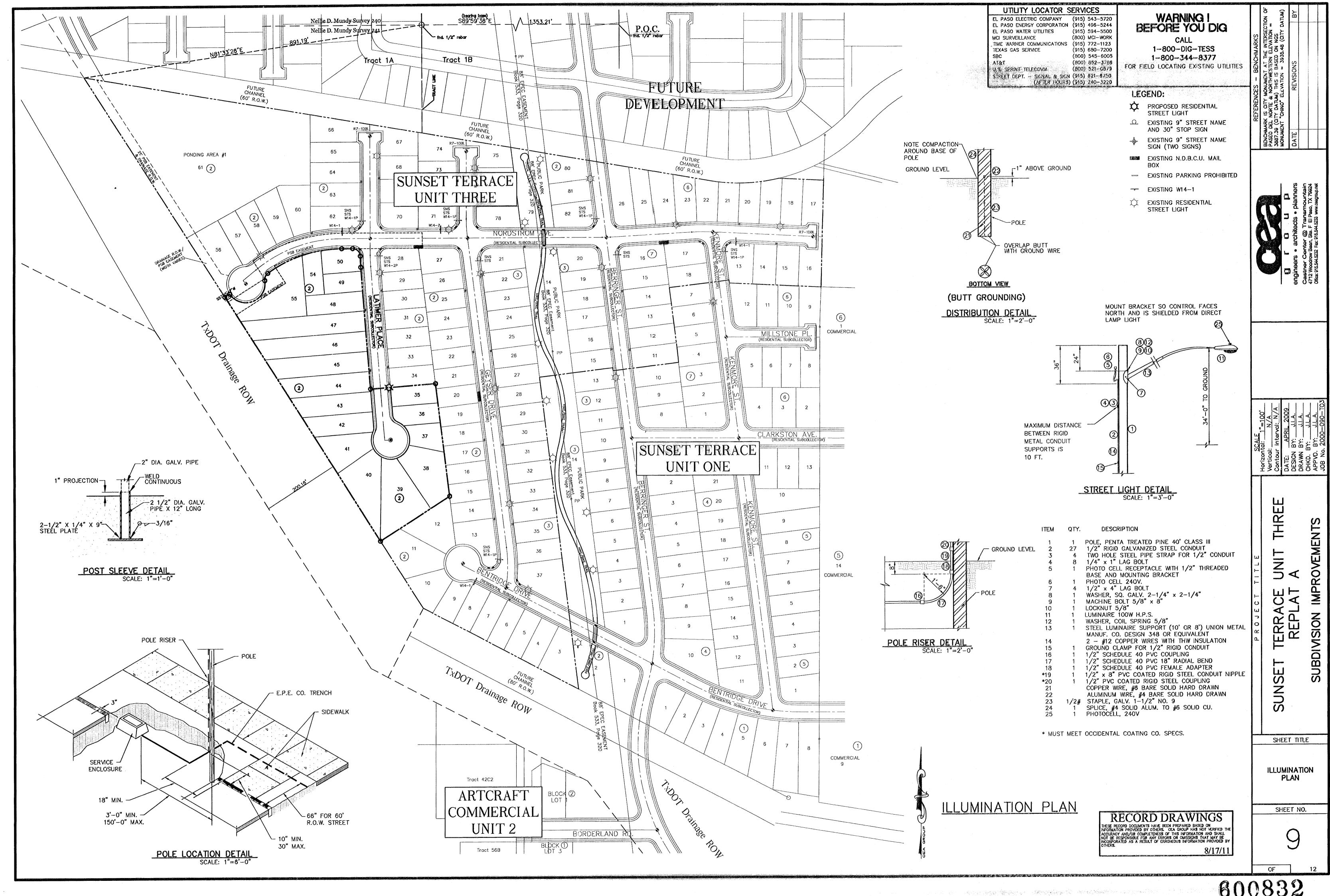
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TYPICAL 52' ROW STREET SECTIONS DETAIL

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EROSION AND SEDIMENT CONTROL

