

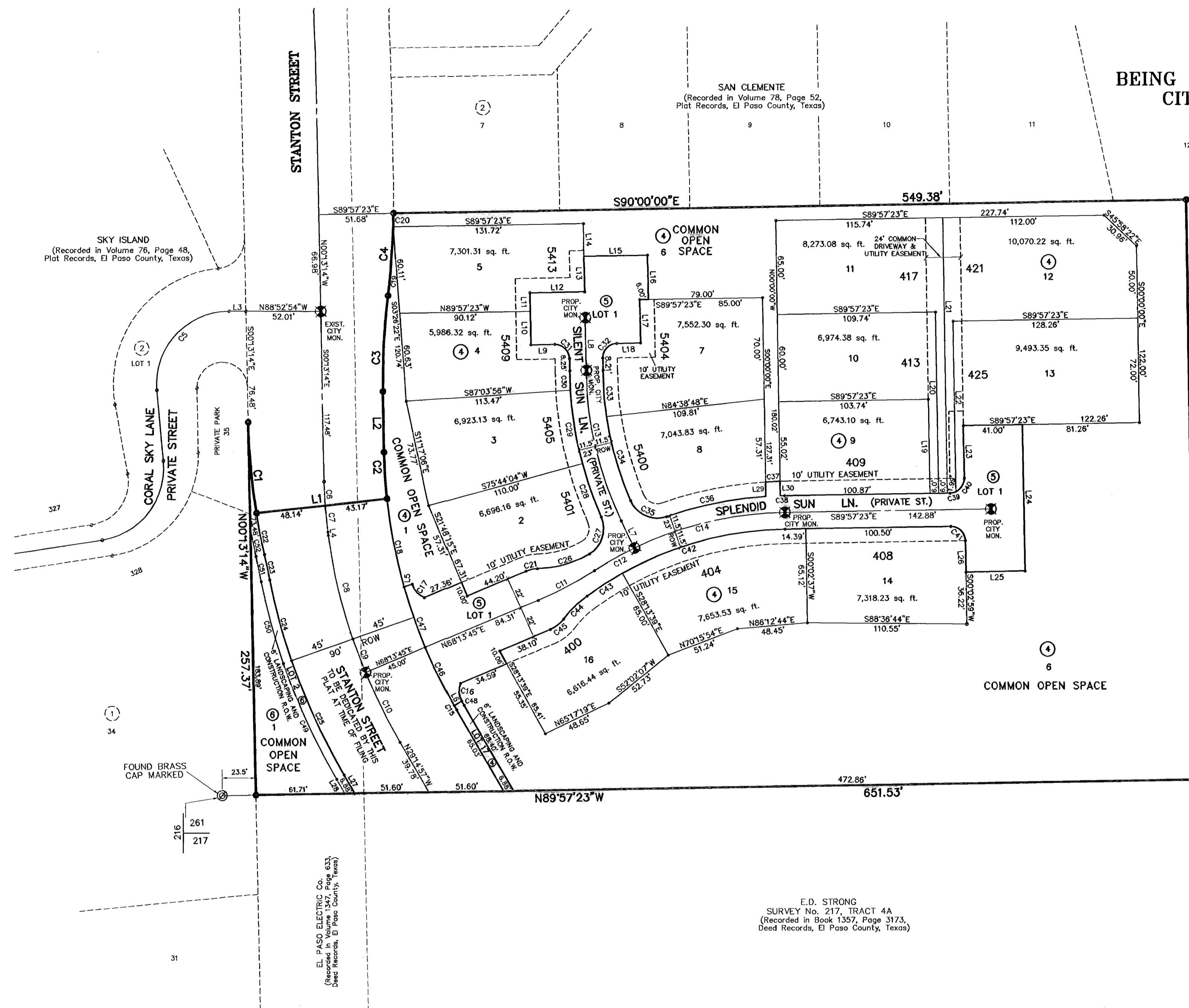


# SKY ISLAND UNIT TWO

BEING A PORTION OF H.G. FOSTER SURVEY No. 261,  
CITY OF EL PASO, EL PASO COUNTY, TEXAS  
CONTAINING: 5.545 Ac.

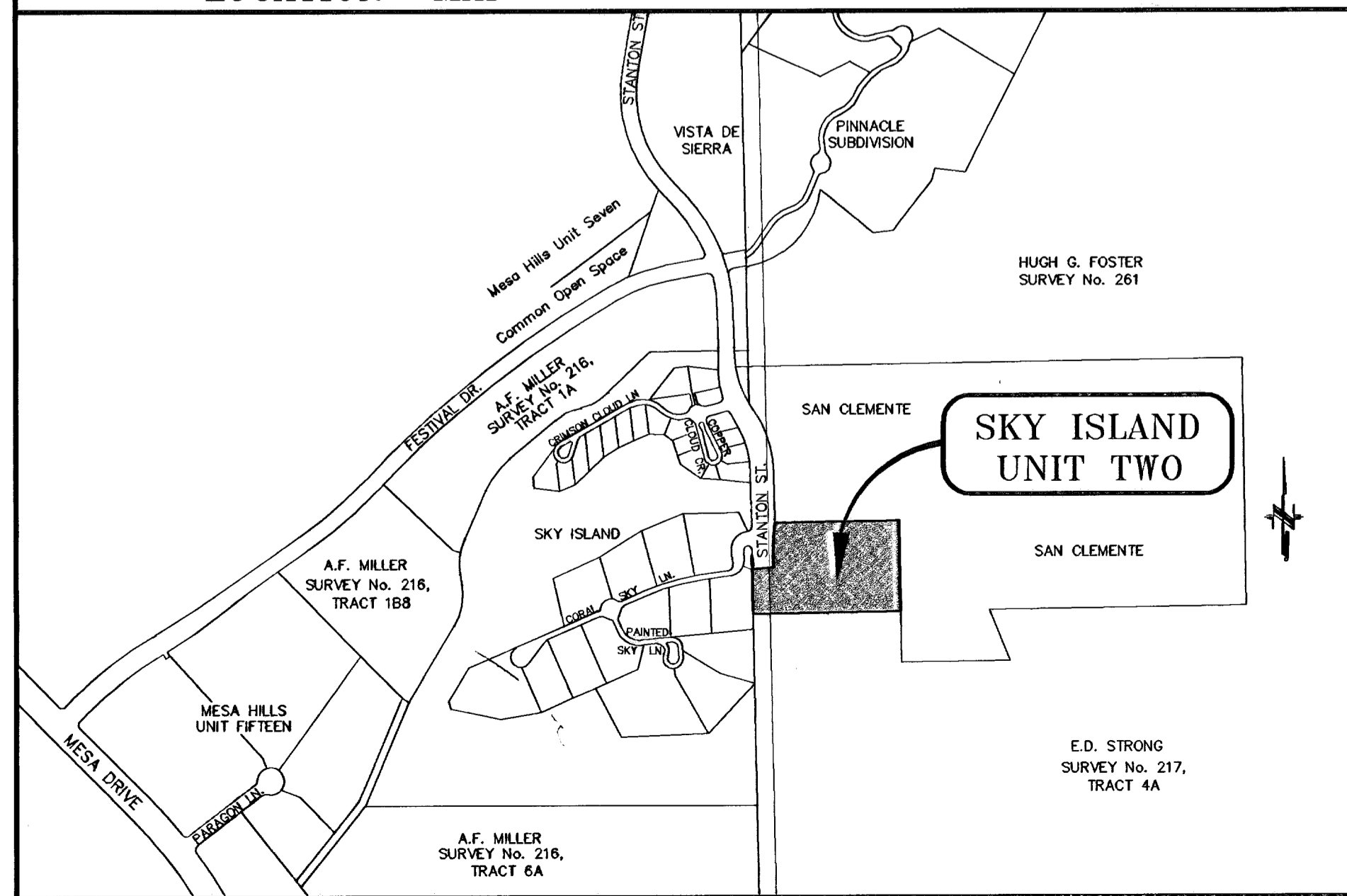
CURVE TABLE					
CURVE	RADIUS	LENGTH	TANGENT	CHORD	DELTA
C1	447.00	63.18	31.64	63.12	S04°16'10"E 8°05'52"
C2	368.00	32.27	16.15	32.26	S02°43'59"E 5°01'30"
C3	468.00	68.24	33.18	68.19	S03°50'03"W 8°08'55"
C4	432.00	58.08	28.50	58.02	N04°49'00"E 9°38'01"
C5	50.00	83.33	55.04	74.02	S43°22'17"W 85°29'38"
C6	330.00	16.55	8.28	16.55	S01°39'25"E 2°52'23"
C7	330.00	18.35	9.18	18.35	S04°41'12"E 3°11'11"
C8	350.00	73.69	36.98	73.58	S12°18'42"E 12°03'49"
C9	413.00	24.70	12.38	24.70	S20°03'28"E 3°25'38"
C10	413.00	53.90	26.99	53.90	S25°50'38"E 7°28'42"
C11	250.00	44.23	22.17	44.17	N03°49'41"E 10°08'09"
C12	250.00	31.70	15.87	31.68	S01°43'35"W 7°15'56"
C13	250.00	107.52	54.60	108.69	S12°19'14"E 24°38'27"
C14	250.00	107.71	54.70	108.88	S77°42'05"W 24°41'04"
C15	368.00	3.51	1.75	3.51	S28°58'33"E 0°32'47"
C16	14.00	12.83	6.91	12.39	S02°28'40"E 52°31'00"
C17	14.00	12.83	6.91	12.39	S41°05'50"E 52°31'00"
C18	368.00	61.62	30.88	61.54	S10°02'32"E 0°35'56"
C19	532.00	47.77	23.90	47.78	N05°18'59"E 5°08'43"
C20	532.00	9.18	4.59	9.18	N02°14'59"E 0°59'18"
C21	22.00	8.28	4.19	8.23	S79°00'48"W 21°34'02"
C22	447.00	28.87	14.44	28.88	S10°10'08"E 3°42'01"
C23	500.00	18.03	9.01	18.03	N10°59'08"W 2°03'57"
C24	395.00	57.88	28.99	57.78	S14°58'53"E 8°23'42"
C25	488.00	87.18	43.72	87.04	S23°47'47"E 10°54'20"
C26	75.00	37.81	19.32	37.41	N75°21'11"E 28°53'13"
C27	20.00	29.23	17.92	28.69	N19°02'51"E 83°43'25"
C28	261.50	39.02	19.54	38.98	S18°32'24"E 8°32'55"
C29	261.50	51.72	25.94	51.63	S08°38'00"E 11°19'52"
C30	261.50	13.39	6.70	13.39	S01°28'02"E 2°58'04"
C31	10.00	15.70	8.99	15.70	N44°58'45"W 89°37'23"
C32	10.00	15.72	10.01	14.15	S45°01'18"E 90°02'37"
C33	238.50	32.21	16.13	32.18	S03°52'07"E 7°44'14"
C34	238.50	60.64	30.48	60.47	S15°01'14"E 14°34'00"
C35	20.00	29.98	18.61	27.25	S65°14'29"E 85°52'30"
C36	261.50	70.29	35.38	70.08	S79°31'19"W 15°24'08"
C37	271.50	10.00	5.00	10.00	S88°22'51"W 2°08'41"
C38	261.50	2.87	1.43	2.87	S89°43'45"W 0°37'44"
C39	10.00	1.12	2.09	4.09	N43°13'58"E 23°37'18"
C40	10.00	11.59	6.55	10.95	N33°12'39"E 68°25'19"
C41	10.00	15.70	9.99	14.14	N44°58'42"W 89°37'23"
C42	238.50	117.68	60.08	116.49	S75°54'29"W 28°18'18"
C43	238.50	29.27	14.65	29.25	S58°15'28"W 7°01'50"
C44	75.00	22.83	11.51	22.75	S48°01'13"W 17°28'36"
C45	22.00	11.88	6.09	11.73	N52°45'50"E 20°55'50"
C46	368.00	44.52	22.29	44.50	S14°18'12"E 8°55'58"
C47	368.00	44.52	22.29	44.50	S18°18'17"E 6°55'58"
C48	362.00	3.45	1.73	3.45	S28°58'33"E 0°32'47"
C49	464.00	88.32	44.29	88.18	S23°47'47"E 10°54'20"
C50	401.00	58.73	29.42	58.67	S14°08'53"E 8°23'27"
C51	494.00	17.81	8.91	17.81	N10°59'08"W 2°03'57"
C52	433.00	19.47	9.74	19.47	S10°47'14"E 2°27'44"

LINE TABLE		
LINE	LENGTH	BEARING
L1	91.31	N84°55'16"E
L2	42.02	N00°31'14"W
L3	11.62	S88°52'54"E
L4	2.25	N06°18'58"W
L5	6.00	N75°09'40"E
L6	6.00	N61°17'50"E
L7	20.80	N24°38'27"W
L8	36.23	S00°00'00"E
L9	16.51	S89°57'23"E
L10	23.00	S00°00'00"W
L11	13.00	S00°00'00"W
L12	38.00	S89°57'23"E
L13	24.50	S00°00'00"W
L14	22.50	S00°00'00"W
L15	44.00	S89°57'23"E
L16	30.50	S00°00'00"E
L17	30.00	S00°00'00"W
L18	16.49	S89°57'23"E
L19	65.00	S00°00'00"E
L20	125.00	S00°00'00"E
L21	190.00	S00°00'00"E
L22	117.66	S00°00'00"E
L23	36.49	S00°00'00"E
L24	100.99	S00°00'00"E
L25	41.00	S89°57'23"E
L26	21.49	S00°00'00"W
L27	14.54	N29°14'57"W
L28	11.17	N29°14'57"W
L29	10.01	S00°00'00"E
L30	10.00	S00°00'00"E



**NOTES:**  
 WATER AND SEWER SERVICES WILL BE EXTENDED TO THIS SUBDIVISION (SKY ISLAND UNIT TWO) FROM EXISTING EL PASO WATER UTILITIES/PUBLIC SERVICE BOARD FACILITIES AND WILL BE CONSTRUCTED AND OPERABLE AS OF NOVEMBER 20, 2003.  
 THE INSTRUMENT ASSURING THE CERTIFICATION THAT WATER AND SEWER SERVICES FACILITIES DESCRIBED BY THIS PLAN ARE IN COMPLIANCE WITH THE MODEL RULES ADOPTED UNDER SECTION 16.343, TEXAS WATER CODE IS FILED IN THE OFFICE OF THE COUNTY CLERK, DEED AND RECORD SECTION.  
 INSTRUMENT No. 2004029182 BOOK \_\_\_\_\_ PAGE \_\_\_\_\_ DATE 6-24-04.  
 TAX CERTIFICATE FOR THIS SUBDIVISION ARE FILED IN THE OFFICE OF THE COUNTY CLERK, DEED AND RECORDS SECTION.  
 INSTRUMENT No. 2004029181 BOOK \_\_\_\_\_ PAGE \_\_\_\_\_ DATE 6-24-04.  
 VEHICULAR ACCESS TO THOSE RESIDENTIAL LOTS ABUTTING STANTON STREET SHALL BE FROM OTHER DEDICATED STREETS ONLY. THE INSTRUMENT ASSURING RELEASE OF ACCESS IS FILED IN THE OFFICE OF THE COUNTY CLERK, DEED AND RECORD SECTION.  
 INSTRUMENT No. 2004029183 BOOK \_\_\_\_\_ PAGE \_\_\_\_\_ DATE 6-24-04.  
 RESTRICTIVE COVENANTS FOR THIS SUBDIVISION ARE FILED IN THE OFFICE OF THE COUNTY CLERK, DEED AND RECORD SECTION.  
 INSTRUMENT No. 2004029184 BOOK \_\_\_\_\_ PAGE \_\_\_\_\_ DATE \_\_\_\_\_  
 LOT CORNERS WILL BE SET UPON COMPLETION OF CONSTRUCTION OF ROADWAYS AND UTILITIES.  
 "U.S. POSTAL SERVICE DELIVERY WILL BE PROVIDED THROUGH NEIGHBORHOOD DELIVERY AND COLLECTION BOX UNITS".  
 SET 1/2" REBAR WITH CAP MARKED TX 5152 AT ALL EXTERIOR BOUNDARY CORNERS UNLESS OTHERWISE NOTED.  
 BEARINGS BASED ON PLAT OF SKY ISLAND RECORDED IN VOLUME 76, PAGE 48, PLAT RECORDS OF EL PASO COUNTY, TEXAS

LOCATION MAP SCALE: 1" = 600'



PMD REQUIREMENTS		
	CODE (REQUIRED)	PROVIDED
AVERAGE CROSS SLOPE	15.1% to 20%	16%
BUILDABLE AREA ALLOWED	65%	61.8%
OPEN AREA	35%	38.2%
NUMBER OF LOTS ALLOWED	25	14

NOTE: LOTS 10-13, BLOCK 4 WILL REQUIRE A FIRE PROTECTION SPRINKLER SYSTEM.

DATE OF PREPARATION: JANUARY 02, 2003

1700 LEE TERRY DR. STE 400  
EL PASO, TEXAS 79908  
PH # 562-9286 FAX # 562-9288

**DEDICATION**

Sky Island Partnership, LTD, the owner of this land, hereby present this plat and dedicate to the use of the public, the street, drives, and utility easements, as hereon laid down and designated, including easements for overhead of service wires for pole type utilities, and buried service wires, conduits and pipes for underground utilities, and the right to ingress and egress for service and construction and the right to trim interfering trees and shrubs.

Witness our signature this 21<sup>st</sup> day of January, 2004.

SKY ISLAND PARTNERSHIP, LTD.  
CORYCOON, L.L.C., -MANAGING PARTNER

By: s/ Vernon M. Schoemaker  
Vernon W. Schoemaker, Manager

ATTEST: NOT REQUIRED

**ACKNOWLEDGEMENT**

Before me, the undersigned authority, on this day personally appeared Vernon W. Schoemaker, Manager of Corycon, L.L.C., its Managing Partner, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same as the act and deed of said corporation for the purpose and considerations herein expressed.

Given under my hand and seal of office this 21<sup>st</sup> day of January, 2003.

Notary Public in and for El Paso County My Commission Expires \_\_\_\_\_

**CITY PLAN COMMISSION**

This subdivision is hereby approved as to the plotting and as to the condition of the dedication in accordance with Chapter 212 of the Local Government Code of Texas this 19<sup>th</sup> day of March, 2003.

s/ Rudy Valdez Secretary  
s/ Elma Carreto Chairperson

Approved for filing this 5<sup>th</sup> day of November, 2003.

s/ Irene Ramirez  
City Engineer

**FILING**

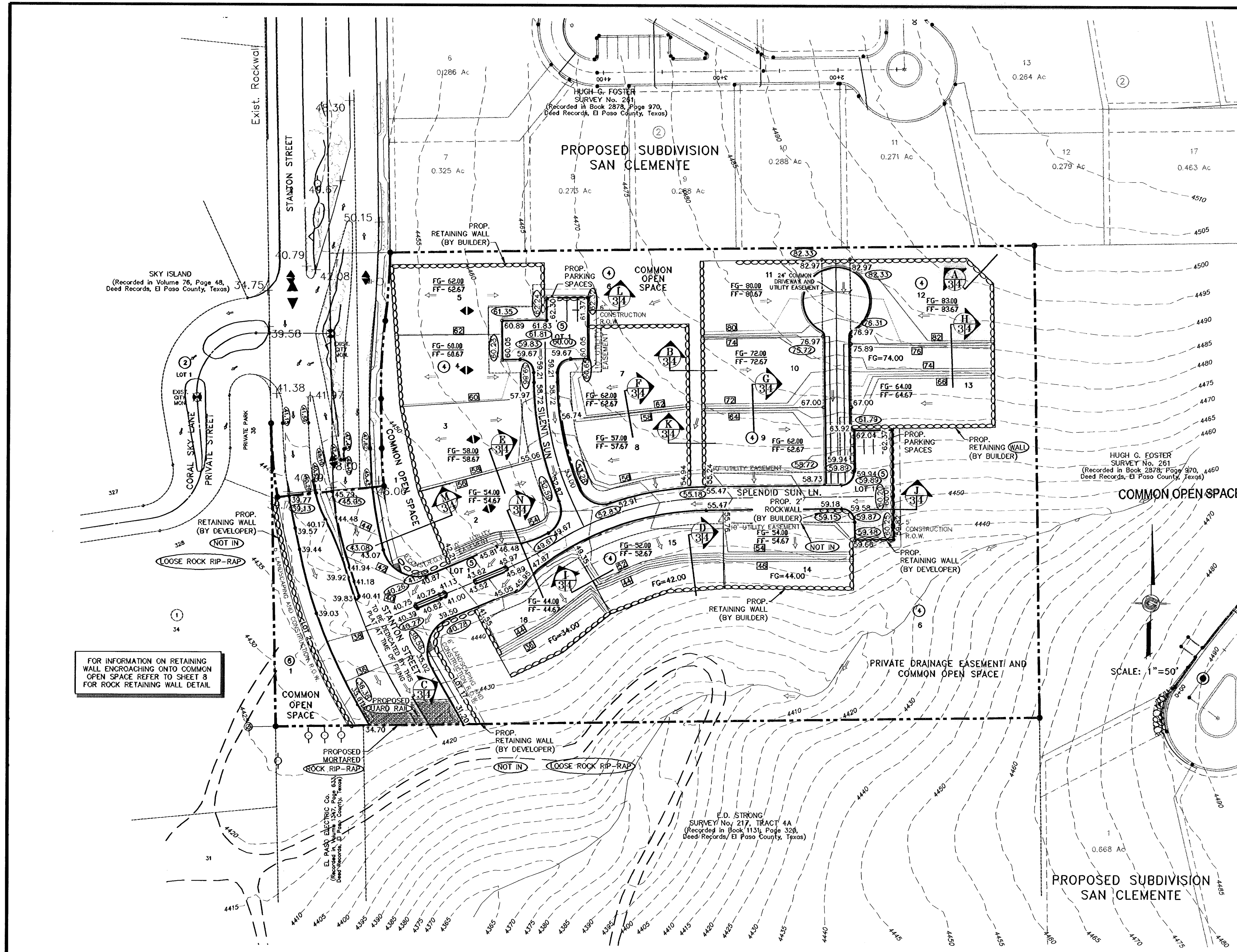
Filed and recorded in the office of the County Clerk of El Paso County, Texas, this 24<sup>th</sup> day of June, 2004, A.D. in Volume 79 of the Plat Record, Page 60, File No. 2004029180

s/ Waldo Alarcon County Clerk  
s/ C. Macias By Deputy

Prepared by and under the supervision of: YVONNE CONDE VALDEZ, P.E. Registered Professional Engineer Registration No. 64648

This plat represents a survey made on the ground by me or under my supervision and complies with the current Texas Board of Professional Land Survey Professional and Technical Standards.

s/ Yvonne Valdez Yvonne Conde Valdez, P.E.  
s/ Ron R. Conde Ron R. Conde, Registered Professional Land Surveyor Texas License No. 5152



**NOTES:**  
 HEREON DESCRIBED TRACT LIES IN FLOOD ZONE C. COMMUNITY PANEL NO. 480 214 0028C, DATED FEBRUARY 5, 1986.

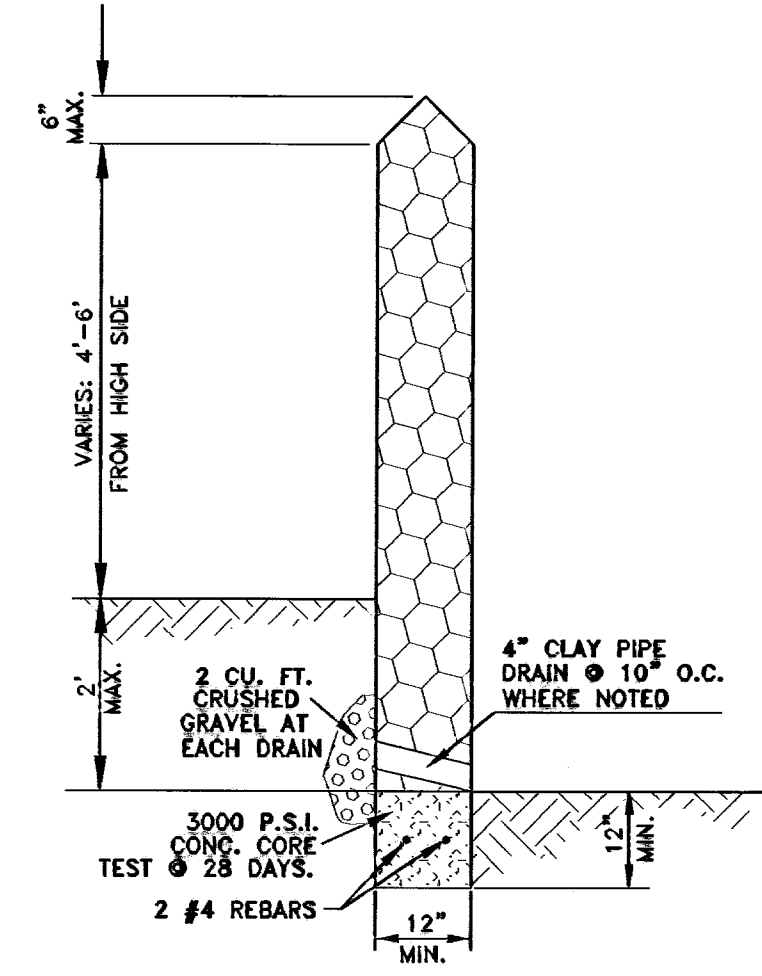
- 1.- 6" MAX. ALONG REAR & SIDE YARDS.
- 2.- 3"- 6" MAX. ALONG FRONT YARDS.
- 3.- 6" HIGH @ DRAINAGE AND BASINS.