SOIL STABILIZ	ATION PRACTICES
	_ TEMPORARY SEEDING
X	_ PERMANENT PLANTING, SODDING, OR SEEDING
	MULCHING
	_ SOIL RETENTION BLANKET
***************************************	_ BUFFER ZONES
·	PRESERVATION OF NATURAL RESOURCES
OTHER:	
STRUCTURAL I	PRACTICES:
	_ SILT FENCES
	_ HAY BALES
	_ ROCK BERMS
	_ DIVERSION, INTERCEPTOR, OR PERIMETER DIKES
	_ DIVERSION, INTERCEPTOR, OR PERIMETER SWALES
	_ DIVERSION DIKE AND SWALE COMBINATION
	_ PIPE SLOPE DRAINS
	_ CONCRETE FLUMES
×	_ ROCK BEDDING AT CONSTRUCTION EXIT
	_ TIMBER MATTING AT CONSTRUCTION EXIT
	_ CHANNEL LINERS
	_ SEDIMENT TRAPS
	_ SEDIMENT BASINS
	_ STORM INLET SEDIMENT TRAP
	_ STONE OUTLET STRUCTURES
X	_ CURBS AND GUTTERS
X_	_ STORM DRAINS
X	_ VELOCITY CONTROL DEVICES
	_ VEGETATED SWALES & NATURAL DEPRESSIONS
OTHER:	
Marine and the second s	

NARRATIVE -	SEQUENCE OF CONSTRUCTION (STORM WATER MANAGEMENT) ACTIVITIES:
	1. INSTALL TEMPORARY EROSION AND SEDIMENT CONTROLS (e.g. SILT FENCE AND/OR
	EARTHEN BERM, AND STABILIZED CONSTRUCTION ENTRANCE); 2. PERFORM CLEARING AND GRUBBING;
	3. EXCAVATION FOR UTILITIES;
	4. COMPLETE STREET AND LOT GRADING;
<u> </u>	5. CONSTRUCTION OF SUBDIVISION IMPROVEMENTS; AND,
	6. WHEN ALL CONSTRUCTION ACTIVITY RELATED IN DEVELOPMENT OF THE SITE IS COMPLETE, REMOVE TEMPORARY CONTROLS IN 1. ABOVE.
<u> </u>	COMPLETE, NEW OFF TEMP OF WAY TO CONTINUE OF THE PROPERTY.

SWPPP GENERAL NOTES:

- 1. PLACEMENT OF SILT FENCE SHALL BE ADJUSTED AS NECESSARY TO PREVENT THE BLOCKING OF DRIVEWAYS OR DRIVING LANES.
- 2. THE SWPPP MANUAL IDENTIFIES THE DUTIES AND RESPONSIBILITIES OF THE GENERAL CONTRACTOR IN COMPLIANCE WITH FEDERAL STATE AND LOCAL REGULATIONS. THIS ITEM SHALL BE SUBSIDIARY TO THE SWPP BEST MANAGEMENT PRACTICES (COMPLETE IN PLACE) ITEMS. THE SWPPP PROJECT MANUAL IS AVAILABLE FOR REVIEWING AT THE CITY OF EL PASO-ENGINEERING DEPARTMENT. UPON SELECTION, THE CONTRACTOR WILL BE PROVIDED AN SWPPP MANUAL. THE CONTRACTOR SHALL MAINTAIN THIS MANUAL AT THE CONSTRUCTION SITE AT ALL TIMES THROUGHOUT THE CONSTRUCTION PERIOD.
- 3. THE CONTRACTOR SHALL COMPLETE AND SUBMIT ALL REGULATORY FORMS AND APPLICATIONS, AS PROVIDED IN THE SWPPP MANUAL, INCLUDING, BUT NOT LIMITED TO; NOI, NOT, SDPCP, AND ANY OTHER FORM REQUIRED BY THE CITY OF EL PASO AND TCEQ.
- 4. ALLOWABLE STORM WATER AND NON-STORMWATER DISCHARGE SHALL COMPLY WITH 15.20.080 (GENERAL PROHIBITION) AND 15.20.090 (SPECIFIC PROHIBITIONS AND REQUIREMENTS) OF THE CITY OF EL PASO STORM DRAIN POLLUTION CONTROL PLAN ORDINANCE. NON-STORMWATER DISCHARGES MAY CONSIST OF, BUT ARE NOT LIMITED TO, THE DISCHARGE RESULTING FROM FIREFIGHTING, LAWN WATERING, LANDSCAPE IRRIGATION, NATURAL SPRING, AND/OR AGRICULTURAL STORM WATER RUNOFF.