**FIRE PROTECTION:**

ALL LOTS SHALL BE SUPPLIED WITH ADEQUATE FIRE PROTECTION IN THE FORM OF FIRE HYDRANTS CAPABLE OF SUSTAINING A FLOW RATE AS FOLLOWS (AS EVIDENCED BY FLOW TESTS), AND SPACED AT INTERVALS OF NOT MORE THAN FIVE HUNDRED FEET:

**FLOW RATES (gallons per minute) STRUCTURES SPRINKLERED**

500 to 999	ALL BUILDINGS
1,000 to 1,499	ALL BUILDINGS EXCEEDING THREE THOUSAND SQUARE FEET
1,500 or more	NONE REQUIRED



**ROCKWALL DETAIL**  
SCALE: 1" = 2'

**ROCKWALL NOTES:**

- STONE FOR ROCKWALLS SHALL BE AS NEARLY UNIFORM IN SECTIONS AS IN PRACTICABLE. THE STONE SHALL BE DENSE AND RESISTANT OF AIR AND WATER.
- MORTAR MUST BE TYPE "S" 1800 P.S.I. AS PER ASTM C270.
- MASONRY WALLS OVER SIX (6) FEET IN HEIGHT AND THOSE USED FOR EARTH RETENTION OVER TWO (2) FEET MUST BE DESIGNED AS STRUCTURAL WALLS.
- WALLS ADJACENT TO PONDING AREAS OR DRAINAGE DITCHES MAY BE CONSTRUCTED OF BRICK OR CINDER BLOCK AND SHALL NOT BE LESS THAN SIX (6) FEET HIGH.
- ROCKWALL MORTAR JOINTS MUST NOT EXCEED TWO (2) INCHES.
- PROVIDE ONE (1) INCH EXPANSION JOINTS AT EVERY 100 FEET.
- ALL STONE SHALL BE THOROUGHLY SOAKED BEFORE BEING PLACED.
- ALL STONE FOR ROCKWALLS SHALL BE FRACTURED QUARRIED ROCK, NOT RIVER ROCK SHALL BE ALLOWED

**LEGEND**

- ▲ HIGH POINT
- ▼ LOW POINT
- 25.68 PROP. TOP OF CURB ELEV.
- FG=00.00 PROP. FINISH GROUND AND FINISH FLOOR
- FF=00.67
- ○ ○ ○ ○ PROPOSED RETAINING WALL

FOR INFORMATION ON RETAINING WALL ENCROACHING ONTO COMMON OPEN SPACE REFER TO SHEET 8 FOR ROCK RETAINING WALL DETAIL

**GENERAL NOTES:**

- IMPROVEMENT WITHIN CITY R.O.W. SHALL COMPLY WITH TITLE 19- SUBDIVISION ORDINANCE - "SUBDIVISION IMPROVEMENT DESIGN STANDARDS".
- CONTRACTOR SHALL PROVIDE TEMPORARY MEASURES FOR THE MANAGEMENT OF STORM WATER RUNOFF ENTERING, EXITING AND ON SITE DURING THE COURSE OF THE CONSTRUCTION. TEMPORARY BERMS, DESILTING BASIN, CHECK DAMS, PIPING ETC. SHALL BE PROVIDED AS NECESSARY. SEE SHEET 7 OF 13.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION AND NOTIFICATION WITH ALL APURTENANT UTILITY COMPANIES WHOSE LINES ARE WITHIN THE CONSTRUCTION CONTRACT AREA. THE CONTRACTOR SHALL NOTIFY UTILITY COMPANIES 48 HOURS PRIOR TO ANY CONSTRUCTION ON SITE. THE CONTRACTOR WILL BE RESPONSIBLE PHYSICALLY AND FINANCIALLY FOR ANY DISRUPTION TO SERVICE EITHER ON SITE OR OFF SITE DUE TO BREAKAGE OF UTILITY LINES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DATA SHOWN ON THE PLANS. IF DISCREPANCIES ARE FOUND THE CONTRACTOR SHALL NOTIFY THE OWNER OR ENGINEER IMMEDIATELY SO THAT PROPER CORRECTIONS CAN BE MADE.
- EQUIPMENT OF A CONDITION AND DESIGN SUFFICIENT TO ENSURE A THOROUGH AND WORKMANLIKE PROSECUTION OF THE PROJECT SHALL BE USED AT ALL TIMES.
- ALL ELEVATIONS ARE TO CITY DATUM UNLESS OTHERWISE NOTED.
- ALL WASTE MATERIALS INCLUDING EXCAVATION, CURBING, PAVEMENT, ETC. SHALL BE DISPOSED OF AS DESIGNATED BY THE OWNER OR HIS REPRESENTATIVE.
- THE CONTRACTOR SHALL NOTIFY THE OWNER, OR HIS REPRESENTATIVE, IN SUFFICIENT TIME IN ADVANCE OF DELIVERY OF MATERIALS TO BE SUPPLIED BY HIM UNDER THIS PROJECT, IN ORDER THAT THE OWNER MAY ARRANGE, IF DESIRED, INSPECTION AND TESTING FOR SAME.
- SAFE AND REASONABLE ACCESS FOR THIS SITE MUST BE MAINTAINED AT ALL TIMES DURING THE LIFE OF THE PROJECT.
- ANY CAVITY REMAINING OPEN DURING NONWORKING HOURS MUST BE GUARDED BY FLASHER TYPE BARRICADES WITH STRINGERS PLACED BETWEEN THE TOPS OF THE BARRICADES.

**CONSTRUCTION NOTES:**

- RETAINING WALLS WILL BE REQUIRED WHERE THERE IS A GRADE DIFFERENCE OF 2 OR MORE FEET BETWEEN LOTS AND STREET. RETAINING WALL DESIGN AT TIME OF BUILDING PERMIT.
- 85% COMPACTION REQUIRED ON CUTS & 95% COMPACTION REQUIRED ON FILLS. AS PER ASTM D1557.
- ALL CONCRETE FOR STRUCTURES SHALL BE 3000 PSI. UNLESS OTHERWISE NOTED.
- MINIMUM COVER FOR REINFORCING STEEL SHALL BE 2" UNLESS OTHERWISE NOTED.
- 95% COMPACTION REQUIRED FOR STRUCTURES AS PER ASTM D1557.
- REINFORCING SHALL CONFORM TO THE REQUIREMENTS OF ASTM A615 GRADE 60.

**NOTES:**

- LOTS 10-13, BLK 4 WILL REQUIRE A FIRE PROTECTION SPRINKLER SYSTEM.
- SLOPED AREAS SHALL BE MAINTAINED BY PROPERTY OWNERS.

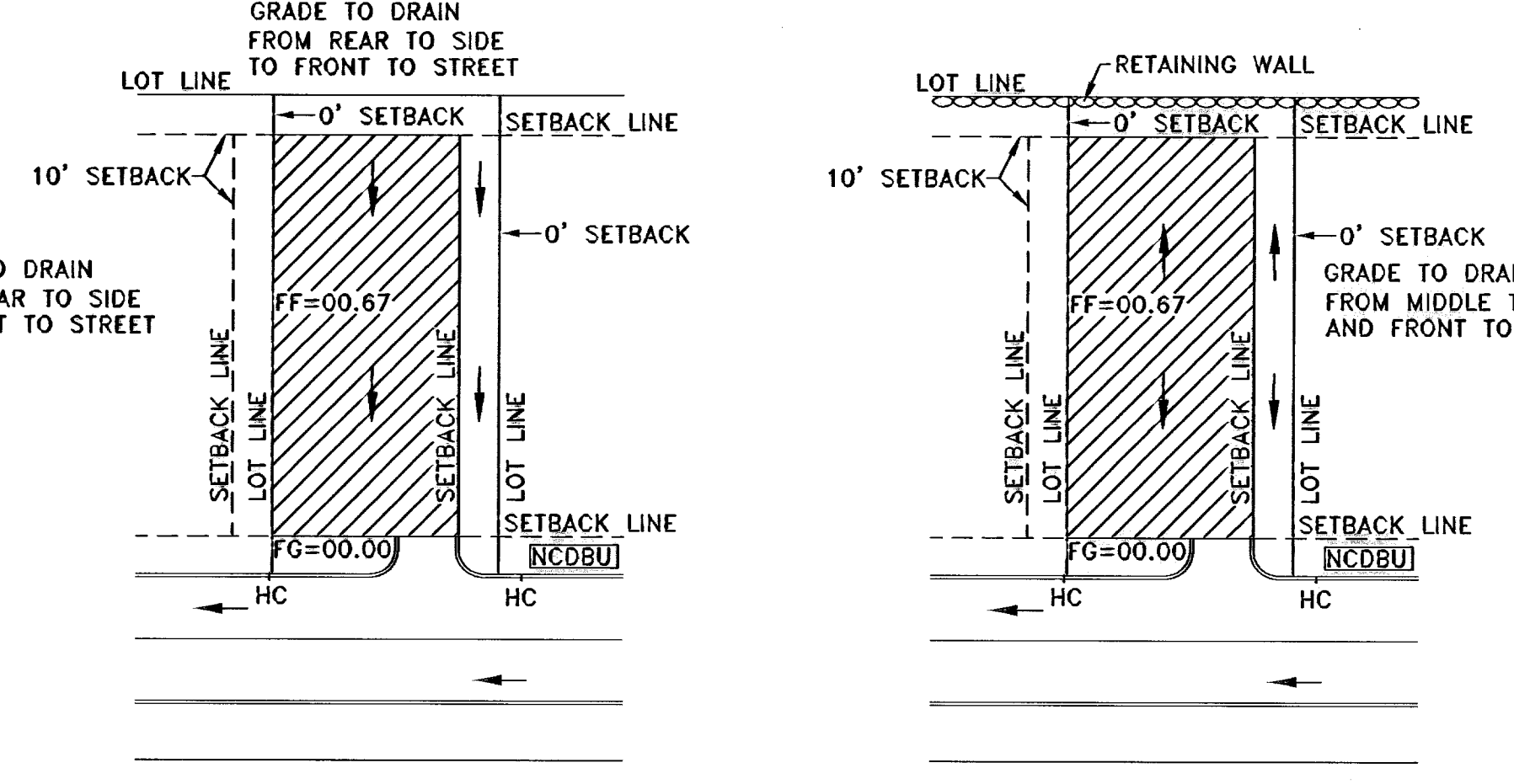
**GENERAL EARTHWORK NOTES:**

- ALL GRADING SHALL CONFORM TO THE CITY OF EL PASO GRADING ORDINANCE SECTION 18.44.
- THE CONTRACTOR SHALL CARRY ON HIS WORK WITH SPECIAL CARE AT ALL TIMES TO MAINTAIN THE NATURAL SURROUNDINGS AND EXISTING STRUCTURES IN AN UNDAMAGED CONDITION.
- NATURAL SUBGRADES TO SUPPORT STRUCTURAL FILL OR PAVEMENTS SHOULD BE STRIPPED OF ALL VEGETATION OR ORGANIC TOPSOIL. THE EXPOSED SUBGRADE SHOULD BE SCARIFIED JUST PRIOR TO FILL PLACEMENT TO A MINIMUM DEPTH OF 6 INCHES AND RECOMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS PER ASTM D-1557. ALL BACKFILL MATERIAL TO BE PLACED IN HORIZONTAL LAYERS NOT TO EXCEED EIGHT (8") INCH LIFTS AND COMPACTED AS BEFORE.
- TEMPORARY DUST AND EROSION CONTROL MEASURES SHALL BE PROVIDED FOR AT ALL TIMES. SEE SHEET 7 OF 12.
- ANY EROSION OF THE GRADED SITE DURING THE COURSE OF THE PROJECT SHALL BE CORRECTED PRIOR TO FINALIZATION OF THE PROJECT AT NO COST TO THE OWNER.
- DRIVEWAYS SHALL NOT OBSTRUCT RUNOFF.

○ DENOTES AS BUILT CONDITION ONLY

**MIN. YARD SET BACKS**

FRONT YARD	SIDE YARD	SIDE YARD ABUTTING A SIDE STREET	REAR YARD
5'-10'	0'-10'	10'	10'



**TYPICAL LOT GRADING**  
1" = 40'

REFERENCES -- BENCHMARKS  
 CITY MOVEMENT AT THE CENTRELINE INTERSECTION  
 STANTON STREET AND CORAL SKY LANE  
 ELEVATION: 4444.54... CITY DATUM

PROJECT NAME  
**SKY ISLAND UNIT TWO**  
 BEING A PORTION OF H.G. FOSTER SURVEY No. 261,  
 CITY OF EL PASO, EL PASO COUNTY, TEXAS  
 CONTAINING: 5.563 ACRES

SCALE  
 HORIZ. 1"=50'  
 VERT. AS SHOWN

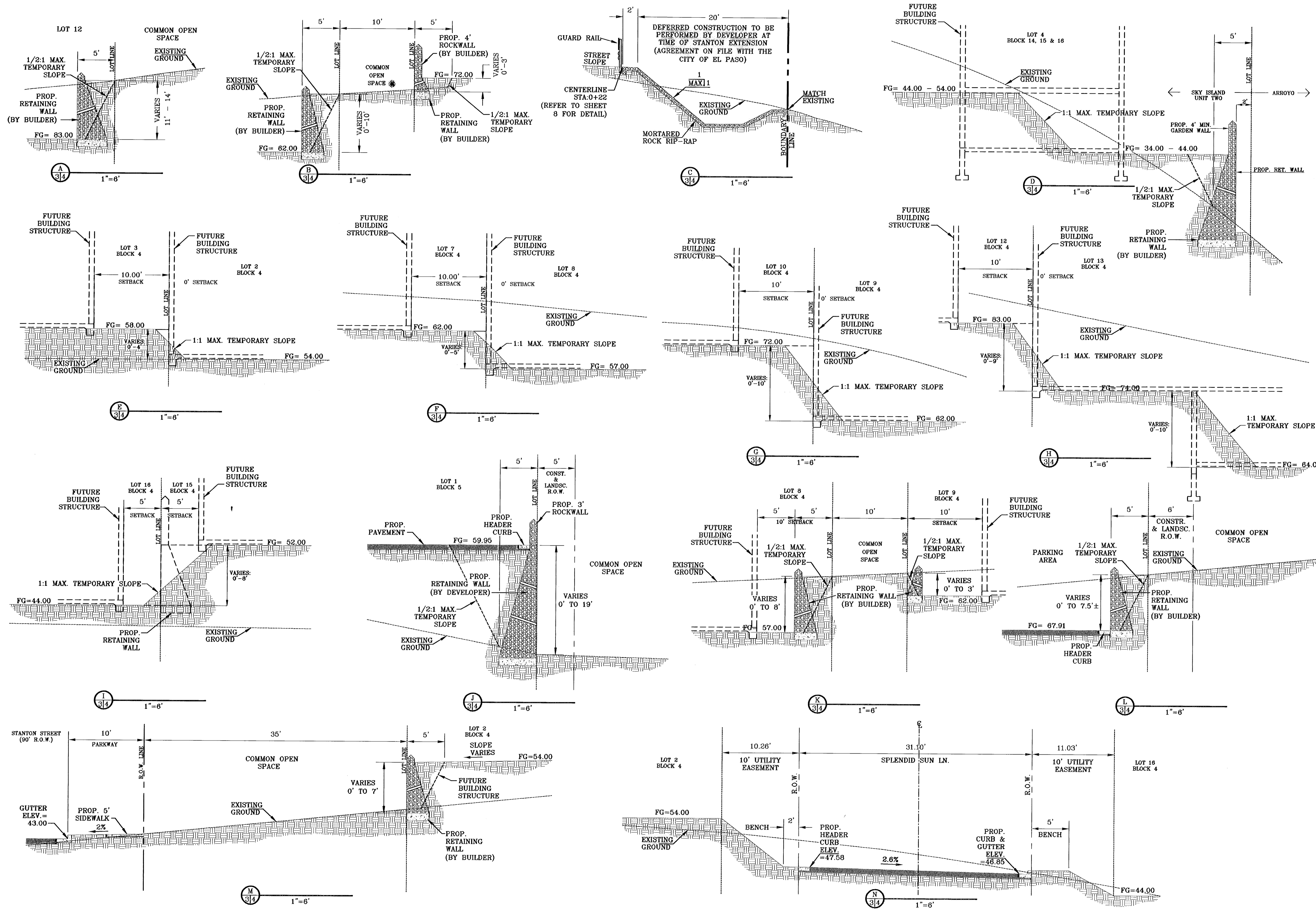
DATE: NOV 2002  
 DESIGN BY: Y.C.  
 DRAWN BY: R.O.L.  
 CHECKED BY: Y.C.  
 JOB NO.: 802-43

CONDE INC.  
 ENGINEERING / PLANNING  
 SURVEYING / GPS  
 1790 LEE TREVINO DR. SITE 400  
 EL PASO, TEXAS 79966

SHEET TITLE  
**GRADING PLAN**

SHT 3 OF 12

600704



REFERENCES - BENCHMARKS

CITY MONUMENT AT THE CENTERLINE INTERSECTION STANTON STREET AND CORAL SKY LANE	ELEVATION: 444.04	REVISIONS
DATE	BY	R.O.L.
03/29/03	1st. City Comments	R.O.L.
04/21/03	2nd. City Comments	R.O.L.
05/22/03	3rd. City Comments	R.O.L.
06/19/03	4th. City Comments	R.O.L.

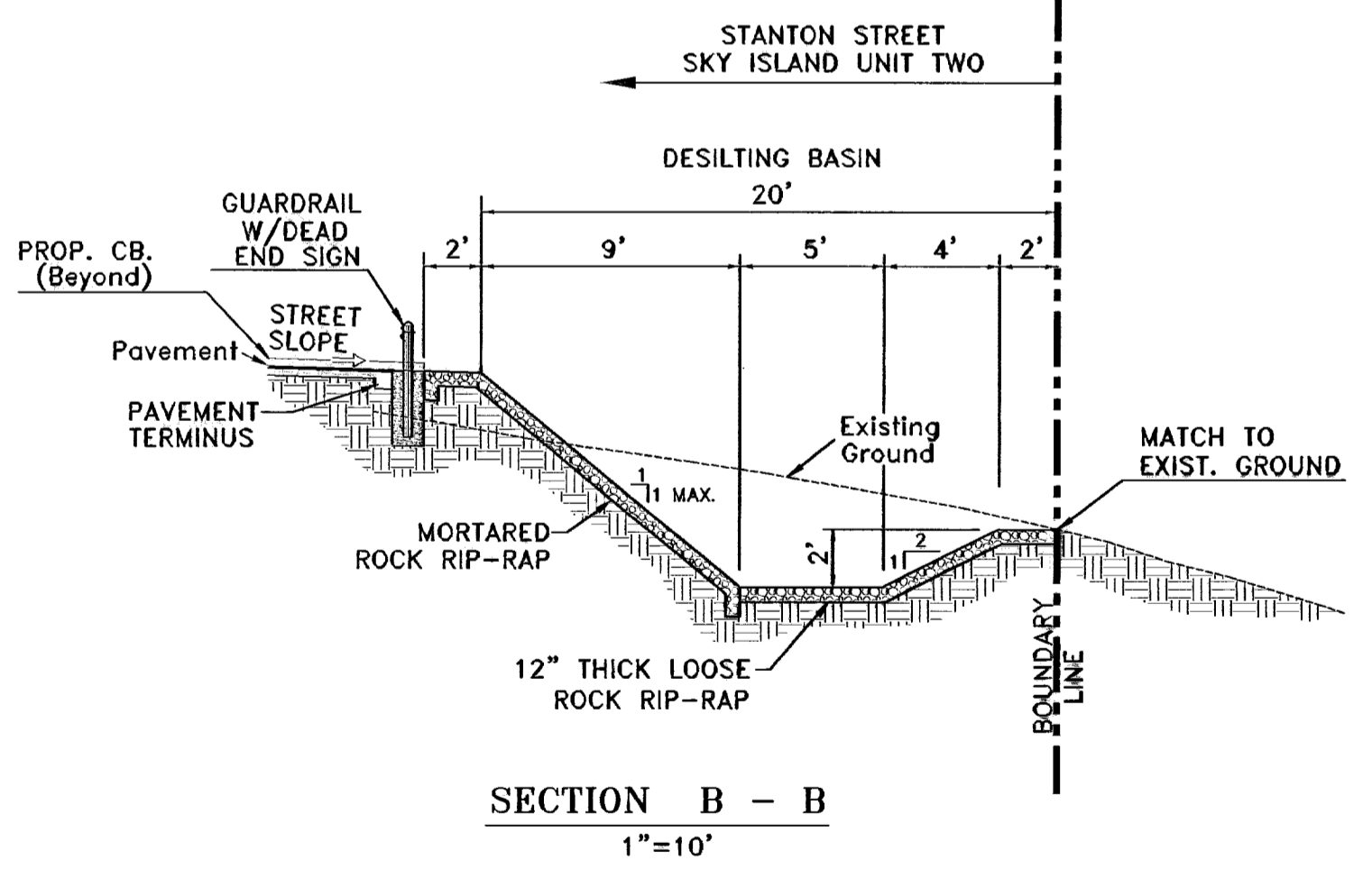
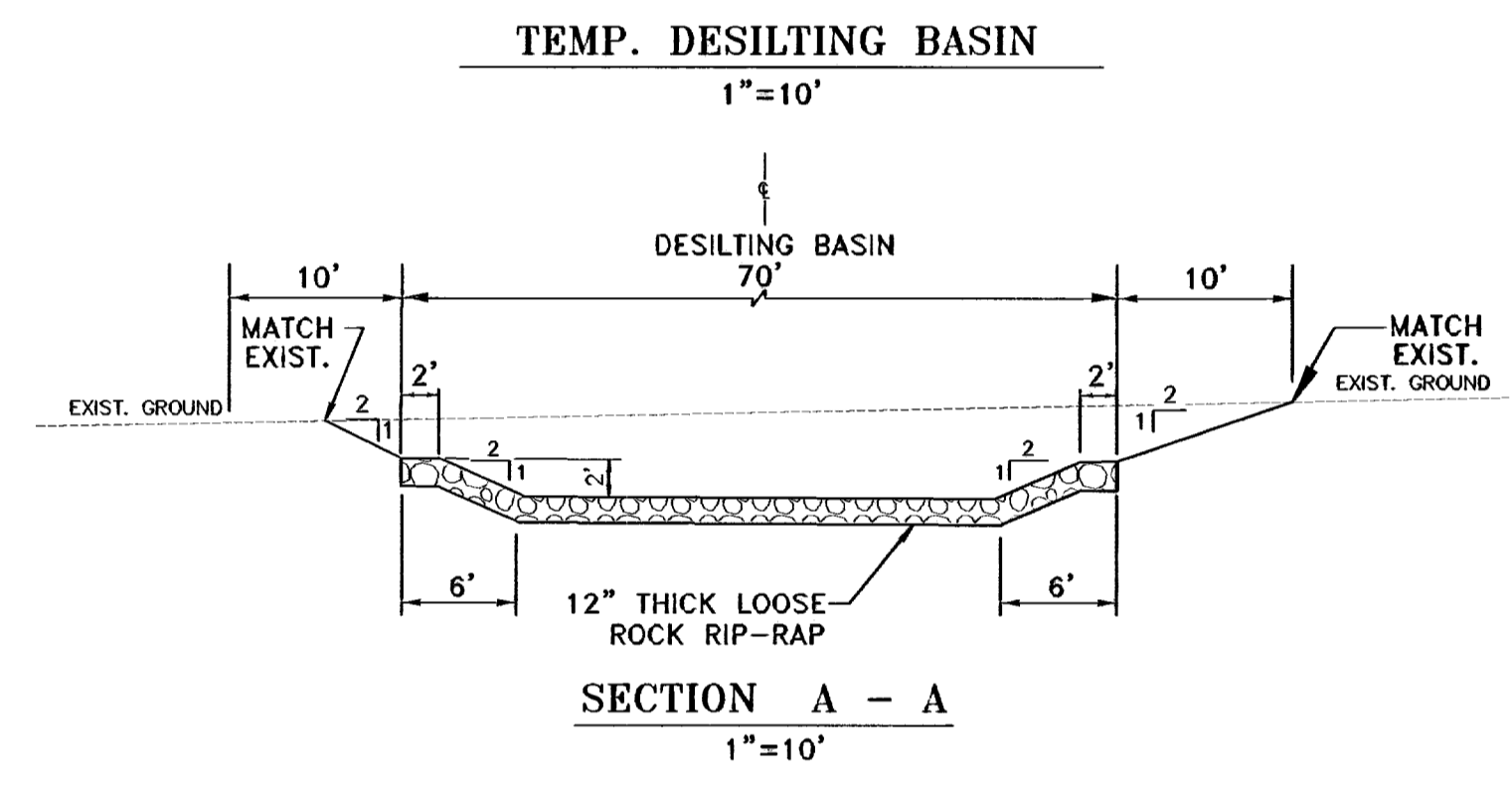
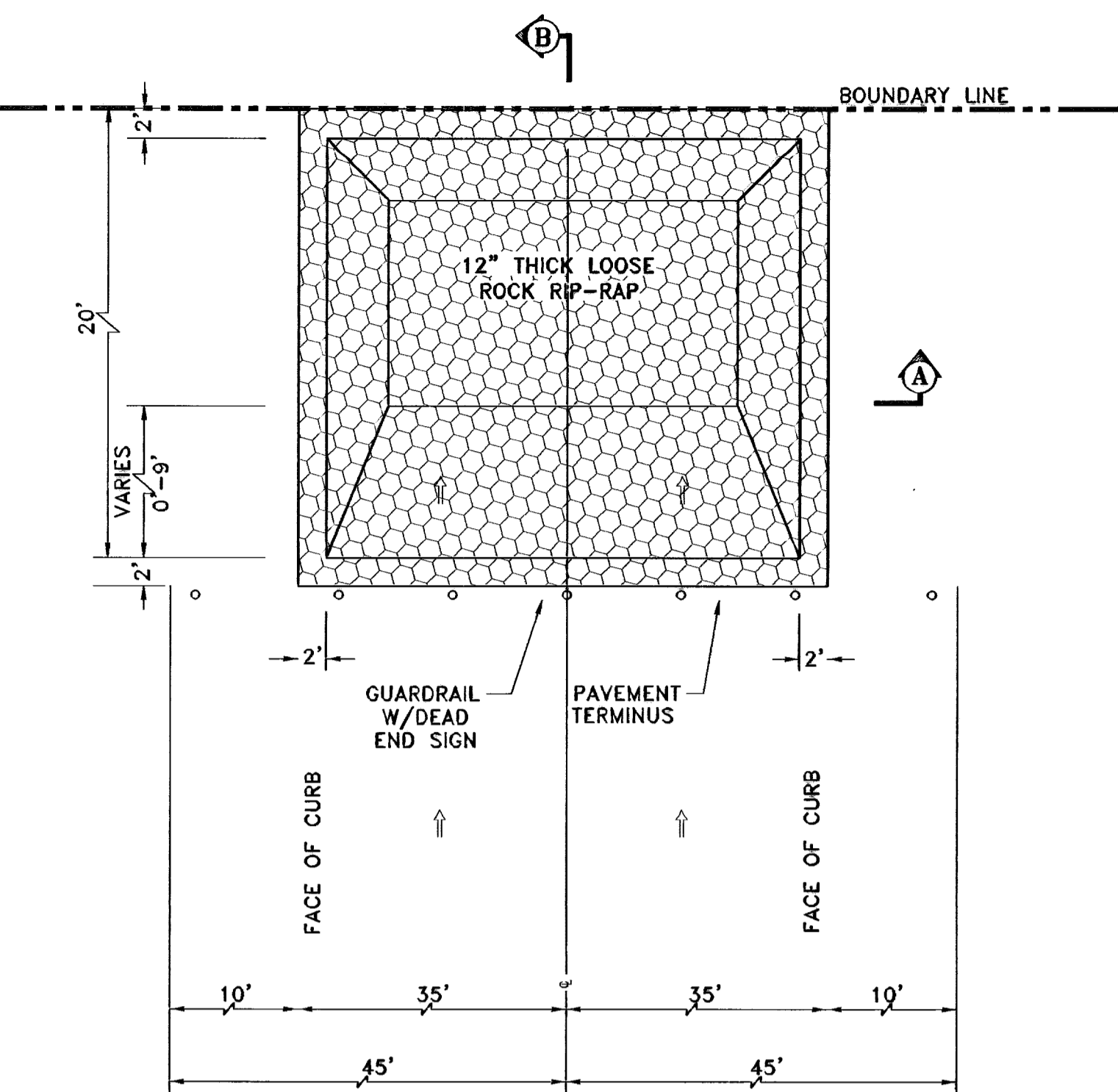
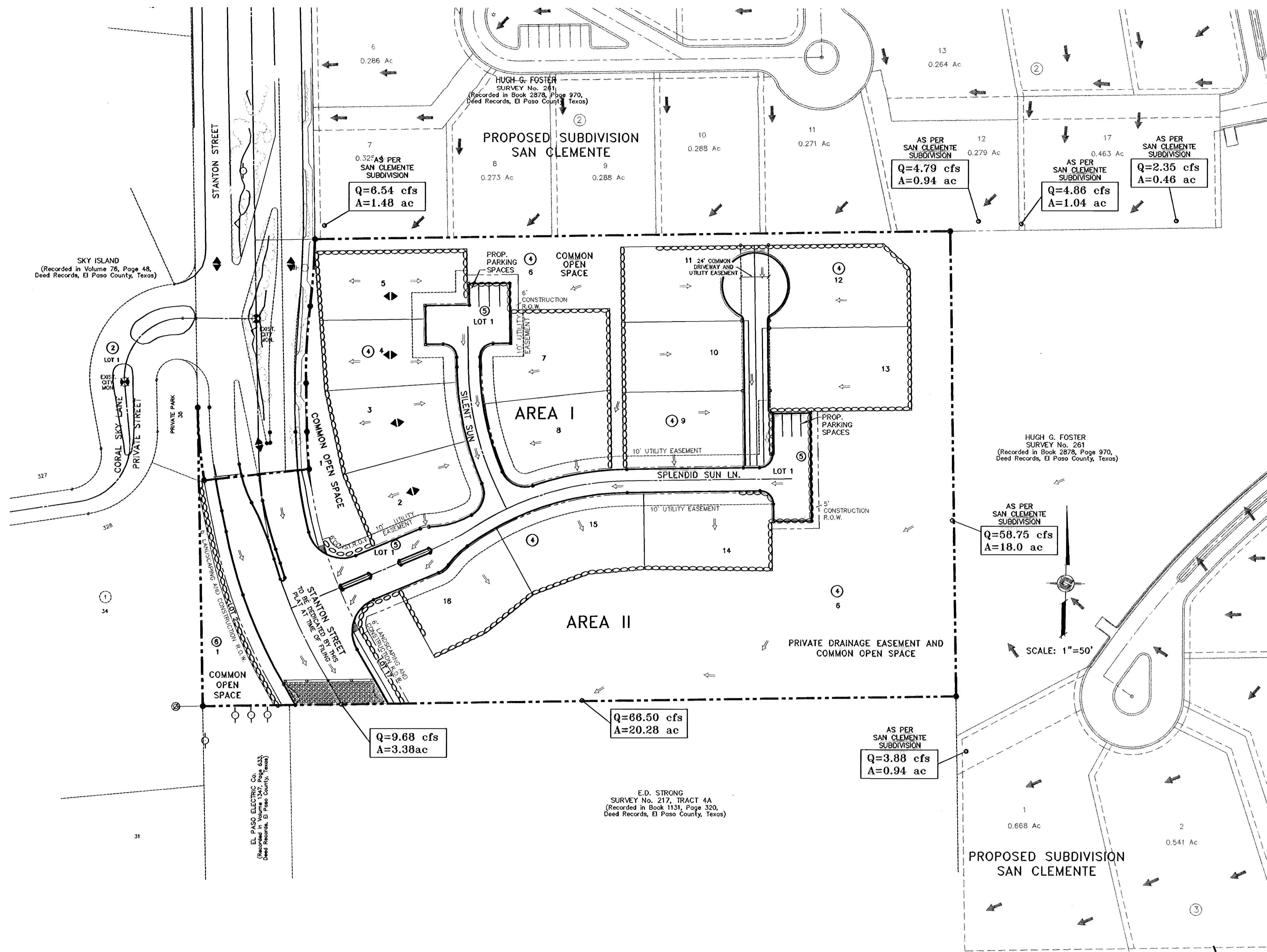
PROJECT NAME  
**SKY ISLAND UNIT TWO**  
BEING A PORTION OF H.G. FOSTER SURVEY No. 281,  
CITY OF EL PASO, EL PASO COUNTY, TEXAS  
CONTAINING: 5.653 ACRES

SCALE  
HORIZ. 1"=6'

ENGINEER'S SEAL  
CONDE INC.  
1790 LEE FREEMAN DR. STE 400  
EL PASO, TEXAS 79908

CONDE INC.  
ENGINEERING / PLANNING / SURVEYING  
1790 LEE FREEMAN DR. STE 400  
EL PASO, TEXAS 79908

SHEET TITLE  
**GRADING SECTIONS**  
SHT 4 OF 12



**LEGEND**

- DRAINAGE FLOW
- 37.45 CFS RUN-OFF QUANTITY (CUBIC Ft/Sec)
- 18.16 AC. WATERSHED AREA (ACRES)
- PROP. DRAINAGE AREA
- ▲ HIGH POINT
- ▼ LOW POINT

**NOTES:**  
 HEREON DESCRIBED TRACT LIES IN FLOOD ZONE C, COMMUNITY PANEL NO. 490 214 028C, DATED FEBRUARY 5, 1988.

DRAINAGE AREA	AREA (acres)	$t_c$ min.	$c$	$i_{50}$ in/hr	$Q_{50}$ cfs
I	3.38	24.0	0.8	3.58	9.68
II	2.28	14.0	0.8	4.25	7.75
UNDEVELOPED	18.0	20.0	0.85	3.84	58.75

**REFERENCES - BENCHMARKS**

CITY MONUMENT AT THE CENTERLINE INTERSECTION STANTON STREET AND CORAL SKY LANE  
 ELEVATION: 4444.04' CITY DATUM

BY: [Signature]  
 DATE: 03/20/03  
 1st. City Comments  
 04/21/03  
 2nd. City Comments  
 05/20/03  
 3rd. City Comments  
 06/19/03

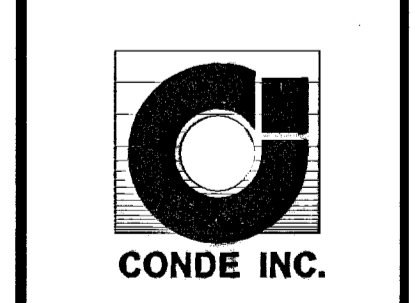
**PROJECT NAME**  
 SKY ISLAND UNIT TWO

BEING A PORTION OF H.C. FOSTER SURVEY No. 261, CITY OF EL PASO, EL PASO COUNTY, TEXAS CONTAINING 5.563 ACRES

**SCALE**  
 HORIZ. 1"=50'  
 VERT. AS SHOWN

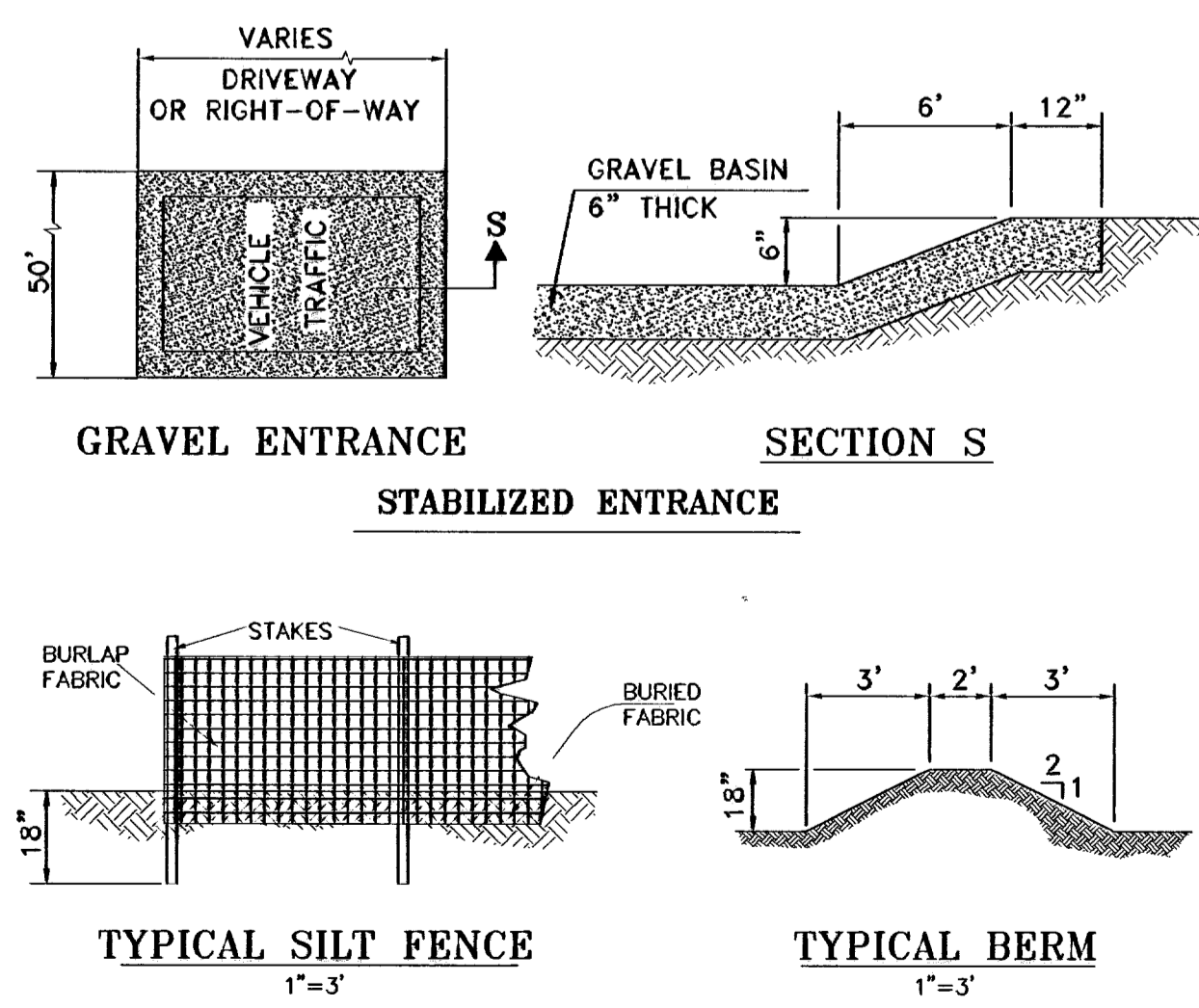
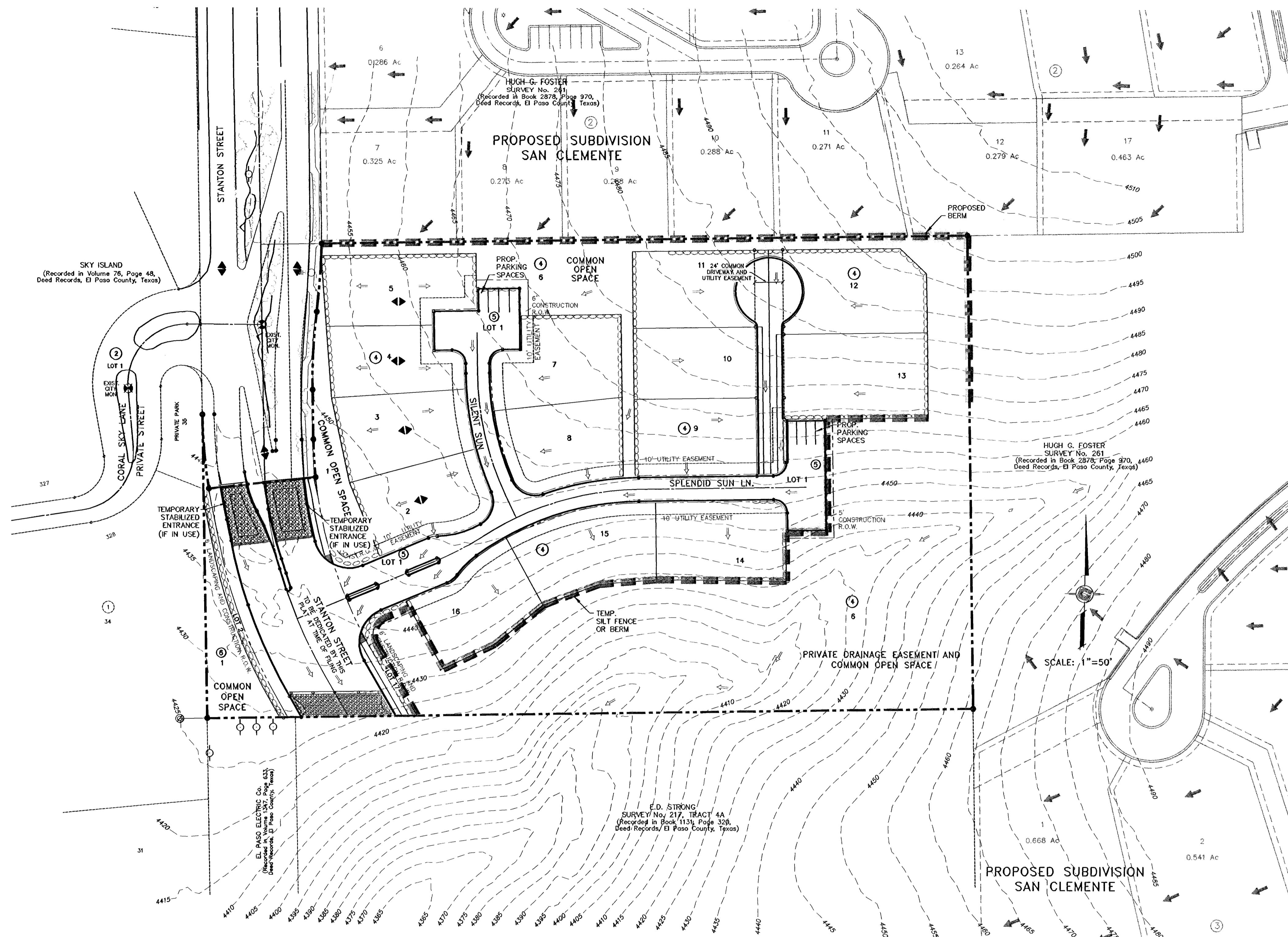
DATE: NOV 2002  
 DESIGN BY: Y.C.  
 DRAWN BY: B.O.J.  
 CHECKED BY: Y.C.  
 JOB NO.: 602-43

**CONDE INC.**  
 ENGINEERING / PLANNING  
 SURVEYING / GPS  
 1790 LIME TREEVING DR.  
 EL PASO, TEXAS 79960

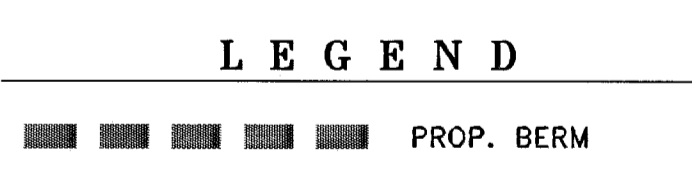


**SHEET TITLE**  
 DRAINAGE PLAN

600704



EROSION AND SEDIMENT CONTROLS  
TEMPORARY STABILIZATION



- EROSION CONTROL NOTES**
1. SILT FENCING OR TEMPORARY BERMS SHALL BE AT TIME OF CONSTRUCTION.
  2. TEMPORARY SWALES AND DESILTING BASINS WILL BE PLACED WHERE NECESSARY IN ORDER TO CONVEY STORMWATER RUN-OFF.
  3. A STABILIZED CONSTRUCTION ENTRANCE WILL BE PROVIDED TO HELP REDUCE VEHICLE TRACKING OF SEDIMENTS. THE PAVED STREET ADJACENT TO THE SITE ENTRANCE WILL BE SWEEPED WEEKLY TO REMOVE ANY EXCESS MUD, DIRT OR ROCK TRACKED FROM THE SITE.
  4. THE OWNER SHALL BE RESPONSIBLE FOR INSURING THAT ALL EROSION CONTROL METHODS ARE INSPECTED ON A MONTHLY BASIS OR AFTER EVERY ERODIBLE RAINFALL (1/2" OR MORE). ANY NECESSARY REPAIRS OR CLEANUP TO MAINTAIN THE EFFECTIVENESS OF THE EROSION CONTROL SHALL BE MADE AT THE TIME.
  5. A TEMPORARY BERM SHALL BE PROVIDED AT THE TOE OF SLOPE AND LOT LINE AT TIME OF GRADING PRIOR TO ROCKWALL CONSTRUCTION.

- BEST MANAGEMENT PRACTICES CONTROLS**
- I. WASTE MATERIALS**  
ALL WASTE MATERIALS, INCLUDING CONSTRUCTION DEBRIS, SHALL BE COLLECTED AND STORED IN A SECURELY LIDDED METAL DUMPSTER. NO CONSTRUCTION WATER MATERIAL SHALL BE BURIED ON SITE. THE TRANSIT DUMPSTER SHALL COMPLY WITH ORDINANCE 18.52.010 (ENCLOSURE AND REMOVAL OF WASTE MATERIALS DURING CONSTRUCTION). THE DUMPSTER SHALL BE EMPTIED AS NECESSARY OR AS REQUIRED BY ORDINANCE 9.04 (SOLID WASTE MANAGEMENT) AND THE TRASH SHALL BE HAULED TO A LICENSED LANDFILL.
  - II. HAZARDOUS WASTE**  
AT A MINIMUM, ANY PRODUCTS IN THE FOLLOWING CATEGORIES SHALL BE CONSIDERED HAZARDOUS: PAINT, ACIDS FOR CLEANING MASONRY SURFACES, CLEANING SOLVENTS, ASPHALT PRODUCTS, CHEMICAL ADDITIVES FOR SPILL STABILIZATIONS, CURING COMPOUNDS AND ADDITIVES. IN THE EVENT OF A SPILL WHICH MAY BE HAZARDOUS, THE CONTRACTOR SHALL TAKE IMMEDIATE ACTION AND CONTACT THE FIRE DEPT. AND TNRC.
  - III. SANITARY WASTE**  
ALL SANITARY WASTE SHALL BE COLLECTED FROM THE CONSTRUCTION PORTABLE UNITS AS NECESSARY OR AS REQUIRED, CHAPTER 18.08 (BUILDING CODE), BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR. ALL WASTE MATERIAL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
  - IV. SPILL PREVENTION**  
THE FOLLOWING PRACTICES SHALL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURES OF MATERIALS TO STORM WATER RUNOFF.
    - A. GOOD HOUSEKEEPING**
      - a. STORE ONLY ENOUGH PRODUCTS REQUIRED TO DO THE JOB
      - b. NEATLY STORE MATERIALS ON-SITE IN AN ORDERLY MANNER
      - c. KEEP PRODUCTS IN THEIR ORIGINAL CONTAINER
      - d. DO NOT MIX SUBSTANCES WITH ONE ANOTHER, UNLESS OTHERWISE RECOMMENDED BY THE MANUFACTURER.
      - e. USE ENTIRE CONTENTS OF A PRODUCT BEFORE DISPOSING OF THE CONTAINER.
      - f. FOLLOW MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL.
    - B. HAZARDOUS PRODUCTS:**  
PRACTICES USED TO REDUCE RISKS:
      - a. KEEP PRODUCTS IN THEIR ORIGINAL CONTAINER IF AT ALL POSSIBLE
      - b. RETAIN ORIGINAL LABELS, PRODUCT INFORMATION AND MATERIAL SAFETY DATA SHEETS (MSDS)
      - c. DISPOSE SURPLUS PRODUCT IN ACCORDANCE WITH MANUFACTURER'S OR LOCAL AND STATE RECOMMENDED METHODS
    - C. PETROLEUM PRODUCTS:**  
ALL ON-SITE VEHICLES SHALL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTIVE MAINTENANCE TO REDUCE THE CHANCE OF LEAKAGE. PETROLEUM PRODUCTS SHALL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED. ANY ASPHALT SUBSTANCE USED ON-SITE SHALL BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATION.
    - V. SPILL CONTROL PRACTICES:**
      - a. MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP SHALL BE CLEARLY POSTED AND SITE PERSONNEL SHALL BE MADE AWARE OF THE PROCEDURES.
      - b. MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP SHALL BE KEPT IN THE MATERIAL STORAGE AREA ON-SITE.
      - c. ALL SPILLS SHALL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY.
      - d. SPILL AREA SHALL BE WELL VENTILATED AND APPROPRIATE CLOTHING WILL BE WORN.
      - e. ANY SPILL SHALL BE REPORTED TO THE APPROPRIATE GOVERNMENTAL AGENCY.
      - f. MEASURES SHALL BE TAKEN TO PREVENT A SPILL FROM REOCCURRING
    - VI. MAINTENANCE AND INSPECTION PROCEDURES**  
ALL POLLUTION PREVENTION MEASURES SHALL BE INSPECTED AT LEAST ONCE A WEEK AND FOLLOWING A STORM EVENT OF 0.5 INCHES OR MORE. BEST MANAGEMENT PRACTICES AND POLLUTION CONTROL PROCEDURES SHALL BE INSPECTED FOR ADEQUACY. A RECORD OF THE RESULTS OF THE INSPECTIONS OF THE SITE SHALL BE KEPT ON SITE.
    - VIII. REMARKS**  
DISPOSAL AREAS, STOCKPILES, AND HAUL ROADS SHALL BE CONSTRUCTED IN A MANNER THAT WILL MINIMIZE AND CONTROL THE AMOUNT OF SEDIMENT THAT MAY ENTER RECEIVING WATERS OR STREAMBEDS. CONSTRUCTION STAGING AREAS AND VEHICLE MAINTENANCE AREAS SHALL BE CONSTRUCTED BY THE CONTRACTOR IN A MANNER TO MINIMIZE THE RUNOFF OF POLLUTANTS.