- 5. REFER TO DRAINAGE PLAN SHEET 4, FOR DETAILED INFORMATION ON WATERSHED AREAS AND RUNOFF QUANTITIES (Q).
- 6. THE FOLLOWING HAVE BEEN IDENTIFIED AS POTENTIAL CONTAMINATION SOURCES: CLEARED AND GRADED AREAS; CONSTRUCTION SITE ENTRANCE AND ASPHALT PARKING AREA CONSTRUCTION; ASPHALT LOADING/UNLOADING AREAS; CONCRETE LOADING/UNLOADING AREAS; AND, ALL UNDISTURBED AREAS.
- 7. THE FOLLOWING IS A LIST OF POTENTIAL CONSTRUCTION SITE STORM WATER POLLUTANTS: ASPHALT; CONCRETE; GLUE/ADHESIVE; PAINTS; CURING COMPOUNDS: WASTEWATER FROM CONSTRUCTION EQUIPMENT WASHING; HYDRAULIC OIL/FLUIDS; ; GASOLINE; DIESEL FUEL; KEROSENE; ANTIFREÈZE/COOLANT; AND EROSION.

BEST MANAGEMENT PRACTICES CONTROLS

WASTE MATERIALS:

ALL WASTE MATERIALS, INCLUDING CONSTRUCTION DEBRIS, SHALL BE COLLECTED AND STORED IN A SECURELY LIDDED METAL DUMPSTER. NO CONSTRUCTION WASTE MATERIAL SHALL BE BURIED ON SITE. THE TRANSIT DUMPSTER SHALL COMPLY WITH ORDINANCE 18.52.010 (ENCLOSURE AND REMOVAL OF WASTE MATERIALS DURING CONSTRUCTION). THE DUMPSTER SHALL BE EMPTIED AS NECESSARY OR AS REQUIRED BY ORDINANCE 9.04 (SOLID WASTE MANAGEMENT) AND THE TRASH SHALL BE HAULED TO A LICENSED LANDFILL.

HAZARDOUS WASTE:

AT A MINIMUM, ANY PRODUCTS IN THE FOLLOWING CATEGORIES SHALL BE CONSIDERED HAZARDOUS: PAINT, ACIDS FOR CLEANING MASONRY SURFACES, CLEANING SOLVENTS, ASPHALT PRODUCTS, CHEMICAL ADDITIVES FOR SPILL STABILIZATION, CURING COMPOUNDS AND ADDITIVES. IN THE EVENT OF A SPILL WHICH MAY BE HAZARDOUS, THE CONTRACTOR SHALL TAKE IMMEDIATE ACTION AND CONTACT THE FIRE DEPT. AND TNRCC.

SANITARY WASTE:

ALL SANITARY WASTE SHALL BE COLLECTED FROM THE CONSTRUCTION PORTABLE UNITS AS NECESSARY OR AS REQUIRED, CHAPTER 18.08 (BUILDING CODE), BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR. ALL WASTE MATERIAL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

SPILL PREVENTION:

THE FOLLOWING PRACTICES SHALL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURES OF MATERIALS TO STORM WATER RUNOFF.

GOOD HOUSEKEEPING:

- A. STORE ONLY ENOUGH PRODUCTS REQUIRED TO DO THE JOB
- B. NEATLY STORE MATERIALS ON-SITE IN AN ORDERLY MANNER
- C. KEEP PRODUCTS IN THEIR ORIGINAL CONTAINER
- D. DO NOT MIX SUBSTANCES WITH ONE ANOTHER, UNLESS OTHERWISE RECOMMENDED BY THE MANUFACTURER
- E. USE ENTIRE CONTENTS OF A PRODUCT BEFORE DISPOSING THE CONTAINER
- F. FOLLOW MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL

HAZARDOUS PRODUCTS:

PRACTICES USED TO REDUCE RISKS:

- A. KEEP PRODUCTS IN THEIR ORIGINAL CONTAINER IF AT ALL POSSIBLE
- B. RETAIN ORIGINAL LABELS, PRODUCT INFORMATION AND MATERIAL SAFETY DATA SHEETS (MSDS)
- C. DISPOSE SURPLUS PRODUCT IN ACCORDANCE WITH MANUFACTURER'S OR LOCAL & STATE RECOMMENDED METHODS

PETROLEUM PRODUCTS:

ALL ON-SITE VEHICLES SHALL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTIVE MAINTENANCE TO REDUCE THE CHANCE OF LEAKAGE. PETROLEUM PRODUCTS SHALL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED. ANY ASPHALT SUBSTANCES USED ON-SITE SHALL BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATION.

SPILL CONTROL PRACTICES:

- A. MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP SHALL BE CLEARLY
- POSTED AND SITE PERSONNEL SHALL BE MADE AWARE OF THE PROCEDURES: B. MATERIALS AND EQUIPMENT NECESSARY FOR CLEANUP SHALL BE KEPT IN THE MATERIAL STORAGE AREA ON-SITE:
- C. ALL SPILLS SHALL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY
- D. SPILL AREA SHALL BE WELL VENTILATED AND APPROPRIATE CLOTHING WILL BE WORN:
- E. ANY SPILL SHALL BE REPORTED TO THE APPROPRIATE GOVERNMENTAL AGENCY
- F. MEASURES SHALL BE TAKEN TO PREVENT A SPILL FROM REOCCURRING

MAINTENANCE AND INSPECTION PROCEDURES:

ALL POLLUTION PREVENTION MEASURES SHALL BE INSPECTED AT LEAST ONCE A MONTH OR WITHIN 24-HOURS PRIOR TO ANTICIPATED STORM EVENT AND FOLLOWING A STORM EVENT OF 0.5 INCHES OR MORE. INSPECTION IN FINAL STABILIZED AREAS OR DURING ARID PERIODS WILL BE CONDUCTED MONTHLY, BEST MANAGEMENT PRACTICES AND POLLUTION CONTROL PROCEDURES SHALL BE INSPECTED FOR ADEQUACY.

REMARKS:

DISPOSAL AREAS, STOCKPILES, AND HAUL ROADS SHALL BE CONSTRUCTED IN A MANNER THAT WILL MINIMIZE AND CONTROL THE AMOUNT OF SEDIMENT THAT MAY ENTER RECEIVING WATERS. DISPOSAL AREAS SHALL NOT BE LOCATED IN ANY WETLAND, WATERBODY OR STREAMBED. CONSTRUCTION STAGING AREAS AND VEHICLE MAINTENANCE AREAS SHALL BE CONSTRUCTED BY THE CONTRACTOR IN A MANNER TO MINIMIZE THE RUNOFF OF POLLUTANTS. ALL WATERWAYS SHALL BE CLEANED AS SOON AS PRACTICABLE OF TEMPORARY EMBANKMENT, TEMPORARY BRIDGES, MATTING, FALSEWORK, PILING DEBRIS OR OTHER OBSTRUCTIONS PLACED DURING CONSTRUCTION OPERATIONS THAT ARE NOT A PART OF THE FINISHED WORK.

그리는 그리는 그리는 호텔은 수**있는 것을 하는 것을 가는 것**이 가는 것이 있는 것이 되었다. 그리는 그리는 것이 되었다는 것이 되었다. 그리는 그리는 것이 되었다. 것이 없어 없는 것이 없다.

OFFSITE VEHICLE TRACKING:

- IN ADDITION TO THE STABILIZED CONSTRUCTION ENTRANCES, THE FOLLOWING MEASURES SHALL BE OBSERVED DURING CONSTRUCTION:
- HAUL ROADS SHALL BE DAMPENED FOR DUST CONTROL
- LOADED HAUL TRUCKS SHALL BE COVERED WITH TARPAULIN - EXCESS DIRT ON ROAD SHALL BE REMOVED IMMEDIATELY
- STABILIZED CONSTRUCTION ENTRANCE - OTHER

JITEK:	