**GENERAL CONTRACTOR CERTIFICATION**

I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND THE TERMS AND CONDITIONS OF THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) GENERAL PERMIT THAT AUTHORIZES STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY FROM THE CONSTRUCTION SITE IDENTIFIED AS PART OF THIS CERTIFICATION.

SIGNED: \_\_\_\_\_ COMPANY: \_\_\_\_\_  
 NAME: \_\_\_\_\_ ADDRESS: \_\_\_\_\_  
 TITLE: \_\_\_\_\_ TELEPHONE: \_\_\_\_\_  
 DATE: \_\_\_\_\_

**OWNER CERTIFICATION**

I CERTIFY UNDER PENALTY OF LAW THAT THIS DOCUMENT AND ALL ATTACHMENTS WERE PREPARED UNDER MY DIRECTION OR SUPERVISION IN ACCORDANCE WITH A SYSTEM DESIGNED TO ASSURE THAT QUALIFIED PERSONNEL PROPERLY GATHERED AND EVALUATED THE INFORMATION SUBMITTED. BASED ON MY INQUIRY OF THE PERSON OR PERSONS WHO MANAGE THE SYSTEM, OR THOSE PERSONS DIRECTLY RESPONSIBLE FOR GATHERING THE INFORMATION, THE INFORMATION SUBMITTED IS, TO THE BEST OF MY KNOWLEDGE AND BELIEF, TRUE, ACCURATE, AND COMPLETE. I AM AWARE THAT THERE ARE SIGNIFICANT PENALTIES FOR SUBMITTING FALSE INFORMATION, INCLUDING THE POSSIBILITY OF FINE AND IMPRISONMENT FOR KNOWING VIOLATIONS.

OWNER: ( SIGNED ) \_\_\_\_\_ DATE \_\_\_\_\_  
 OWNER: ( NAME ) \_\_\_\_\_ DATE \_\_\_\_\_  
 TITLE \_\_\_\_\_ DATE \_\_\_\_\_

REFERENCES -- BENCHMARKS  
 CITY MONUMENT AT THE CENTERLINE INTERSECTION  
 STANTON STREET AND CORAL SKY LANE  
 ELEVATION: 4444.54  
 BY: R.O.L.  
 DATE: 03/20/03  
 REVISIONS

PROJECT NAME  
**SKY ISLAND UNIT TWO**  
 BEING A PORTION OF H.C. FOSTER SURVEY No. 261,  
 CITY OF EL PASO, EL PASO COUNTY, TEXAS  
 CONTAINING: 5.565 ACRES

ENGINEER'S SEAL  
 SCALE  
 HORIZ: 1"=50'  
 VERT: AS SHOWN  
 DATE: NOV 2002  
 DESIGN BY: Y.C.  
 DRAWN BY: R.O.L.  
 CHECK BY: Y.C.  
 JOB NO.: 002-43

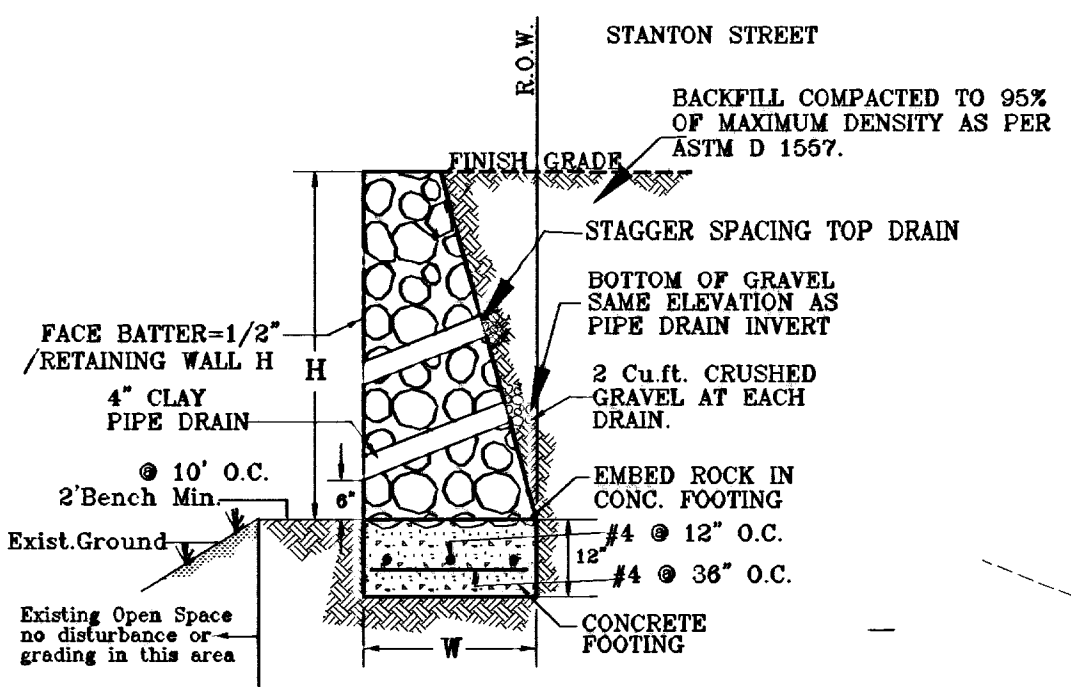
**CONDE INC.**  
 ENGINEERING / PLANNING  
 SURVEYING / GPS  
 1790 LEE TRUWING DR.  
 EL PASO, TEXAS 79906

**CONDE INC.**

SHEET TITLE  
**STORMWATER POLLUTION PREVENTION PLAN**

SHT 6 OF 12

600704



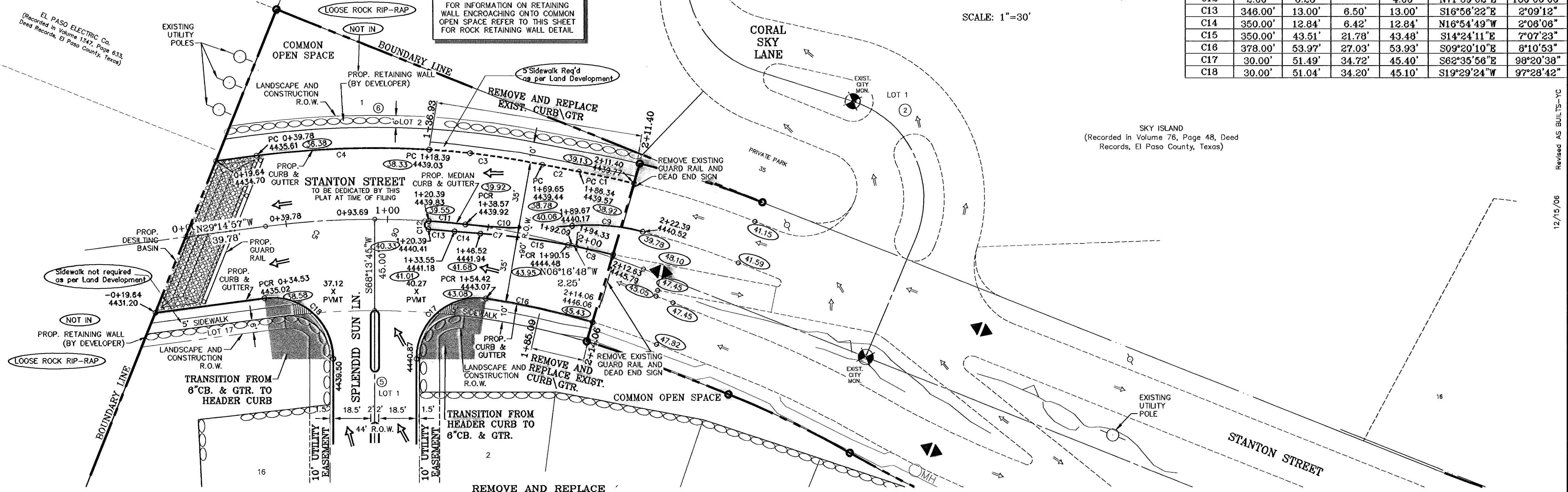
**ROCK RETAINING WALL**  
SCALE: 1" = 2'

HEIGHT H (ft.)	BASE WIDTH W (ft.)	TOE PRESSURE (lbs./s.f.)	HEEL PRESSURE (lbs./s.f.)
3'-1"	1'-6"	759.33	240.67
4'-0"	3'-2"	794.30	232.98
5'-0"	3'-8"	911.32	287.51
6'-0"	3'-8"	1010.25	368.06
7'-0"	4'-4"	1123.78	413.04

- GENERAL NOTES**
- NATURAL STONE SHALL BE SOUND AND FREE FROM LOOSE OR FRIABLE INCLUSIONS AND SHALL MEET REQUIRED STRENGTH AND DURABILITY FOR PROPOSED USE.
  - MORTAR SHALL BE ASTM C-20 - 1800 PSI MORTAR.
  - CONCRETE SHALL BE F<sub>c</sub> = 3000 PSI AT 28 DAYS.
  - REINFORCING STEEL SHALL BE ASTM A 615 GRADE 40, F<sub>y</sub> = 40,000 PSI
  - ALLOWABLE SOIL BEARING PRESSURE = 2,000 PSF MINIMUM.
  - WALL FOOTING SHALL BEAR ON FIRM UNDISTURBED OR COMPACTED GROUND (95% COMPACTION AS PER ASTM D1557).
  - CHANGES IN ALL DIRECTION, WALL HEIGHT OR FOOTING ELEVATION WILL REQUIRE ADDITIONAL DESIGN.
  - BACKFILL MATERIAL SHALL CONSIST OF WELL-DRAINED, COARSE GRAINED SOILS, OR FINE SILTY SANDS WITH NO CLAY CONTENT. BACKFILL MATERIAL SHALL EXERT A HORIZONTAL FORCE OF AN EQUIVALENT FLUID PRESSURE NOT TO EXCEED 30#/ft.
  - SOILS BENEATH AND BEHIND WALL SHALL NOT HAVE A PLASTICITY INDEX GREATER THAN 10.

○ DENOTES AS BUILT CONDITION ONLY

FOR INFORMATION ON RETAINING WALL ENCROACHING ONTO COMMON OPEN SPACE REFER TO THIS SHEET FOR ROCK RETAINING WALL DETAIL



**CURVE TABLE**

CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C1	437.00'	27.68'	13.85'	27.68'	S10°12'13"E	3°37'47"
C2	510.00'	18.39'	9.19'	18.39'	N10°59'08"W	2°03'57"
C3	385.00'	58.38'	28.24'	56.33'	S14°08'53"W	8°23'27"
C4	448.00'	85.27'	42.77'	85.14'	S23°47'47"E	10°54'20"
C5	413.00'	53.90'	26.99'	53.87'	S25°30'36"E	7°28'42"
C6	413.00'	24.70'	12.36'	24.70'	S20°03'26"E	3°25'38"
C8	330.00'	18.35'	9.18'	18.35'	S04°41'12"E	3°11'11"
C9	100.00'	35.00'	17.68'	34.82'	S17°05'02"E	20°03'13"
C10	250.00'	52.67'	26.43'	52.57'	N21°04'31"W	12°04'15"
C11	350.00'	18.18'	9.09'	18.18'	S16°31'41"E	2°58'34"
C12	2.00'	6.28'	-	4.00'	N71°59'09"E	180°00'00"
C13	348.00'	13.00'	6.50'	13.00'	S16°58'22"E	2°09'12"
C14	350.00'	12.84'	6.42'	12.84'	N16°54'49"W	2°08'08"
C15	350.00'	43.51'	21.76'	43.48'	S14°24'11"E	7°07'23"
C16	378.00'	53.97'	27.03'	53.93'	S09°20'10"E	8°10'53"
C17	30.00'	51.49'	34.72'	45.40'	S62°35'56"E	98°20'38"
C18	30.00'	51.04'	34.20'	45.10'	S19°29'24"W	97°28'42"

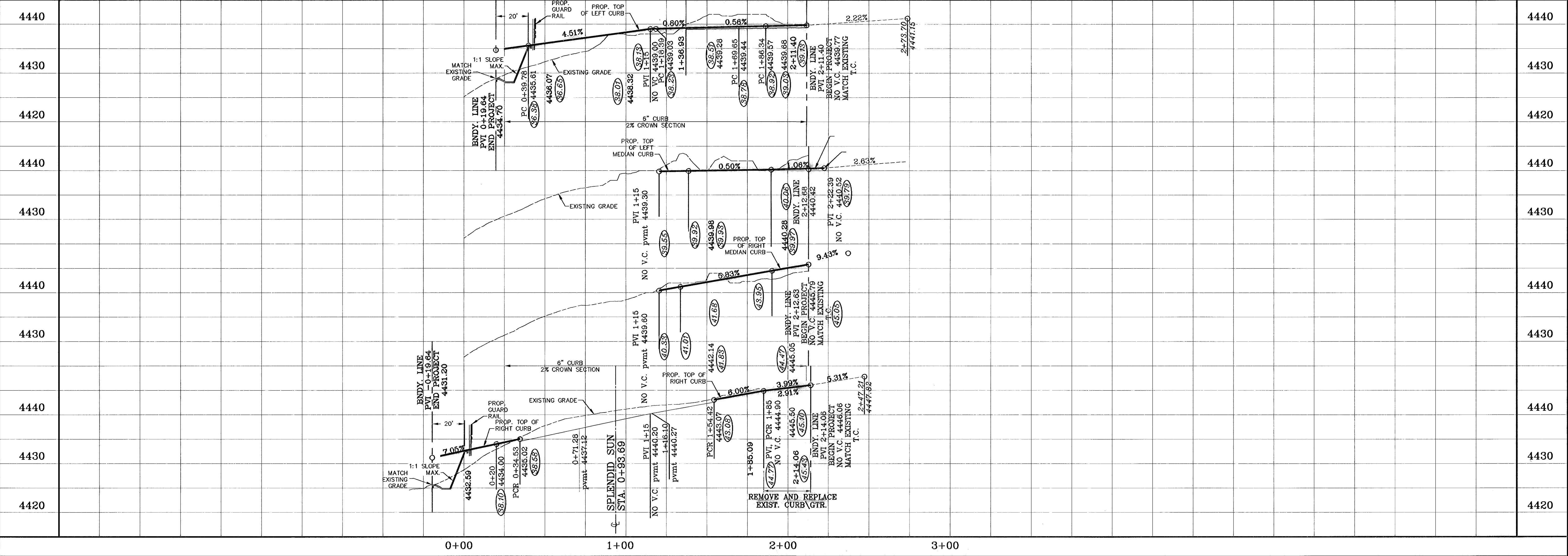
SCALE: 1" = 30'

SKY ISLAND  
(Recorded in Volume 78, Page 48, Deed Records, El Paso County, Texas)

**REFERENCES - BENCHMARKS**

PROJECT NAME	DATE	BY	REVISIONS
SKY ISLAND UNIT TWO	12/15/06	AS BUILT'S-YC	

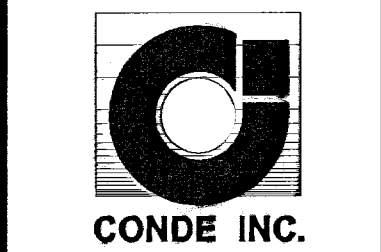
**SKY ISLAND UNIT TWO**  
BEING A PORTION OF H.C. FOSTER SURVEY NO. 261, CITY OF EL PASO, EL PASO COUNTY, TEXAS  
CONTAINING: 5.563 AC.



**SCALE**  
HORIZ. 1"=50'  
VERT. 1"=10'

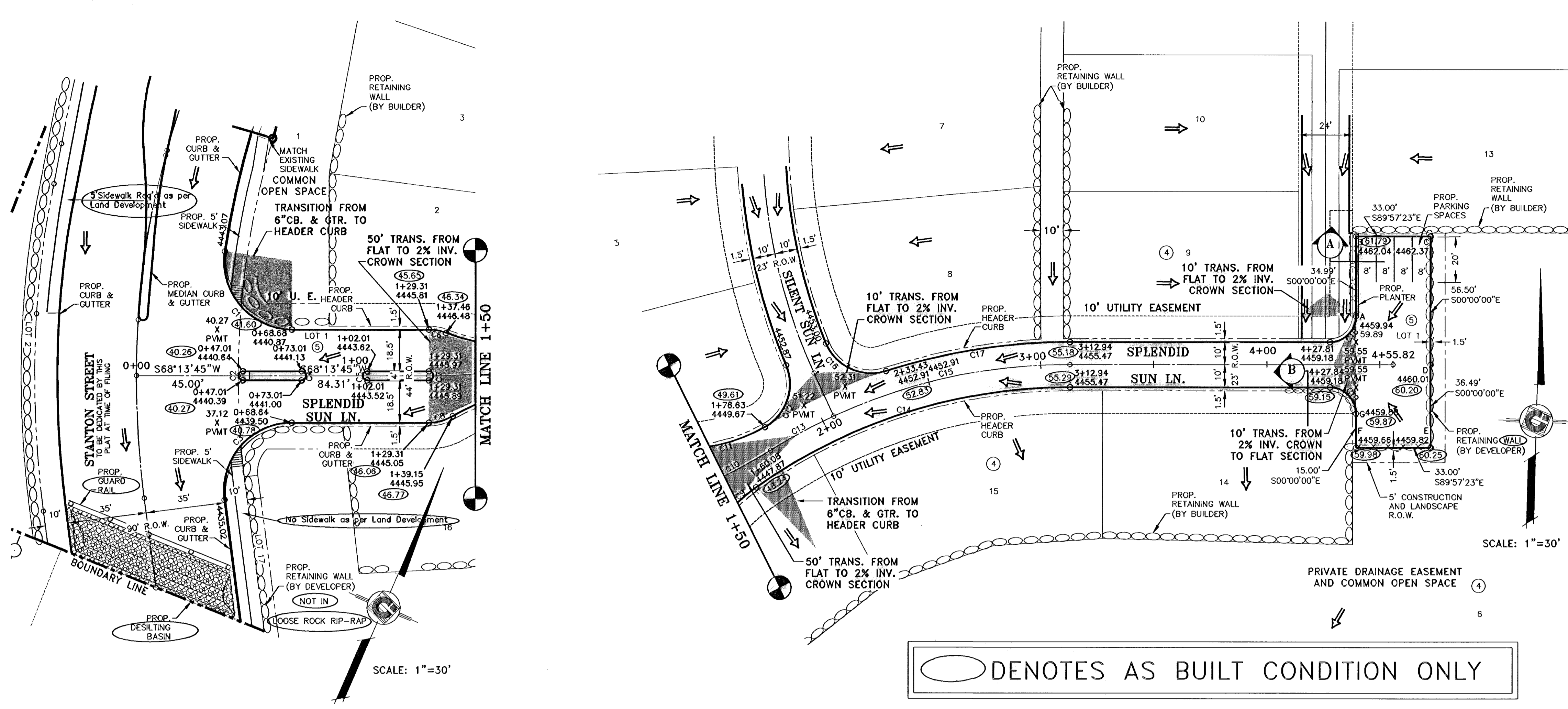
DATE: NOV. 2002  
DESIGN BY: Y.C.  
DRAWN BY: R.G.J.  
CHKD. BY: Y.C.  
JOB NO.: 801-21

**CONDE INC.**  
ENGINEERING / PLANNING  
SURVEYING / GPS  
1790 LEE TRAVING DR. STE 400  
EL PASO, TEXAS 79968

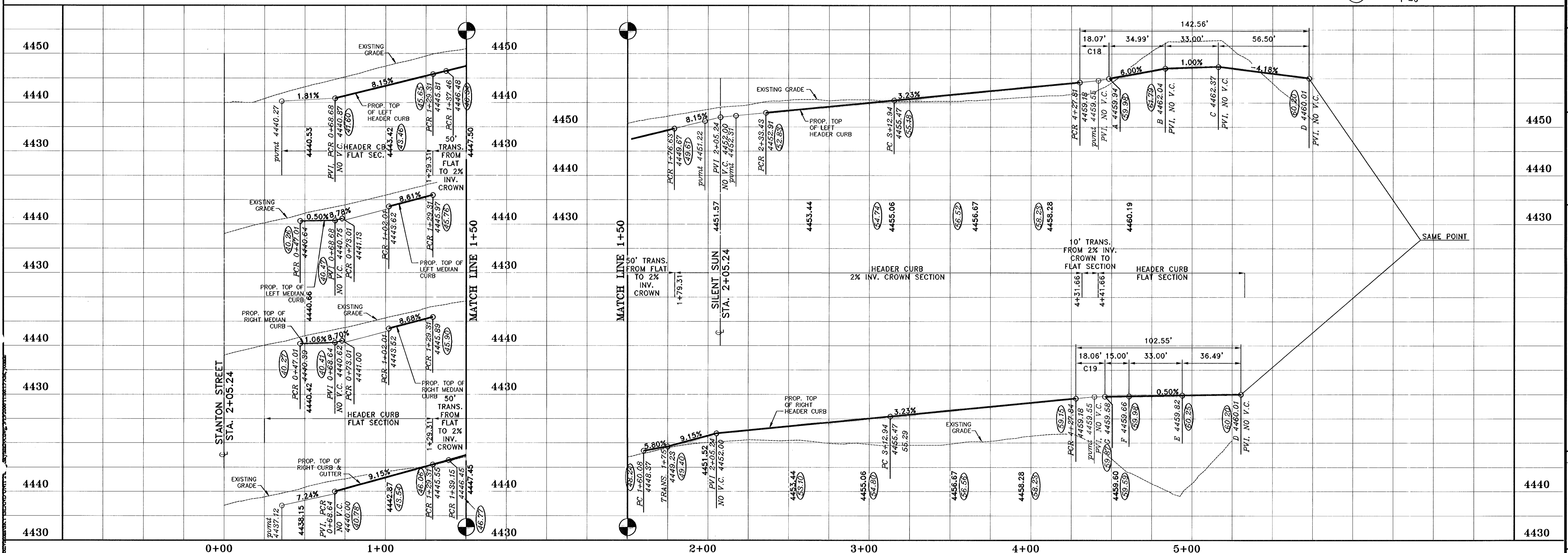
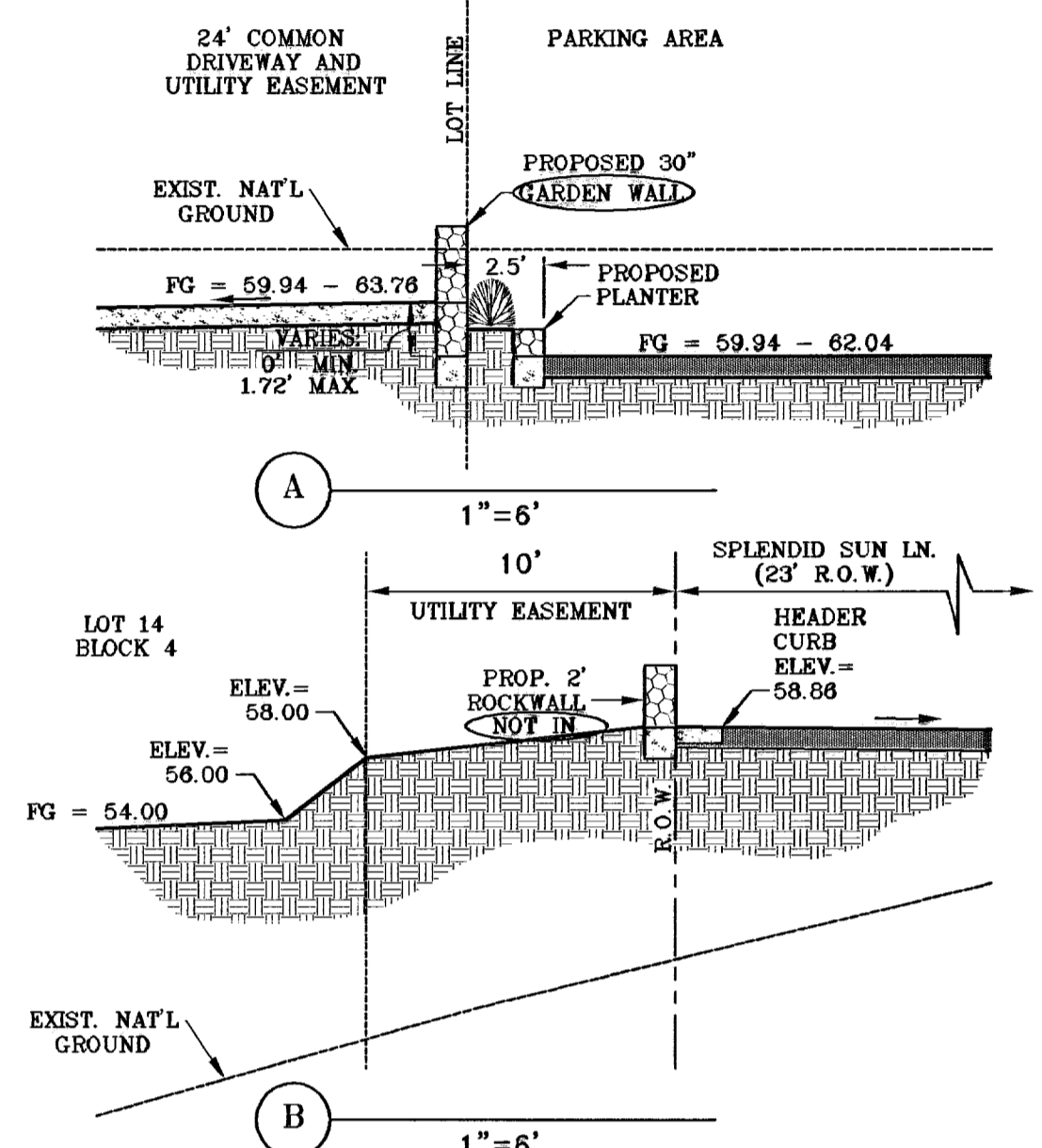