0 SION

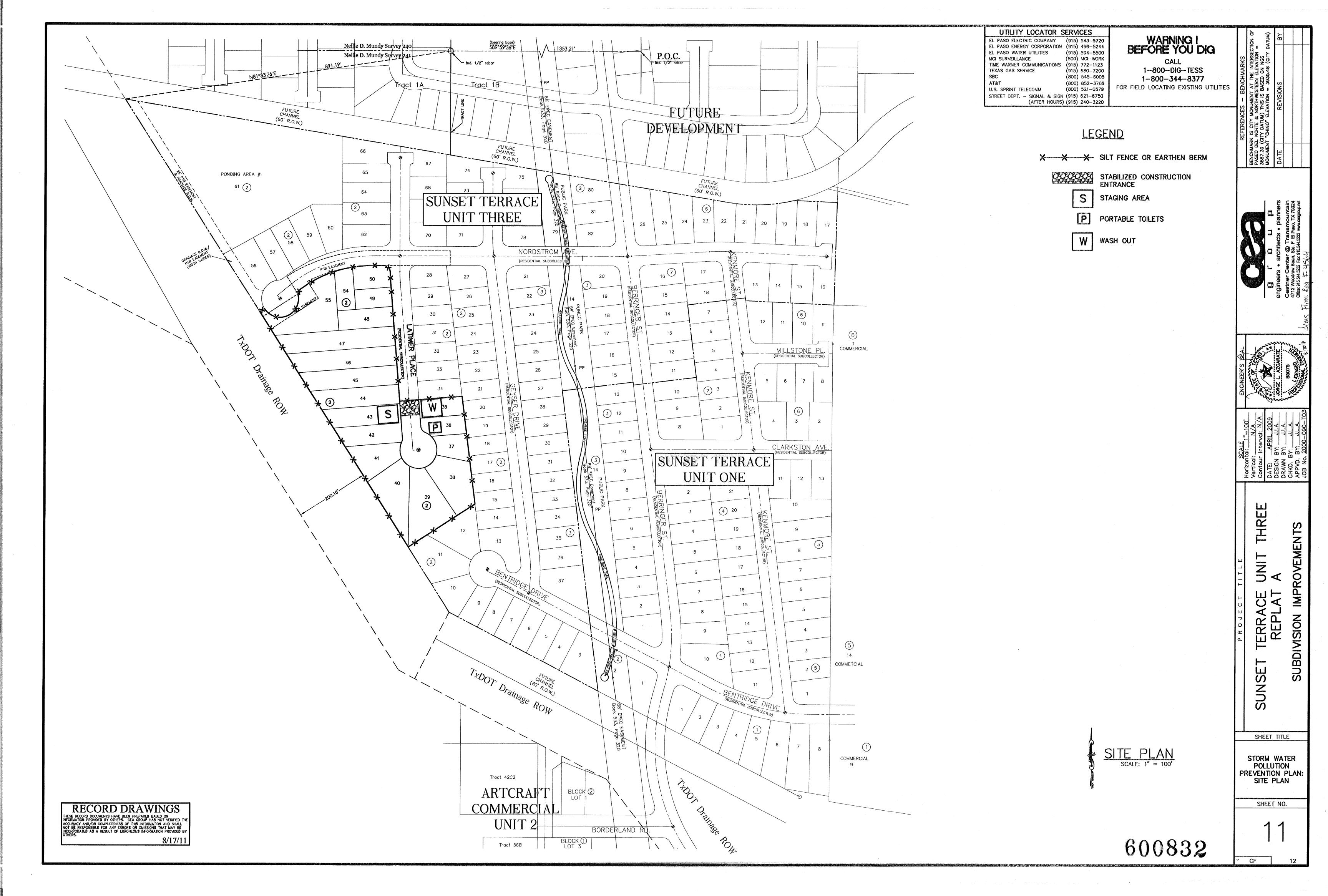
SHEET TITLE

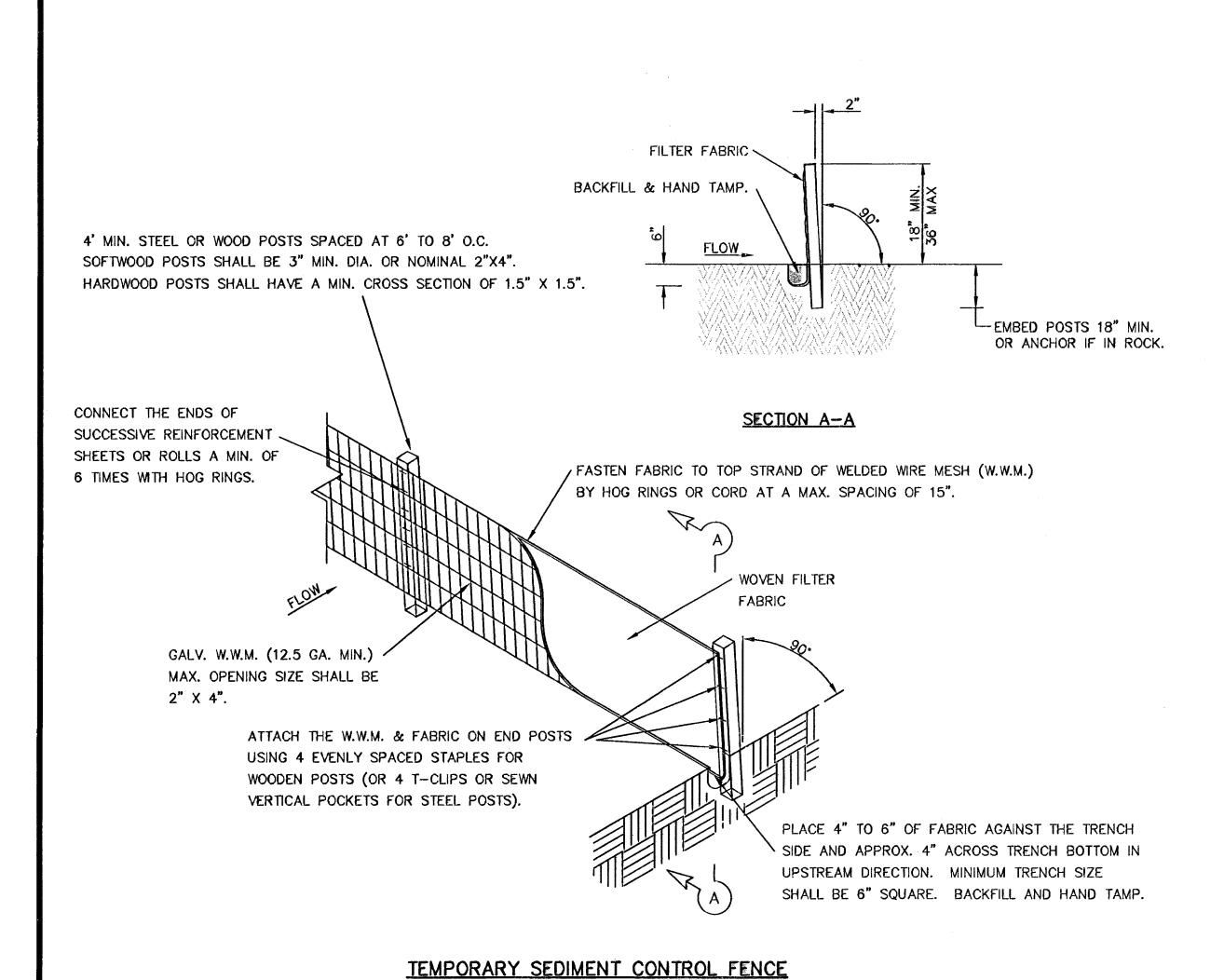
STORM WATER POLLUTION PREVENTION PLAN: GENERAL NOTES

SHEET NO.

OF

RECORD DRAWINGS THESE RECORD DOCUMENTS HAVE BEEN PREPARED BASED ON INFORMATION PROVIDED BY OTHERS. CEA GROUP HAS NOT VERIFIED THE ACCURACY AND/OR COMPLETENESS OF THIS INFORMATION AND SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS THAT MAY BE INCORPORATED AS A RESULT OF ERRONEOUS INFORMATION PROVIDED BY