SHEET TITLE  
**STANTON STREET**

P:\Subdivision\SKY ISLAND UNIT Two\1-13-2005-SkyIslandComp\_3152006\_112221.dwg



CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C1	30.00'	51.49'	34.72'	45.40'	S62°35'56"E	98°20'38"
C2	2.00'	6.28'	-	4.00'	S21°46'15"W	180°00'00"
C3	30.00'	51.04'	34.20'	45.10'	S19°29'24"W	97°28'42"
C4	2.00'	6.28'	-	4.00'	N21°46'15"W	180°00'00"
C5	2.00'	6.28'	-	4.00'	S21°46'15"W	180°00'00"
C6	20.50'	7.72'	3.90'	7.67'	S79°00'46"W	21°34'02"
C7	2.00'	6.28'	-	4.00'	N21°46'15"W	180°00'00"
C8	20.50'	11.07'	5.67'	10.93'	N52°45'50"E	30°55'50"
C9	76.50'	23.29'	11.74'	23.20'	S46°01'13"W	17°26'36"
C10	250.00'	44.23'	22.17'	44.17'	N63°09'41"E	10°08'09"
C11	76.50'	38.57'	19.70'	38.16'	N75°21'11"E	28°53'13"
C12	21.50'	31.42'	19.26'	28.70'	N19°02'51"E	83°43'25"
C13	250.00'	31.70'	15.87'	31.68'	S61°43'35"W	7°15'56"
C14	240.00'	147.87'	76.37'	145.54'	S72°23'34"W	35°18'06"
C15	250.00'	107.71'	54.70'	106.88'	S77°42'05"W	24°41'04"
C16	21.50'	32.22'	20.01'	29.29'	S65°14'29"E	85°52'30"
C17	260.00'	82.69'	41.70'	82.34'	S80°55'57"W	18°13'21"
C18	11.50'	18.07'	11.51'	16.27'	N45°01'18"E	90°02'57"
C19	11.50'	18.06'	11.49'	16.26'	N44°58'41"W	89°57'23"



REFERENCES - BENCHMARKS

CITY MONUMENT AT THE CENTERLINE INTERSECTION  
STANTON STREET AND CORAL SKY LANE  
ELEVATION: 4444.54  
REVISIONS

DATE	BY	REVISIONS
03/27/03	1st. City Comments	
04/21/03	1st. City Comments	
05/20/03	2nd. City Comments	
06/19/03	3rd. City Comments	
11/09/2005	AS BUILT'S	
12/15/06	Revised AS BUILT'S	

PROJECT NAME  
**SKY ISLAND UNIT TWO**

BEING A PORTION OF H.C. FOSTER SURVEY No. 261, CITY OF EL PASO, EL PASO COUNTY, TEXAS  
CONTAINING: 5.553 AC.

ENGINEER'S SEAL

SCALE  
HORIZ. 1"=30'  
VERT. 1"=10'

DATE: NOV 2002  
DESIGN BY: Y.C.  
DRAWN BY: R.O.I.  
CHECKED BY: Y.C.  
JOB NO.: 801-21

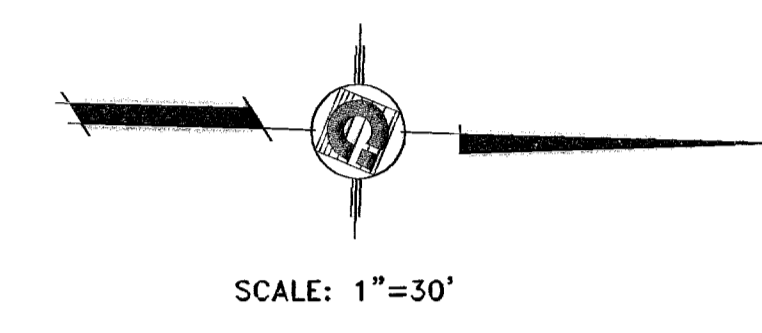
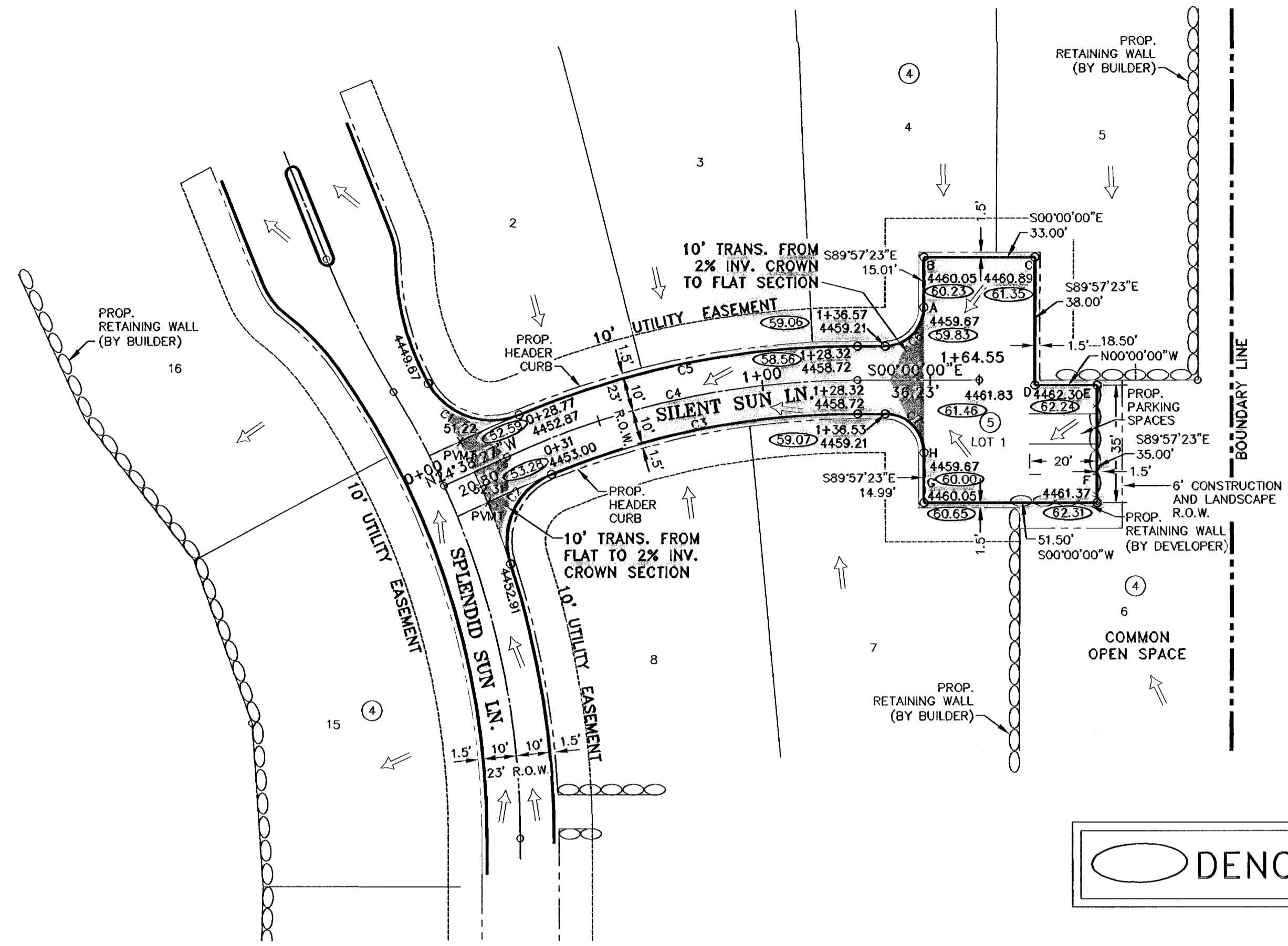
**CONDE INC.**  
ENGINEERING / PLANNING  
SURVEYING / GPS  
1790 LEE TRAVING DR. STE. 400  
EL PASO, TEXAS 79958

SHEET TITLE  
**SPLENDID SUN**

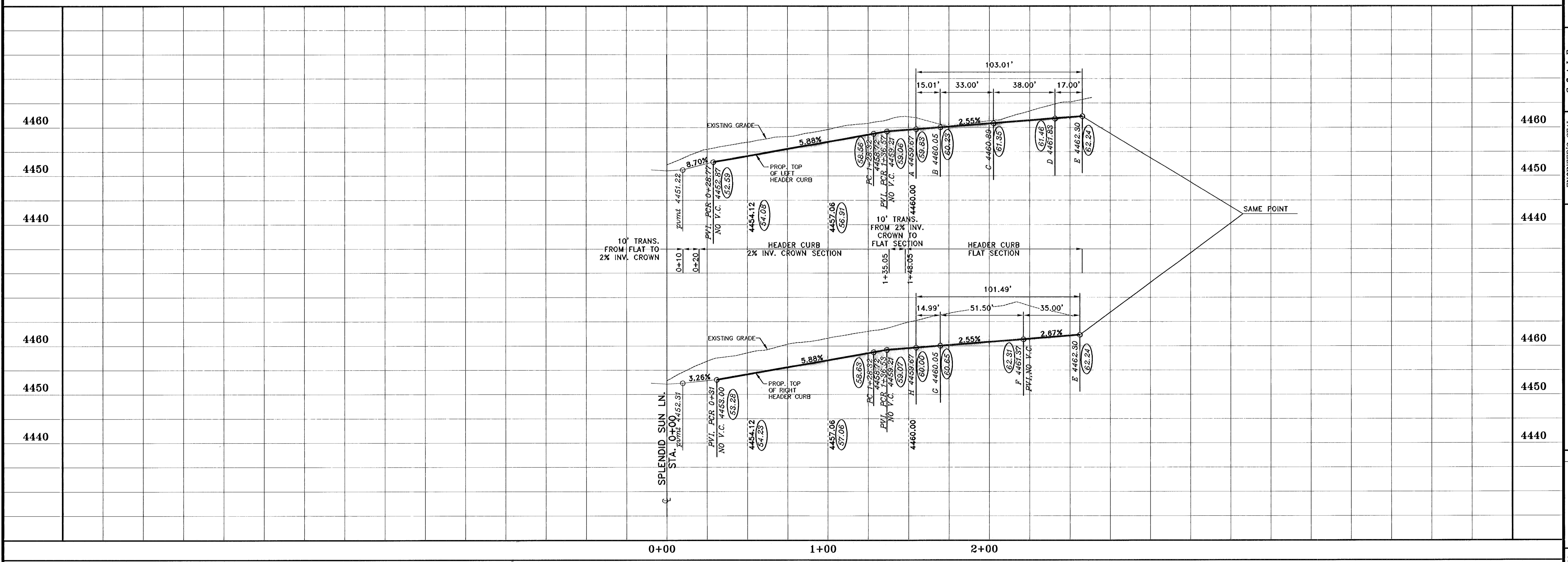
SHT 8 OF 12



CURVE TABLE						
CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C1	21.50'	31.42'	19.26'	28.70'	N19°02'51"E	83°43'25"
C2	21.50'	32.22'	20.01'	29.29'	S65°14'29"E	85°52'30"
C3	240.00'	93.43'	47.31'	92.84'	S11°09'07"E	22°18'14"
C4	250.00'	107.52'	54.60'	106.69'	S12°19'14"E	24°38'27"
C5	260.00'	103.53'	52.46'	102.85'	S11°24'26"E	22°48'51"
C6	11.50'	18.06'	11.49'	16.26'	N44°58'42"W	89°57'23"
C7	11.50'	18.07'	11.51'	16.27'	S45°01'18"W	90°02'37"



○ DENOTES AS BUILT CONDITION ONLY



REFERENCES -- BENCHMARKS  
CITY MOUNTAIN AT THE CENTRAL INTERSECTION  
STANTON STREET AND CORAL SKY LANE (CITY DATUM)  
ELEVATION: 4444.54

DATE	BY	R.O.I.
03/20/03	1st. Client Comments	R.O.I.
04/21/03	1st. City Comments	R.O.I.
05/20/03	2nd. City Comments	R.O.I.
06/19/03	3rd. City Comments	R.O.I.
11/05/2003	AS BUILT	N.M.

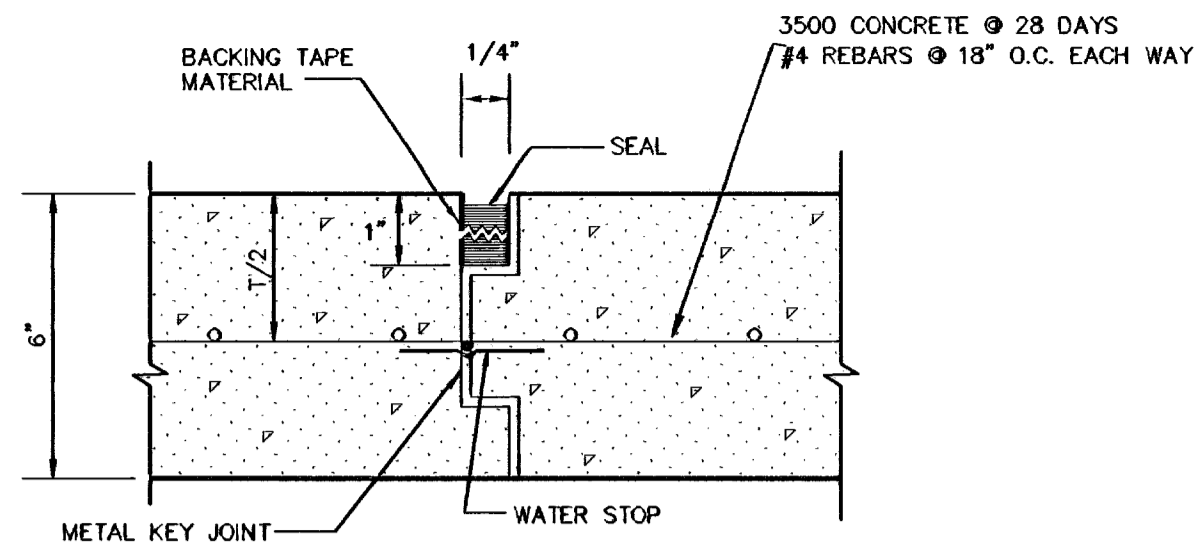
PROJECT NAME  
**SKY ISLAND UNIT TWO**  
BEING A PORTION OF H.C. POSTER SURVEY No. 261, CITY OF EL PASO, EL PASO COUNTY, TEXAS  
CONTAINING: 5.653 AC.

ENGINEER'S SEAL  
SCALE  
HORIZ. 1"=50'  
VERT. 1"=10'  
DATE: NOV 2002  
DESIGN BY: Y.C.  
DRAWN BY: R.O.I.  
CHKD. BY: Y.C.  
JOB NO.: 801-521

**CONDE INC.**  
ENGINEERING / PLANNING  
SURVEYING / GPS  
1790 LEE SPRING DR  
EL PASO, TEXAS 79906

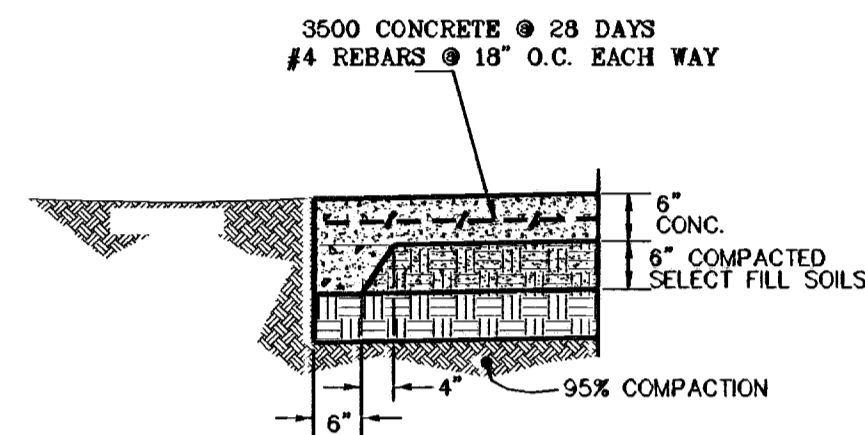
SHEET TITLE  
**SILENT SUN**  
SHT 9 OF 12

600704



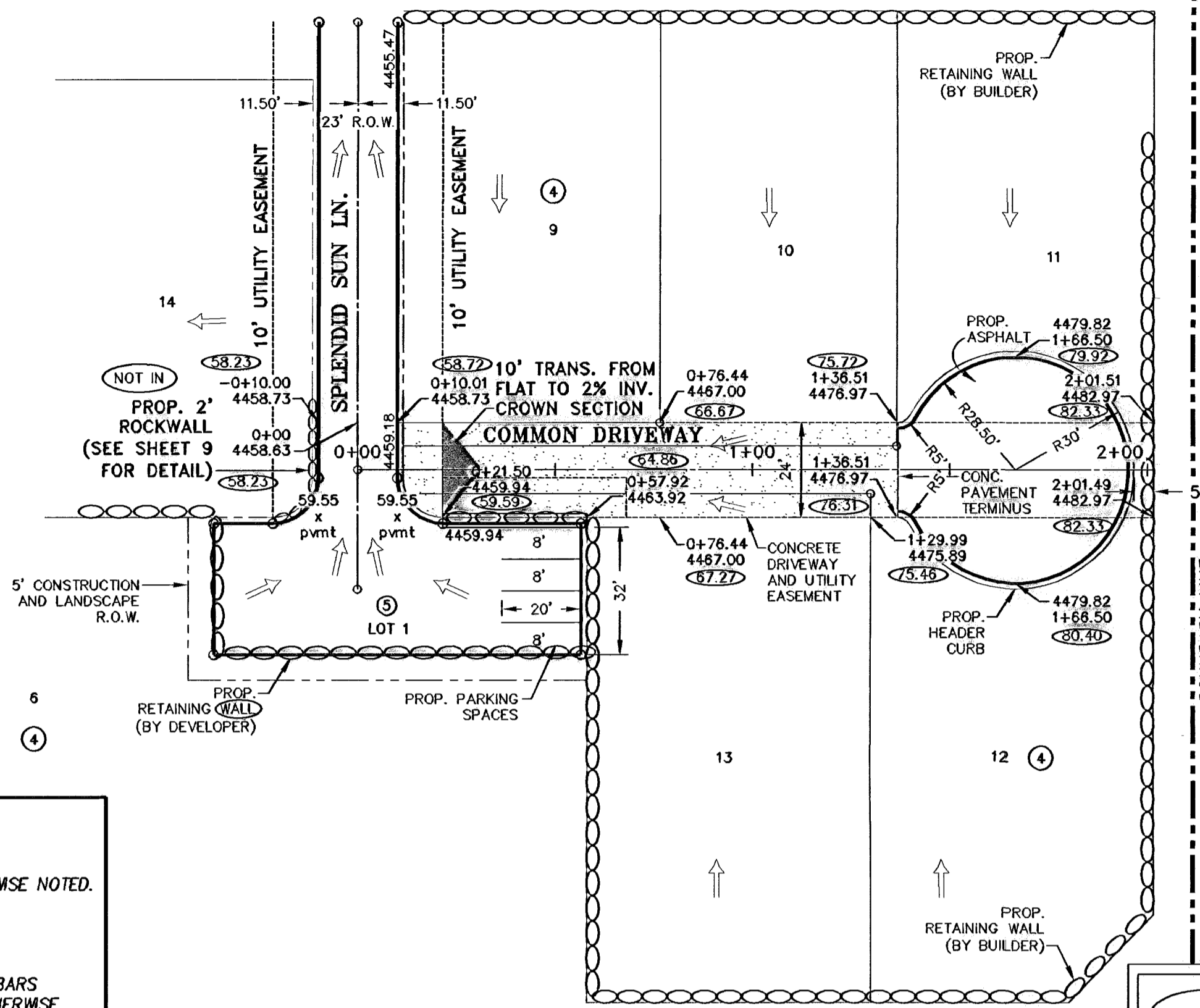
**CONSTRUCTION JOINT**  
SCALE: 1"=1"

NOTE:  
CONSTRUCTION JOINTS ARE REQUIRED AT END OF DAYS PAVING OPERATION, OR WHERE PLACING OF CONCRETE IS DISCONTINUED A SUFFICIENT TIME FOR CONCRETE TO SET

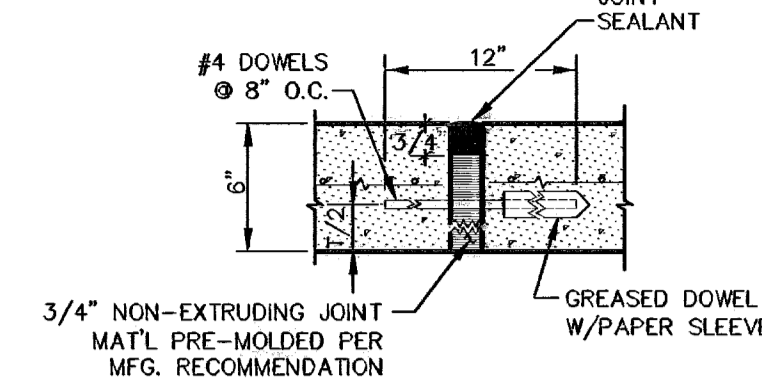


**TYPICAL CONCRETE PAVEMENT TERMINUS**  
SCALE: 1"=2"

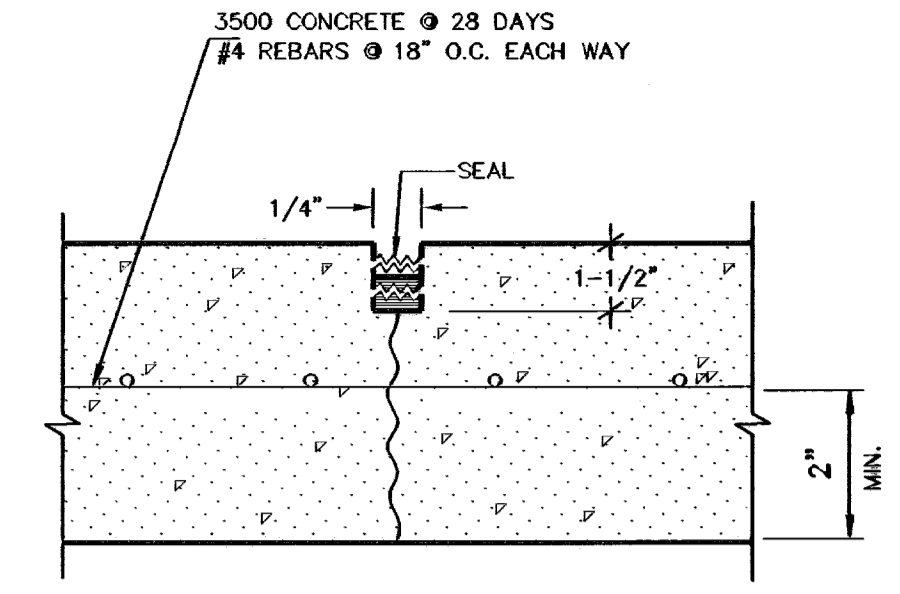
- NOTE:
1. ALL CONCRETE FOR STRUCTURES SHALL BE 3000 PSI. UNLESS OTHERWISE NOTED.
  2. MINIMUM COVER FOR REINFORCING STEEL SHALL BE 2".
  3. REINFORCING STEEL SHALL BE #4 BARS AT 8" O.C. GRADE 60. UNLESS OTHERWISE NOTED.
  4. 95% COMPACTION REQUIRED FOR STRUCTURES.



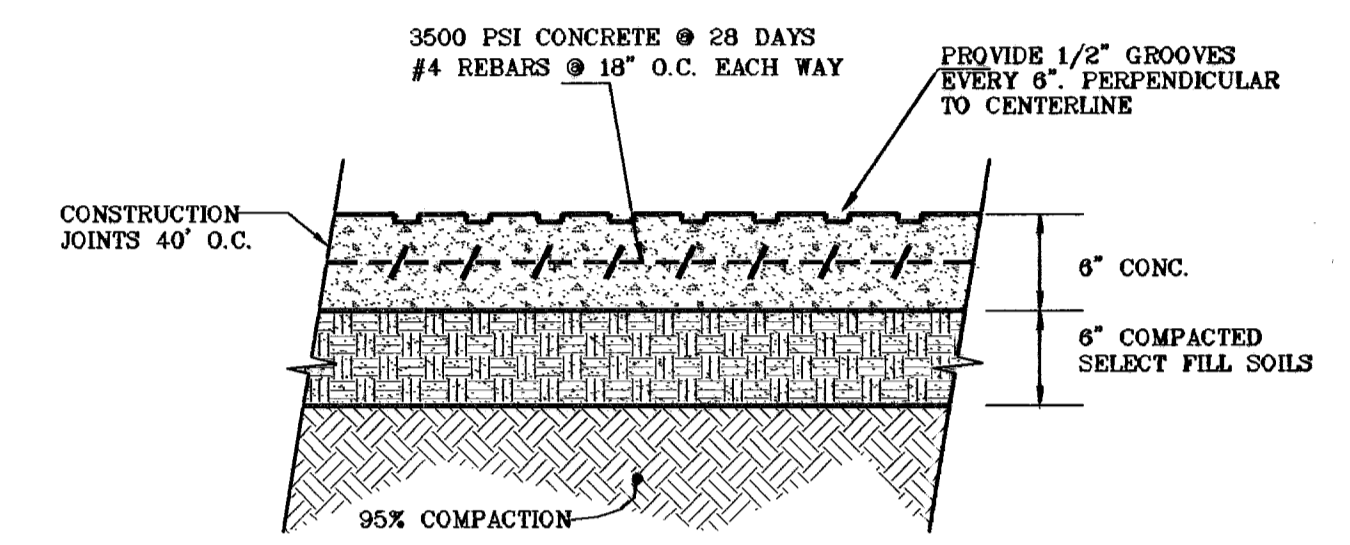
○ DENOTES AS BUILT CONDITION ONLY



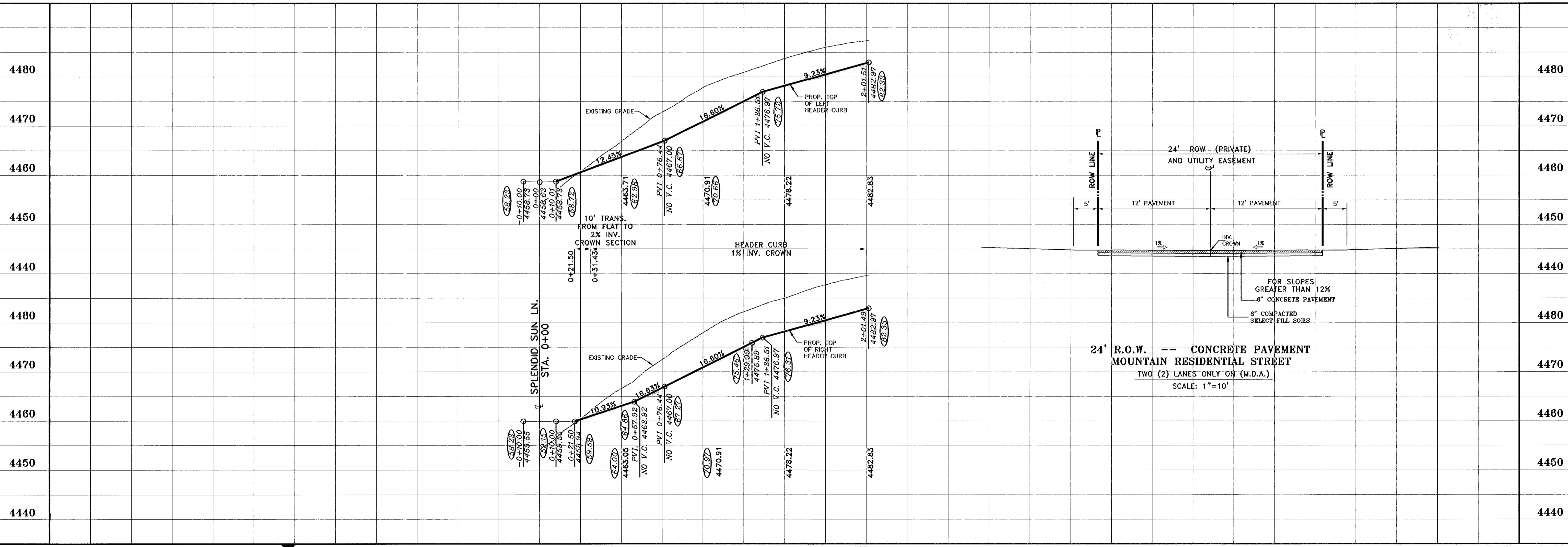
**EXPANSION JOINT AT 60" O.C.**  
SCALE: 1"=1"



**CRACK CONTROL JOINT AT 10" O.C. --- BOTH WAYS**  
SCALE: 1"=1"



**6" CONCRETE PAVEMENT SECTION**  
SCALE: 1"=1"



**24' R.O.W. --- CONCRETE PAVEMENT MOUNTAIN RESIDENTIAL STREET TWO (2) LANES ONLY ON (M.D.A.)**  
SCALE: 1"=10'

REFERENCES --- BENCHMARKS  
CITY MONUMENT AT THE CENTRAL INTERSECTION  
STANTON STREET AND CORAL SKY LANE  
ELEVATION: 4444.54  
REVISIONS

DATE	BY	REVISIONS
03/20/03	R.O.L.	1st. Client Comments
04/27/03	R.O.L.	1st. City Comments
05/20/03	R.O.L.	2nd. City Comments
06/19/03	R.O.L.	3rd. City Comments
10/29/05	AS	AS BUILTS

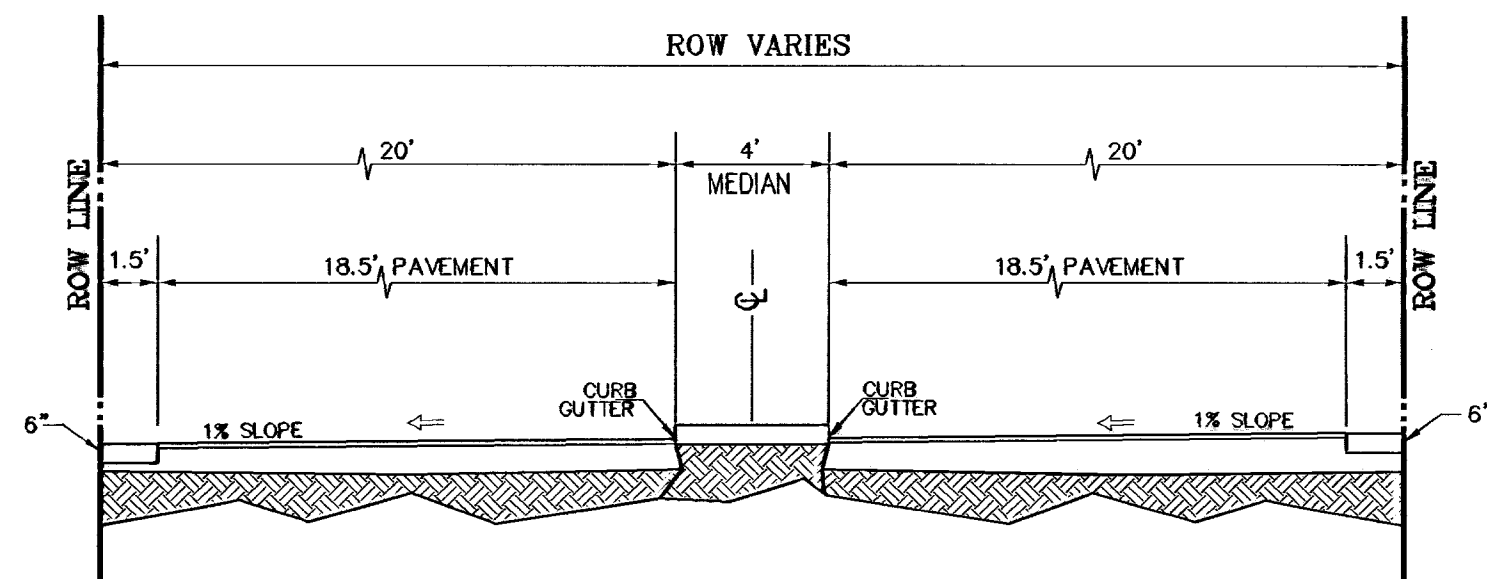
PROJECT NAME  
**SKY ISLAND UNIT TWO**  
BEING A PORTION OF H.G. FOSTER SURVEY No. 261, CITY OF EL PASO, EL PASO COUNTY, TEXAS  
CONTAINING: 5.653 AC.

ENGINEER'S SEAL  
SCALE  
HORIZ: 1"=30'  
VERT: 1"=5'  
DATE: NOV 2002  
DESIGN BY: Y.C.  
DRAWN BY: R.O.L.  
CHECK BY: Y.C.  
JOB NO.: 601-21

**CONDE INC.**  
ENGINEERING / PLANNING  
SURVEYING / GPS  
1794 LINDSEY DRIVE  
EL PASO, TEXAS 79906 400

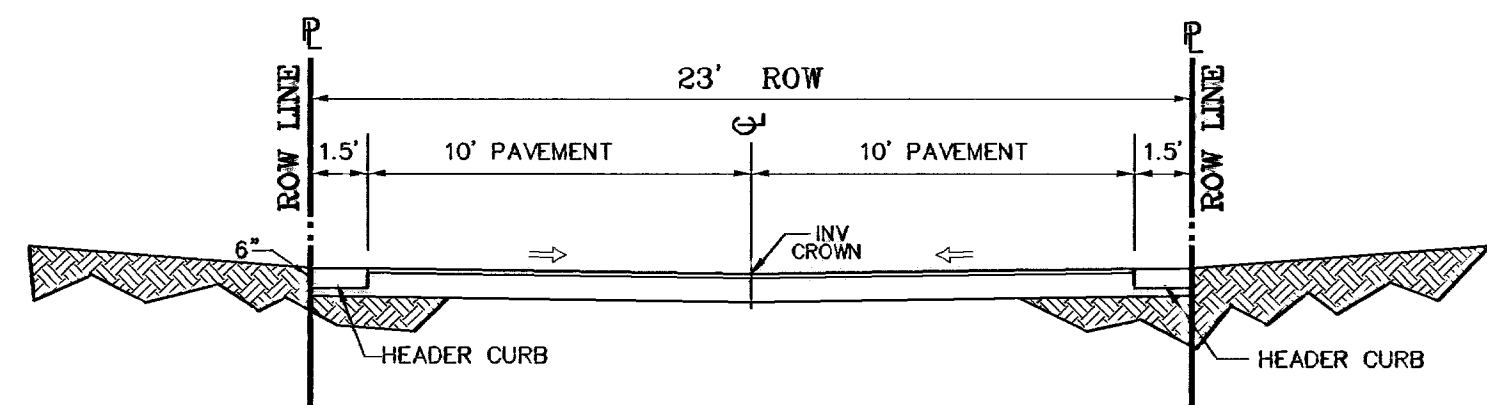
SHEET TITLE  
**COMMON DRIVEWAY**

600704



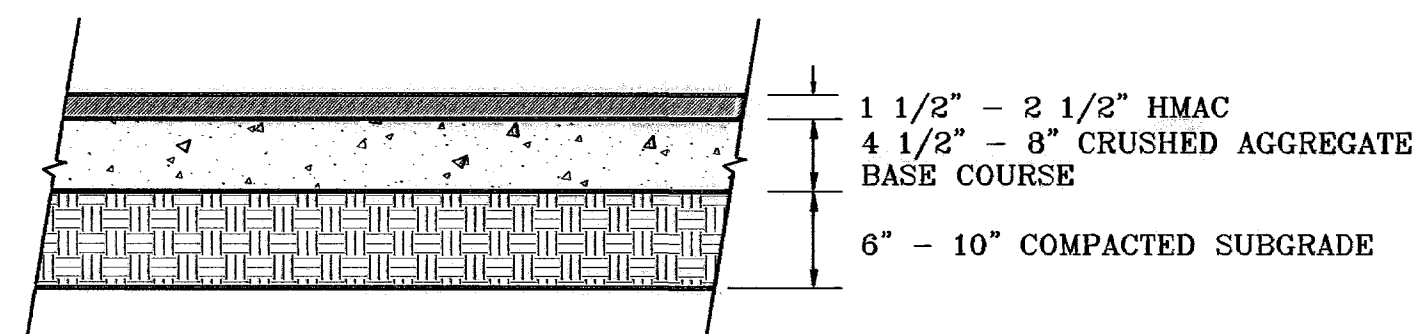
**DIVIDED MOUNTAIN RESIDENTIAL STREET**

SCALE: 1"=10'



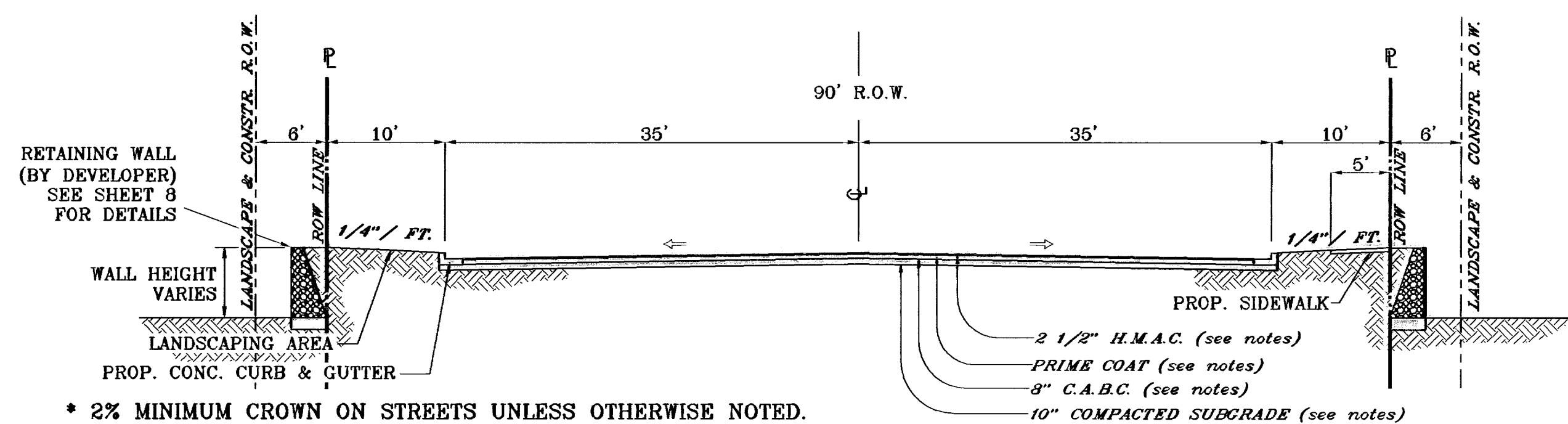
**23' R.O.W. MOUNTAIN RESIDENTIAL STREET TWO (2) LANES ONLY ON (M.D.A.)**

SCALE: 1"=5'



**TYPICAL PAVEMENT SECTION**

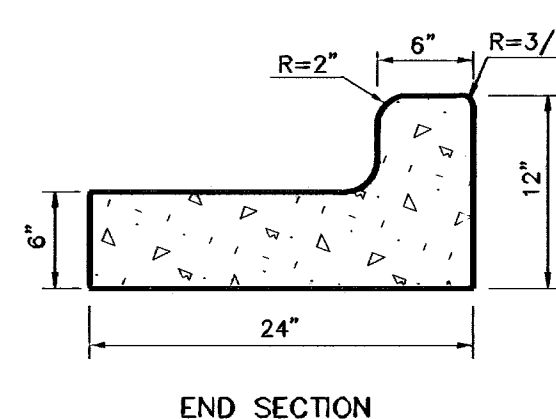
SCALE: 1"=1'



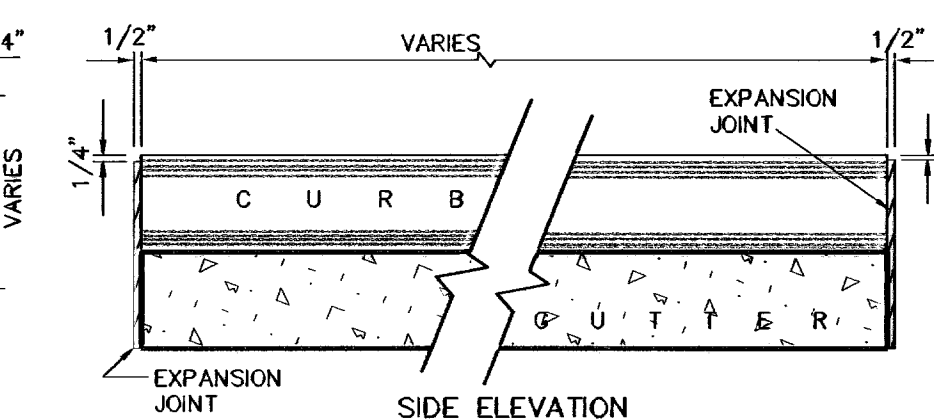
**90' R.O.W. MINOR ARTERIAL (not per S.I.D.S.)**

SCALE: 1"=10'

FOR INFORMATION ON RETAINING WALL ENCRoACHING ONTO COMMON OPEN SPACE REFER TO SHEET 8 FOR ROCK RETAINING WALL DETAIL



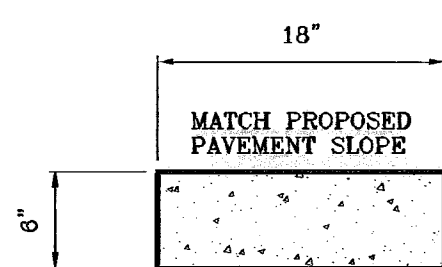
END SECTION



**CURB DETAILS**

SCALE: 1"=1'

- NOTES:**
- 1-NO EXPANSION JOINT WILL BE REQUIRED EXCEPT AT THE END OF CURB RETURNS. (POINT OF TANGENCY WITH STRAIGHT LINE).
  - 2-CONTRACTION JOINTS (1/2" INCH MIN.) MUST BE SCORED EVERY 10 FEET IN CURB AND GUTTER.
  - 3-ALL EXPANSION JOINTS WILL BE OF PREFORMED BITUMINOUS FIBER 1/2" INCH THICK.
  - 4-CONCRETE: CLASS 'A' 3000 PSI.

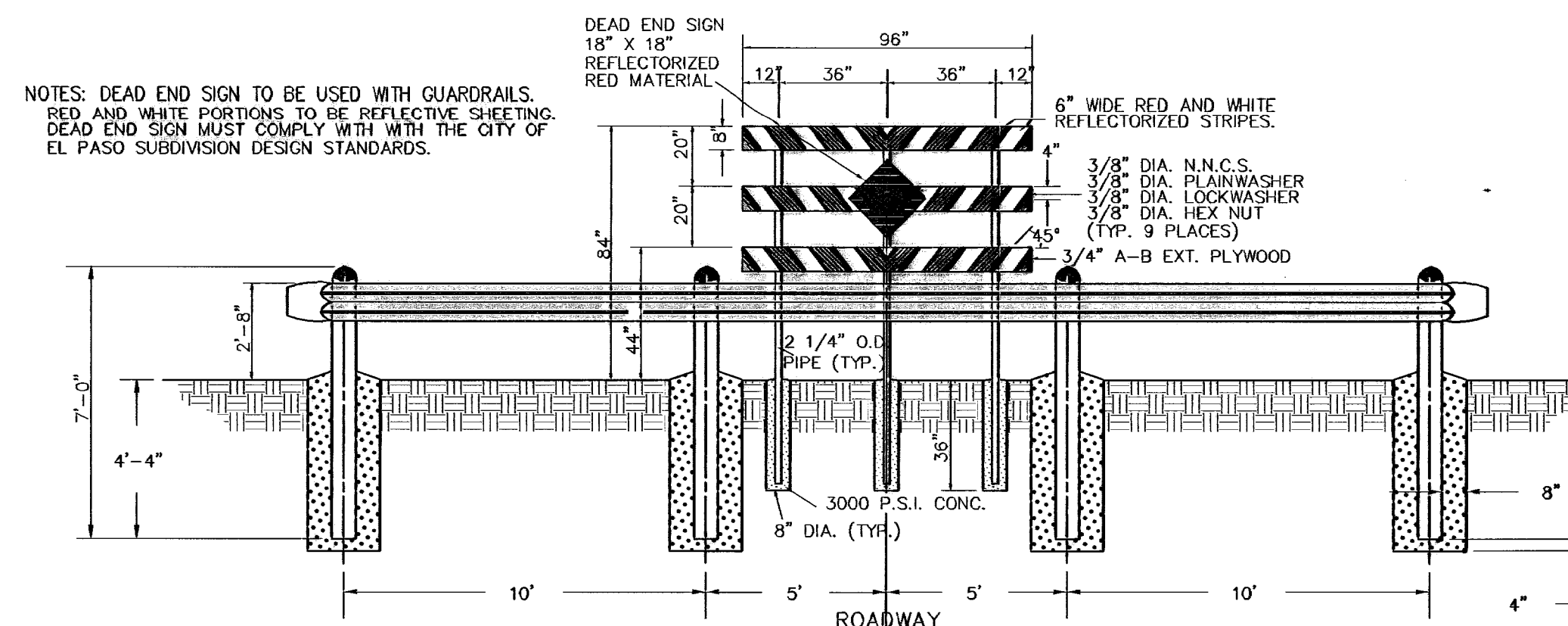


**CONC. HEADER CURB DETAIL**

SCALE: 1"=1'

**HEADER CURB NOTES:**

1. CONCRETE TO BE 3000 P.S.I. MIN.
2. DUMMY JOINT REQUIRED AT 10' O.C. FOR HEADERS AND 5' O.C. FOR SIDEWALKS.
3. EXPANSION MATERIAL REQUIRED AT CURB RETURNS WITH 1/2" REMOLDED ASPHALT IMPREGNATED EXPANSION JOINT OR EQUAL.
4. EXPANSION JOINTS REQUIRED AT 50' O.C. WHEN FORMING FOR HEADERS.
5. EXPANSION JOINTS REQUIRED FOR SIDEWALK AT 20' O.C.