TOP WIDTH
5 FT MINIMUM

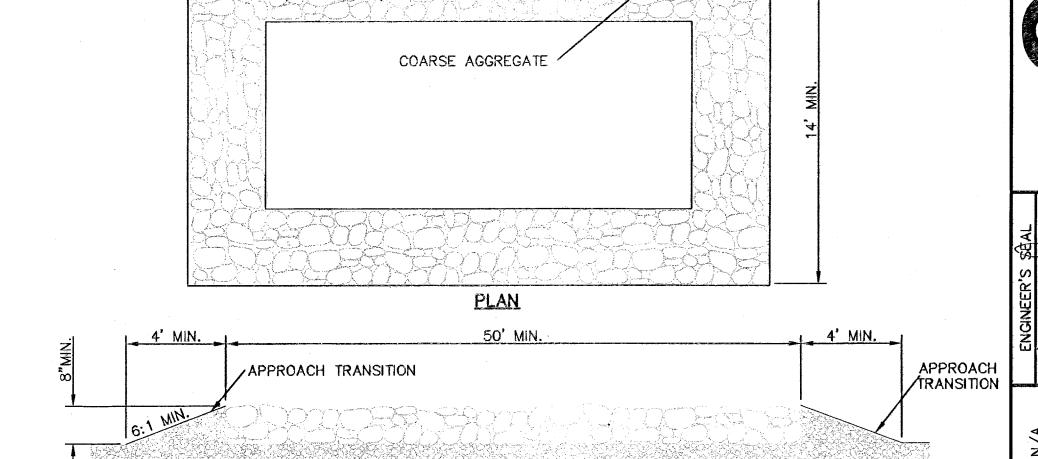
HEIGHT FROM UPSLOPE
TOE 18 IN MINIMUM

EXISTING OR GRADED
GROUND

GENERAL NOTES:

- SOIL USED IN BERM CONSTRUCTION SHALL BE MACHINE COMPACTED.
- TOP WIDTH AND HEIGHT OF BERM MAY BE MODIFIED WITH PRIOR APPROVAL OF THE ENGINEER.
- 3. SIDE SLOPES WITHIN THE SAFETY CLEAR ZONE OF A ROADWAY SHALL BE 6:1 OR FLATTER.
- 4. GRADING SHALL BE SHOWN ELSEWHERE IN THE PLANS OR AS DIRECTED BY THE ENGINEER.
- 5. THE ENGINEER RESERVES THE RIGHT TO MODIFY THE DIMENSIONS SHOWN FOR THE BERM DEPENDENT ON RUNOFF VOLUME CHARACTERISTICS.
- 6. BERMS THAT ARE IN PLACE FOR MORE THAN 14 CALENDAR DAYS SHOULD BE STABILIZED TO PREVENT SEDIMENT RUNOFF.
- 7. THE GUIDELINES SHOWN HEREON ARE SUGGESTIONS ONLY AND MAY BE MODIFIED BY THE ENGINEER.

TYPICAL BERM CONFIGURATION



6" MIN.FOUNDATION COURSE

GENERAL NOTES

PROFILE

- 1. THE LENGTH OF THE TYPE 1 CONSTRUCTION EXIT SHALL BE AS INDICATED ON THE PLANS, BUT NOT LESS THAN 50'.
- 2. THE COARSE AGGREGATE SHOULD BE OPEN GRADED WITH A SIZE OF 4" TO 8".
- 3. THE APPROACH TRANSITIONS SHOULD BE NO STEEPER THAN 6:1 AND CONSTRUCTED AS DIRECTED BY THE ENGINEER.
- 4. THE CONSTRUCTION EXIT FOUNDATION COURSE SHALL BE FLEXIBLE BASE, BITUMINOUS CONCRETE, PORTLAND CEMENT CONCRETE OR OTHER MATERIAL AS APPROVED BY THE ENGINEER.
- 5. THE CONSTRUCTION EXIT SHALL BE GRADED TO ALLOW DRAINAGE TO A SEDIMENT TRAPPING DEVICE.
- 6. THE GUIDELINES SHOWN HEREON ARE SUGGESTIONS ONLY AND MAY BE MODIFIED BY THE ENGINEER.

CONSTRUCTION EXIT (TYPE 1)

RECORD DRAWINGS
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8/17/11

600832

SUNSET TERRACE UNIT THREE Contour int PATE: A PESIGN BY: CHKD. BY: APPYD. BY:

SHEET TITLE

STORM DRAIN
POLLUTION CONTROL
PLAN:
DETAILS

SHEET NO.

OF 12