NOTES: DEAD END SIGN TO BE USED WITH GUARDRAILS. RED AND WHITE PORTIONS TO BE REFLECTIVE SHEETING. DEAD END SIGN MUST COMPLY WITH THE CITY OF EL PASO SUBDIVISION DESIGN STANDARDS.

**PAVEMENT NOTES**

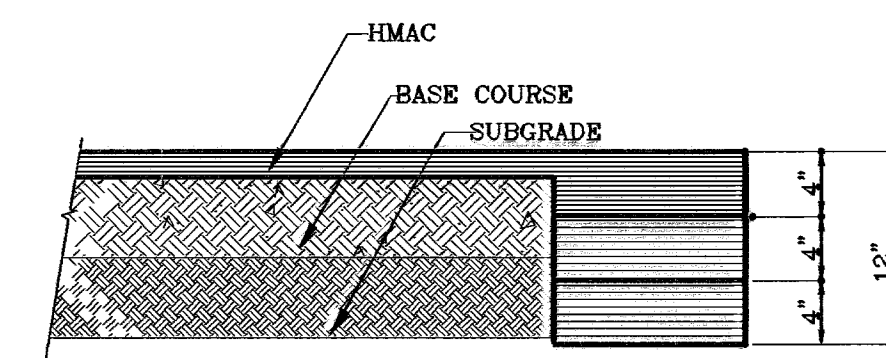
1. SUBGRADE TO BE COMPACTED TO 95% OF MAXIMUM DENSITY AS PER ASTM D1557.
2. BASE TO BE COMPACTED TO NOT LESS THAN 100% DENSITY IN ACCORDANCE WITH ASTM D1557, GRADE "B" AS PER CITY SPECIFICATIONS.
3. BITUMINOUS MATERIAL SHALL CONFORM TO AC-10 OR AC-20, GRADE "B" IN ACCORDANCE WITH ASTM D3318. AS PER CITY SPECIFICATIONS.
4. PRIME COAT TO BE 0.25 GAL. PER SQUARE YARD (MINIMUM COVERAGE) MC-70. AS PER CITY SPECIFICATIONS.
5. COMPACTION TESTS WHERE REQUIRED BY THE CITY ENGINEER MUST BE PAID FOR BY THE DEVELOPER.
6. C.B.R. TESTS WILL BE REQUIRED AT 500 FOOT INTERVALS AFTER SUBGRADE IS PLACED AND/OR A MINIMUM OF TWO TESTS IF STREET IS LESS THAN 500 FEET.
7. STRICT VERTICAL CONTROL OF ALL CURB AND GUTTER ELEVATIONS WILL BE MAINTAINED. BLUE TOPPING WILL BE REQUIRED THROUGHOUT.
8. ALL PLANS MUST BE IN ACCORDANCE WITH THE LATEST EDITION OF THE CITY OF EL PASO SUBDIVISION DESIGN AND IMPROVEMENT STANDARDS.
9. HMAc. BASE, SUB BASE WILL BE IN ACCORDANCE WITH THE LATEST CITY OF EL PASO SPECIFICATIONS.
10. MINIMUM PAVEMENT DESIGN DETAILS ARE SHOWN. ACTUAL PAVEMENT DESIGN WILL BE DETERMINED BY: C.B.R.

**TRENCHING:**

ALL TRENCHING SHALL BE DONE IN STRICT ACCORDANCE WITH OSHA-2226.

**GUARD RAIL DETAIL**

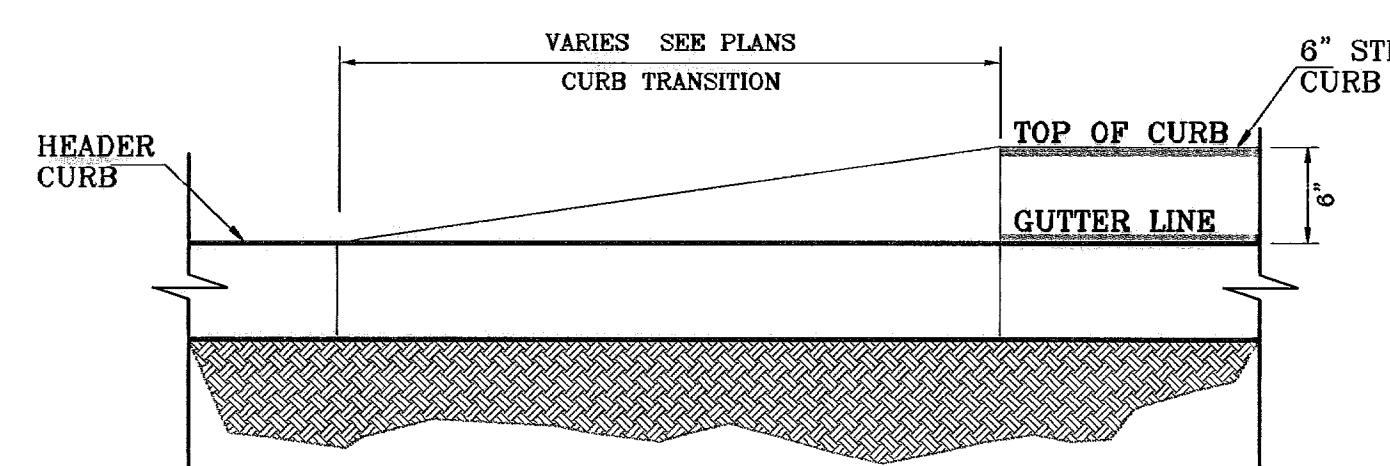
SCALE: 1" = 4'



**PAVEMENT TERMINUS**

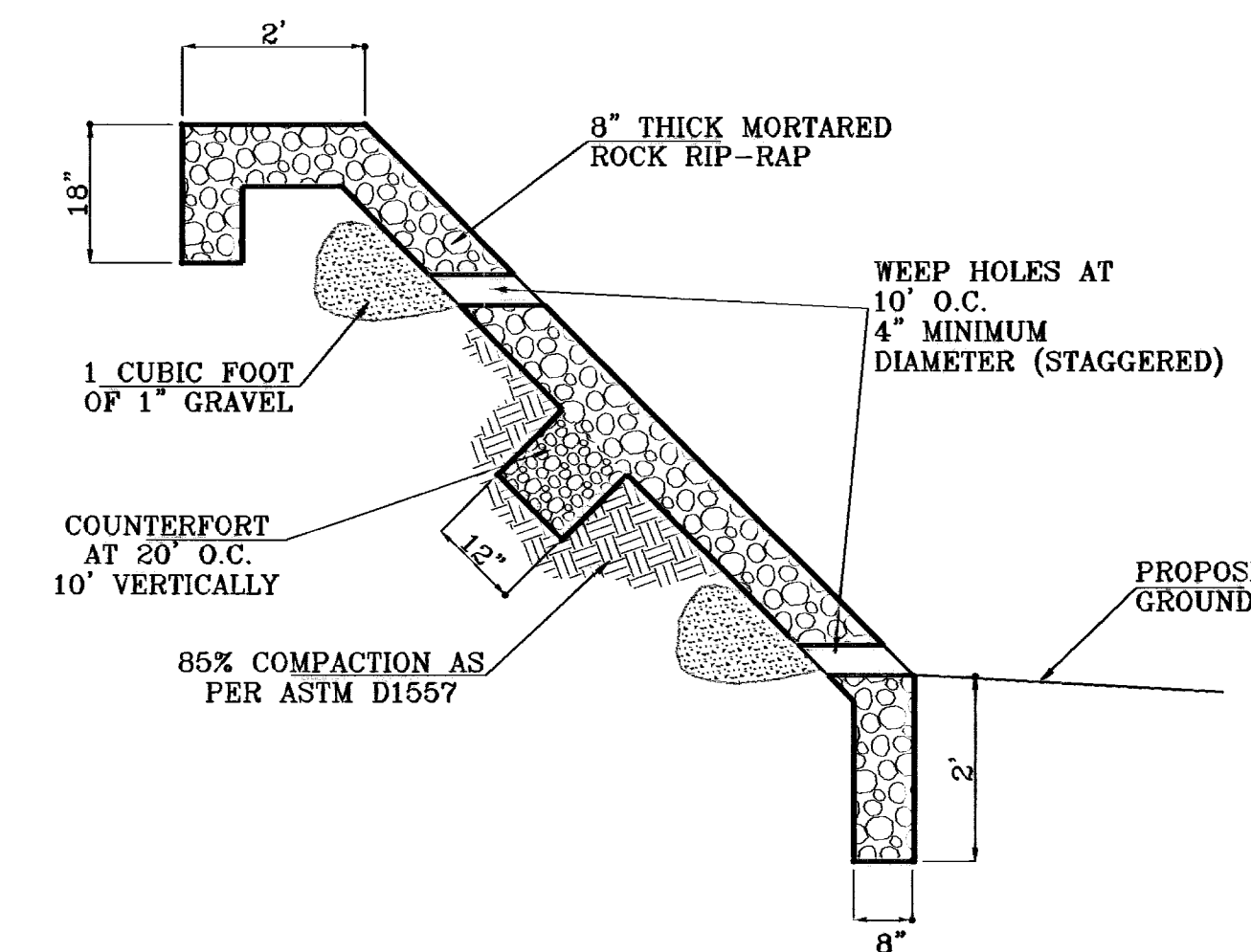
1"=1'

NOTE: THICKENED EDGE SHALL BE CONSTRUCTED IN COURSED NOT OVER 4" IN THICKNESS. EACH COURSE THOROUGHLY COMPACTED BEFORE PLACING NEXT COURSE, FINAL COURSE. FINAL COURSE TO BE PLACED MONOLITHIC WITH PAVEMENT.



**TYPICAL CURB TRANSITION FROM HEADER CURB TO 6" STD. CURB**

1"=1'



- 1: ROCK RIP-RAP SHALL BE PLACED ON EMBANKMENTS OR SLOPES WHERE REQUIRED BY THE CITY ENGINEER FOR EROSION PROTECTION, EXCEPT FOR PONDING AREAS.
- 2: ROCK RIP-RAP SHALL BE A MINIMUM OF 8 INCH MORTARED ROCK.
- 3: STONE FOR ROCK RIP-RAP SHALL BE AS NEARLY UNIFORM IN SECTION AS IS PRACTICABLE. STONE SHALL BE QUARRIED. FRACTURED RIVER ROCK SHALL NOT BE PERMITTED.
- 4: MORTAR FOR ROCKWALL SHALL BE TYPE S. 1800 PSI AS PER ASTM C270.
- 5: FOR SLOPES GREATER THAN 1:1 OR VERTICAL HEIGHT OF MORE THAN 6 FEET THE RIP-RAP SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER.
- 6: PROVIDE ONE INCH EXPANSION JOINT AT EVERY FIFTY FEET.
- 7: PROVIDE DUMMY JOINTS AT TEN FEET O.C.
- 8: NON-MORTARED ROCK RIP-RAP SHALL BE ALLOWED WHERE APPROVED BY DEPUTY DIRECTOR FOR ENGINEER.

**TYPICAL ROCK RIP-RAP**

1"=2'

REFERENCES -- BENCHMARKS

CITY MONUMENT AT THE CENTERLINE INTERSECTION STANTON STREET AND COSAL SKY LANE	ELEVATION: 4444.54	REVISIONS
DATE	BY	BY
03/27/03	1st. City Comments	R.O.I.
04/21/03	1st. City Comments	R.O.I.
05/20/03	2nd. City Comments	R.O.I.
06/19/03	3rd. City Comments	R.O.I.

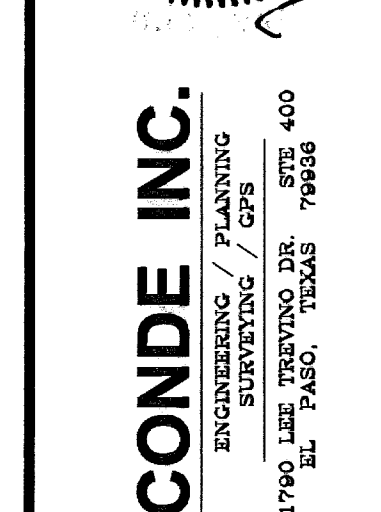
PROJECT NAME: **SKY ISLAND UNIT TWO**

BEING A PORTION OF H.C. FOSTER SURVEY NO. 261, CITY OF EL PASO, EL PASO COUNTY, TEXAS CONTAINING: 5.553 ACRES

SCALE

HORIZ.	AS SHOWN
VERT.	AS SHOWN

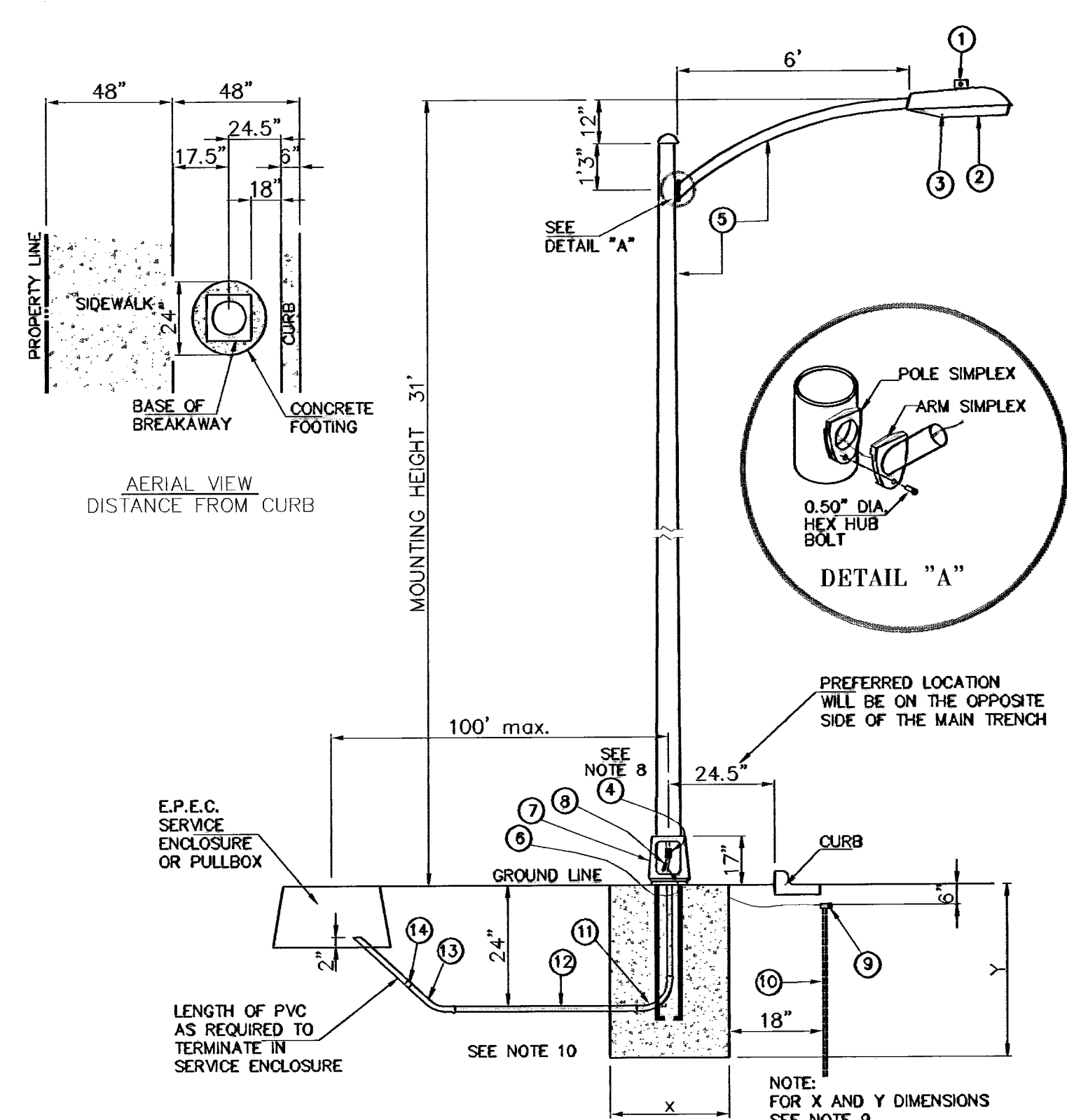
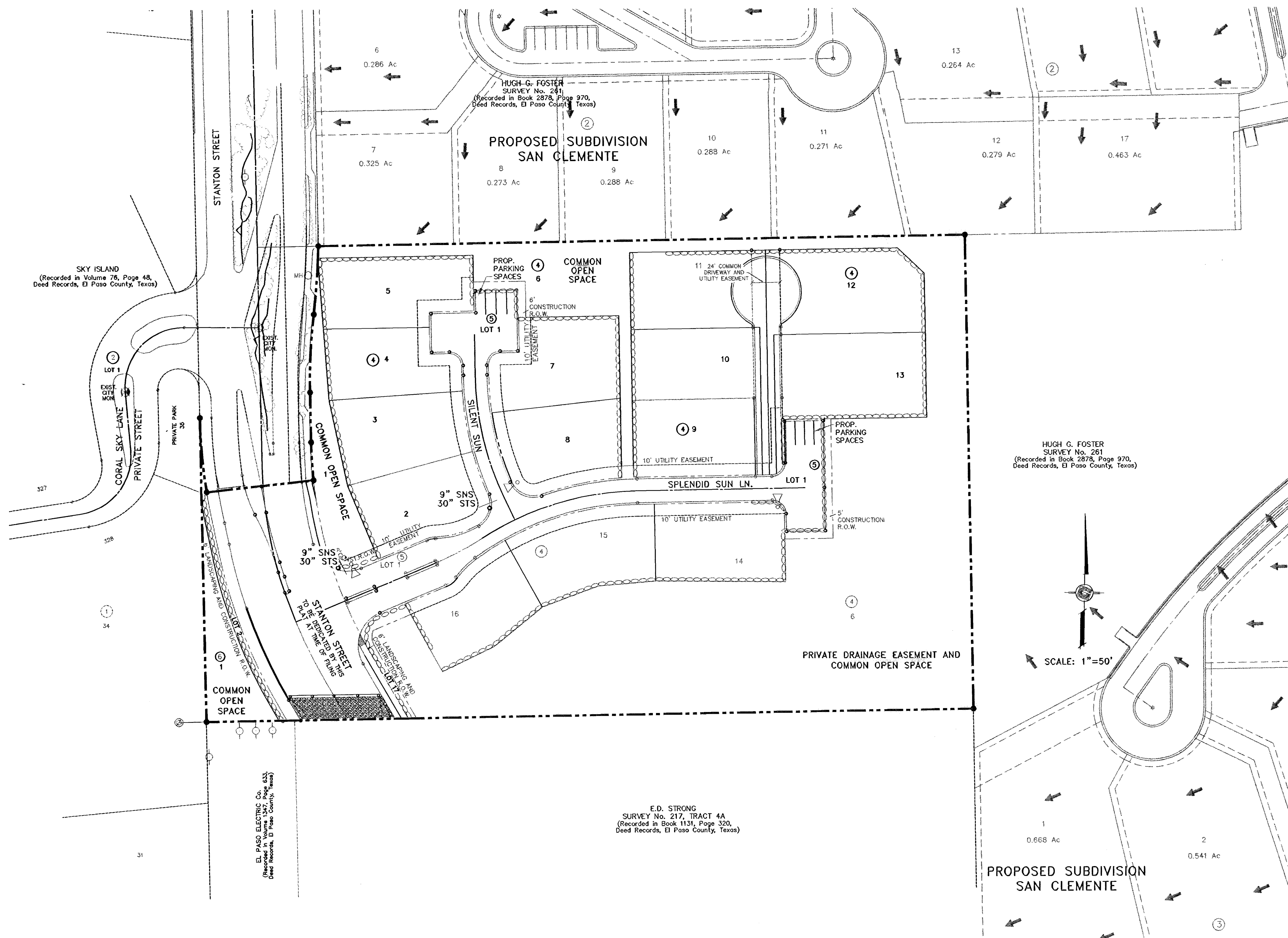
DATE: NOV. 2008  
DESIGN BY: Y.C.  
DRAWN BY: R.O.I.  
CHD. BY: Y.C.  
JOB NO.: 002-49



**CONDE INC.**  
ENGINEERING / PLANNING  
SURVEYING / GPS  
1790 LEE TREVINO DR. STE. 400  
EL PASO, TEXAS 79906

SHEET TITLE: **STANDARD DETAILS**

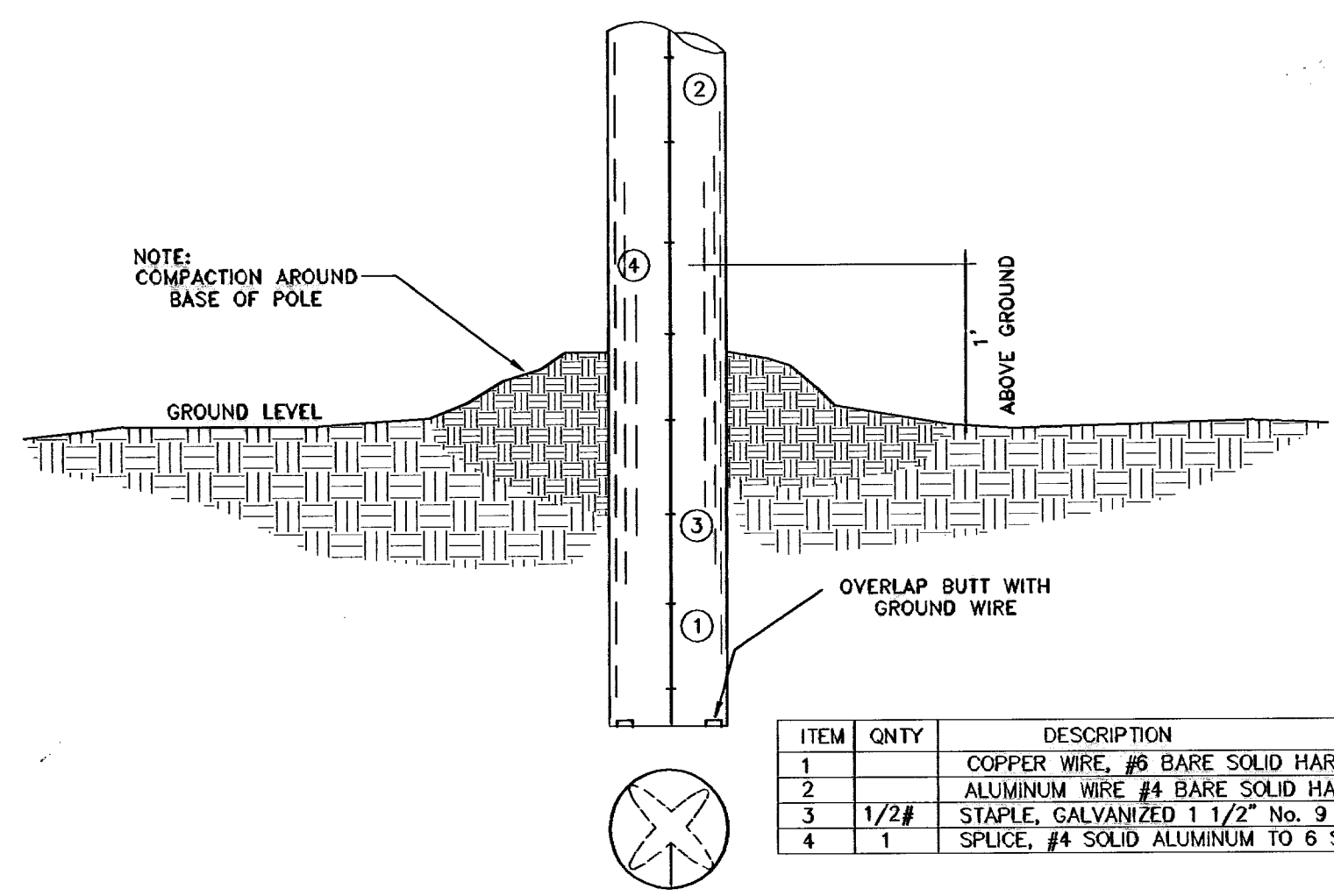
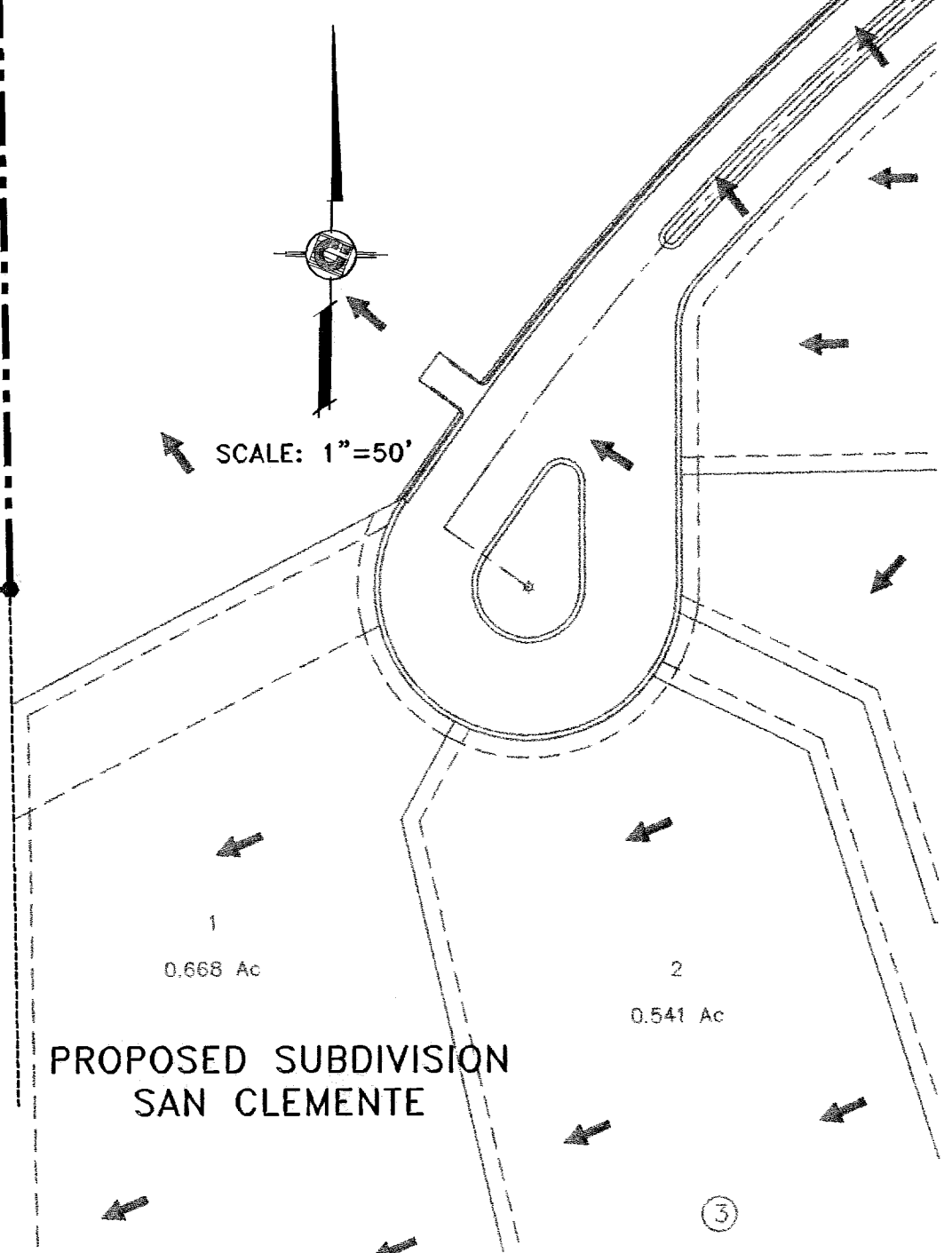
600704



UNDERGROUND RESIDENTIAL BREAKAWAY STREET LIGHT POLE  
E.P.E.C. STD. DSU 810

ITEM No.	DESCRIPTION	STOCK/DSU No.	QTY.	CUV CODE	MACRO CODE
1	PHOTOCELL, 240 V-SEE NOTE 1	21-225	1		
2	HPS LAMP 100 W	21-085	1	LCOBRAHD	
3	LUMINAIRE, 100 W HPS	21-335	1		
4	SLEEVES, #12-10	05-140	2		
5	STEEL POLE 31' STREET LIGHT	09-300	1	L31STLUG	LSTEEUG
6	CABLE, #10, 2 CONDUCTOR	13-600	40'	L2#10S	
7	ALUMINUM TRANSFORMER BASE	21-611	1	LTBASE	
8	BREAK-A-WAY FUSES 30 AMP	21-250	2	LBRKFUSE	
9	5/8" GROUND ROD CLAMP	07-461	1	LGRNDROD	
10	5/8" x 10' CU BONDING GROUND ROD	08-626	1	LGL501	
11	1" PVC 90 DEGREE ELBOW	17-297	1	LLEL901	
12	1" PVC CONDUIT	17-299	AS REQ'D	LPVC1	
13	1" PVC 45 DEGREE ELBOW	17-298	1	LLEL451	
14	1" PVC COUPLING	17-296	1	LCPLG1	

- MOUNT SO THAT PHOTO CELL IS FACING NORTH.
- INSTALLATION JUST COMPLY WITH LOCAL CODE REQUIREMENTS.
- STEEL POLE TO HAVE A BREAKAWAY BASE AS REQUIRED BY THE CITY OF EL PASO.
- POLE SHALL BE GROUND AS REQUIRED BY N.E.C. LATEST EDITION.
- A GROUND ROD MUST BE USED.
- LOCK WASHER MUST BE INCLUDED ON ALL ANCHOR BOLTS.
- FOR ANY CLARIFICATION, EXCEPTIONS OR QUESTIONS REGARDING THIS STANDARD, CALL THE EL PASO ELECTRIC COMPANY DISTRIBUTION DESIGN DEPARTMENT.
- ITEM 34 SLEEVES AND ITEM #6 CABLE ARE LOCATED INSIDE THE STEEL POLE.
- FOUNDATION DIMENSIONS ARE AS FOLLOWS:  
DIAMETER DEPTH  
(X) (Y)  
NORMAL SOIL 24" 72"  
ROCKY SOIL 24" 60"
- 4-ANCHOR BOLTS WITH 4" HOOKS, THREAD END GALVANIZED 1" DIA. x 36" LONG, EACH BOLT FURNISHED WITH 2 HEX NUTS AND 2 FLAT WASHERS ARE SUPPLIED WITH THE STEEL POLE.

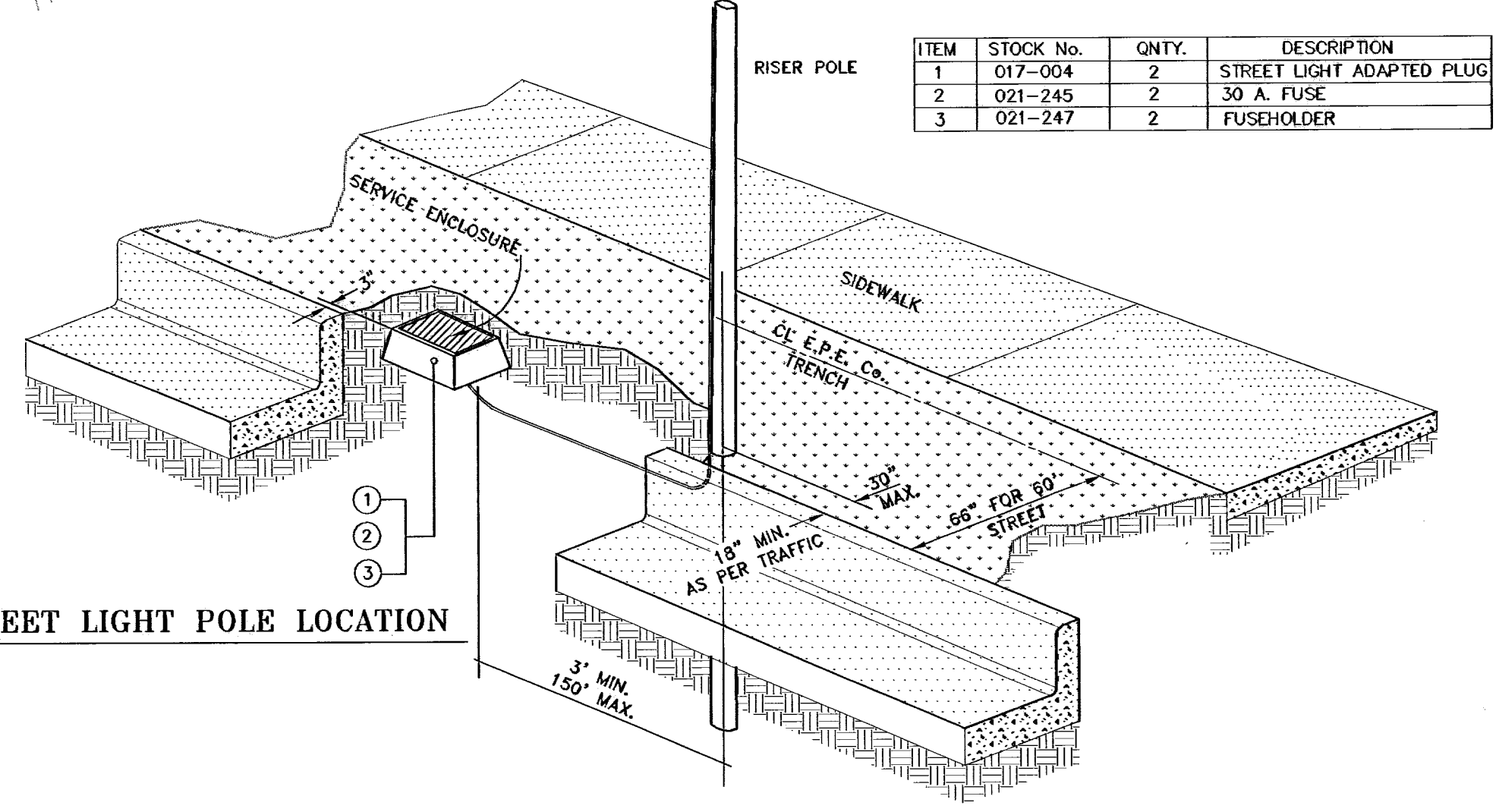


ITEM	QNTY	DESCRIPTION
1		COPPER WIRE, #6 BARE SOLID HARD DRAWN
2		ALUMINUM WIRE #4 BARE SOLID HARD DRAWN
3	1/2#	STAPLE, GALVANIZED 1 1/2" No. 3
4	1	SPLICE, #4 SOLID ALUMINUM TO 6 SOLID CU.

DISTRIBUTION BUTT GROUNDING

NOTE: STREET LIGHTING TO BE IN ACCORDANCE WITH CITY OF EL PASO DESIGN STANDARDS, SECTION VIII

NOTE: INSTALL TRAFFIC CONTROL DEVICES AS SHOWN AND IN ACCORDANCE WITH CITY OF EL PASO DESIGN STANDARDS, SECTION VII



ITEM	STOCK No.	QNTY.	DESCRIPTION
1	017-004	2	STREET LIGHT ADAPTED PLUG
2	021-245	2	30 A. FUSE
3	021-247	2	FUSEHOLDER

STREET LIGHT POLE LOCATION

REFERENCES --- BENCHMARKS  
CITY MONUMENT AT THE CENTERLINE INTERSECTION  
STANTON STREET AND CORAL SKY LANE CITY DATUM  
ELEVATION: 4444.64

PROJECT NAME: SKY ISLAND UNIT TWO  
BEING A PORTION OF H.G. FOSTER SURVEY No. 261,  
CITY OF EL PASO, EL PASO COUNTY, TEXAS  
CONTAINING: 0.500 ACRES

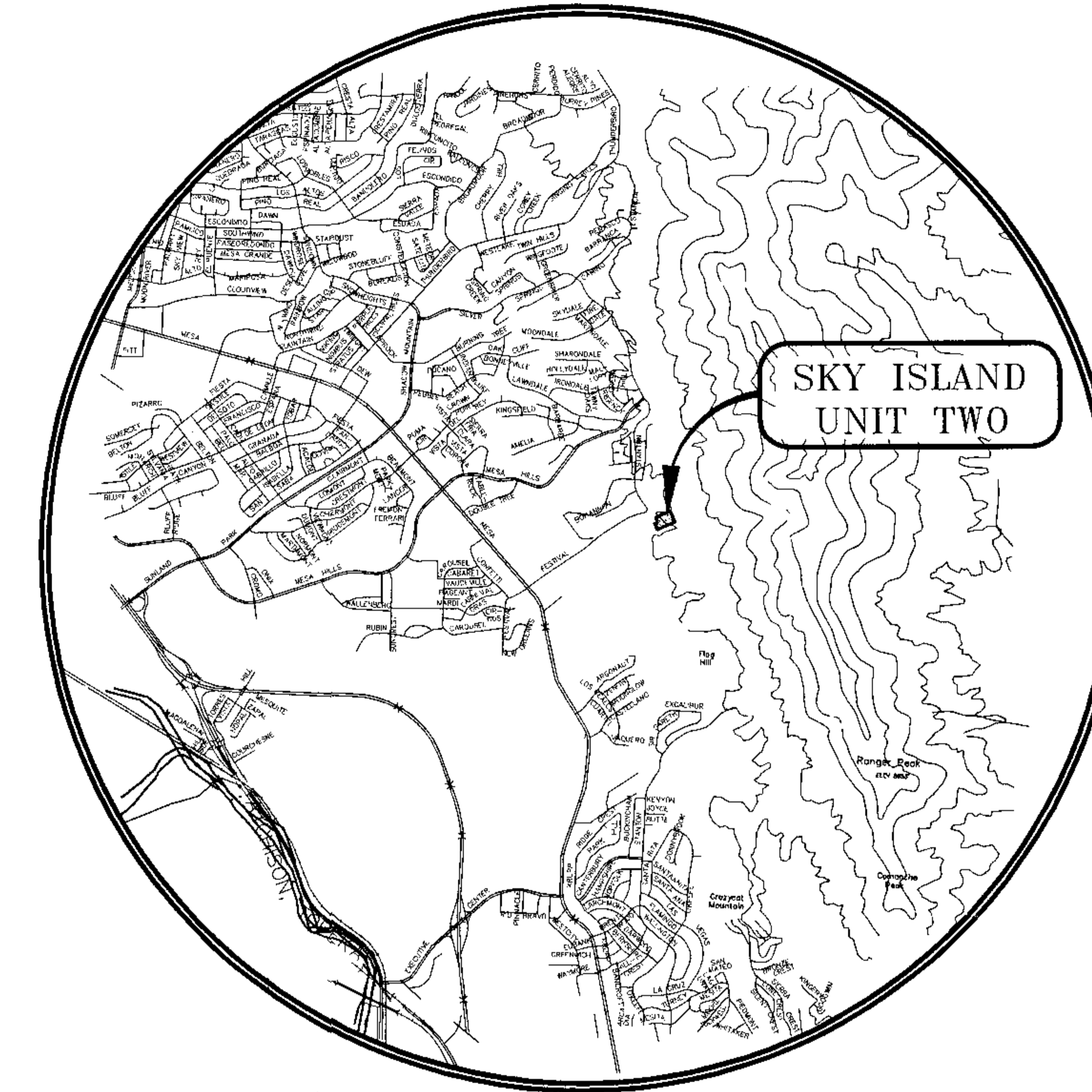
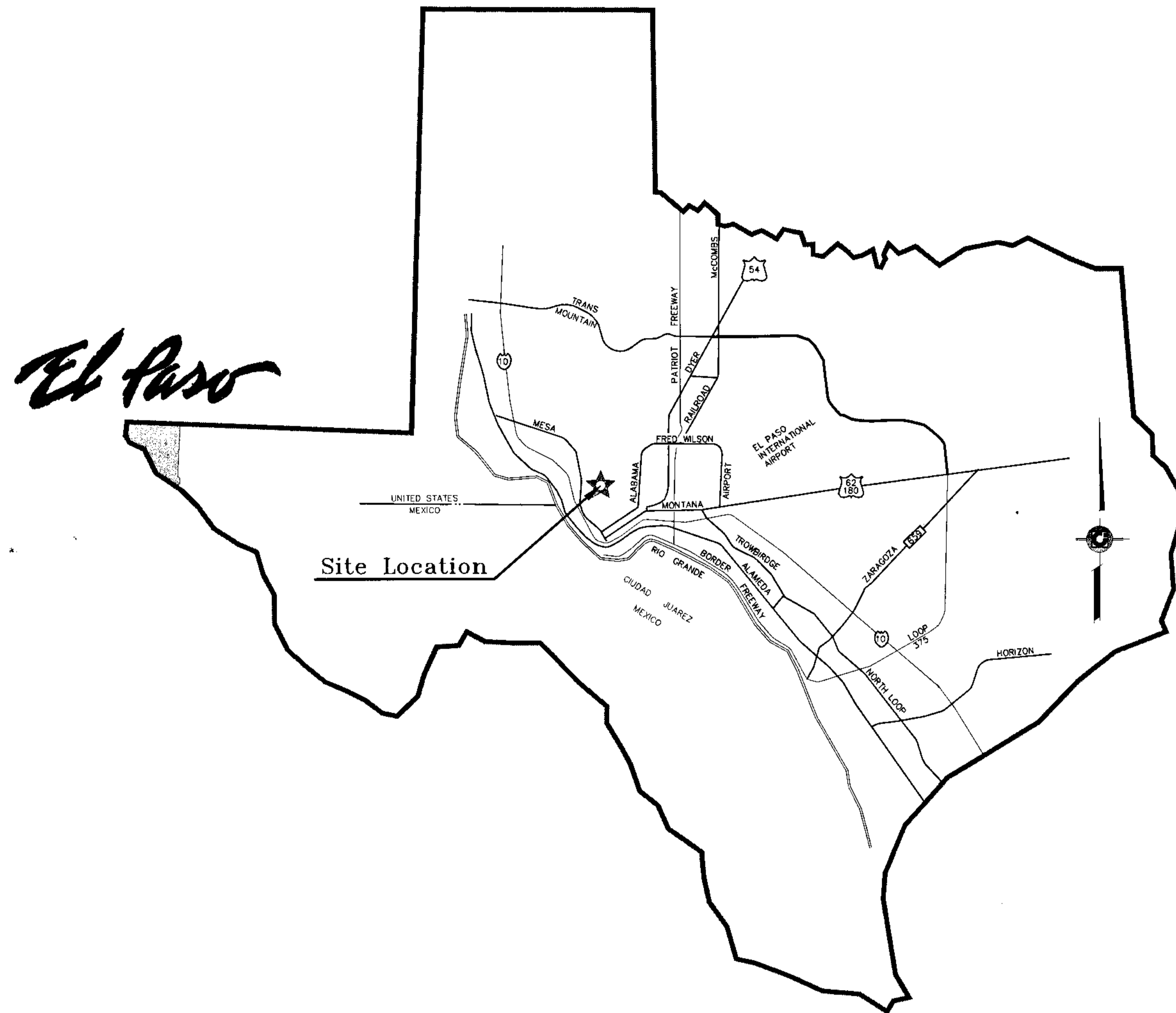
DATE: 02/20/03  
BY: 1st. City Comments  
DATE: 04/27/03  
BY: 2nd. City Comments  
DATE: 05/20/03  
BY: 3rd. City Comments

SCALE: HORIZ: 1"=50'  
VERT: AS SHOWN  
DATE: NOV 2002  
DESIGN BY: Y.C.  
DRAWN BY: R.O.L.  
CHECK BY: Y.C.  
JOB NO.: 802-43

CONDE INC.  
ENGINEERING / PLANNING  
SURVEYING / GPS  
1790 LEE FREYANO DR. STE 400  
EL PASO, TEXAS 79908

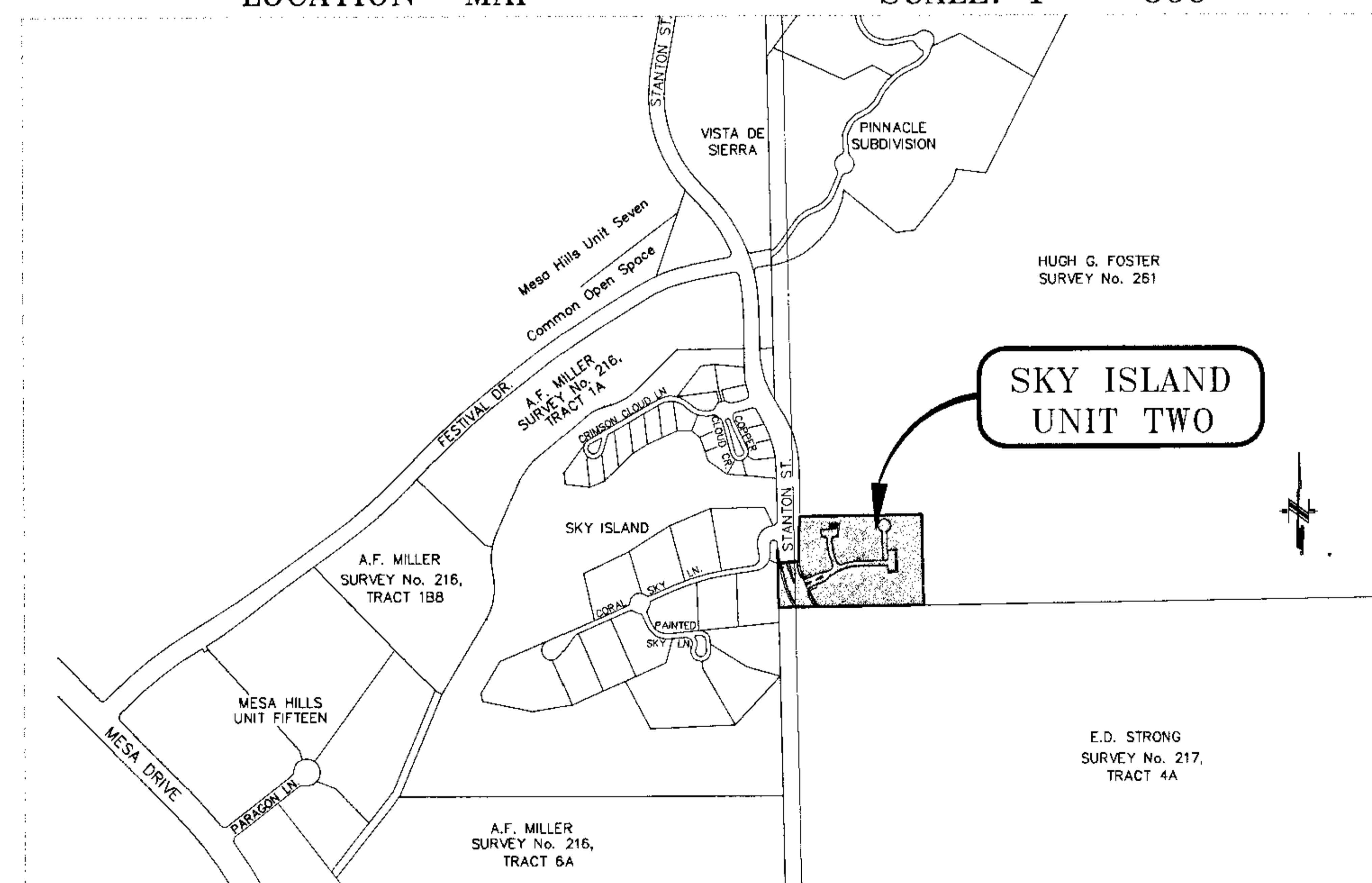
SHEET TITLE: ILLUMINATION PLAN  
SHT 12 OF 12

600704



VICINITY MAP  
EL PASO COUNTY

LOCATION MAP SCALE: 1" = 600'



**ENGINEERING DEPARTMENT**  
**APPROVED**  
for conditions related to:  
Grading and drainage  
Sidewalks  
Driveways  
Windbreak ramps  
On-site parking of storm waters  
Retaining rock wall  
On-site parking layout  
The contractor shall call City Engineering at 541-4976 at least 24 hours prior to construction for inspections. Plans must comply with City of El Paso Municipal Code requirements.  
By *[Signature]* Date 10.15.03

I N D E X

TITLE	SKY ISLAND UNIT TWO	SHEET No.
COVER SHEET	1	OF 12
PLAT	2	OF 12
GRADING PLAN	3	OF 12
GRADING SECTIONS	4	OF 12
DRAINAGE PLAN	5	OF 12
STORM SEWER & POLLUTION PREVENTION PLAN	6	OF 12
PLAN AND PROFILES	7-10	OF 12
STANDARD DETAILS	11	OF 12
ILLUMINATION PLAN	12	OF 12

PROJECT NAME  
**SKY ISLAND UNIT TWO**  
BEING A PORTION OF H.C. FOSTER SURVEY No. 261,  
CITY OF EL PASO, EL PASO COUNTY, TEXAS  
CONTAINING: 61.53 ACRES

**CONDE INC.**  
ENGINEERING / PLANNING  
SURVEYING / GPS  
1790 LEE TREVINO DR. STE. 400  
EL PASO, TEXAS 79906

