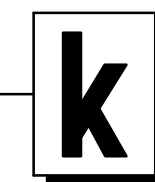


# MONTOYA VISTA

CITY OF EL PASO, EL PASO COUNTY, TEXAS

## INDEX

<u>DESCRIPTION</u>	<u>SHEET NO.</u>
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KISTENMACHER ENGINEERING COMPANY, INC.

CONSULTING ENGINEERING • LAND PLANNING • SURVEYING  
1420 GERONIMO DRIVE, SUITE A2 • EL PASO, TEXAS 79925 • (915) 778-4476  
6336 GREENVILLE AVE, SUITE C • DALLAS, TEXAS 75206 • (214) 234-0011



FIRM NO. 2379  
G. GLEN KISTENMACHER  
Registered Professional Engineer, Texas No. 65021.

REVISED: SEPTEMBER 24, 2013  
REVISED: MARCH 29, 2010  
REVISED: NOVEMBER 4, 2008  
REVISED: JULY 29, 2008  
REVISED: JULY 6, 2008  
DATE: SEPTEMBER 5, 2007

SHEET 1 OF 14

# MONTOYA VISTA

BEING ALL OF TRACT 19,  
S.A. & M.G. RAILROAD COMPANY SURVEY No.266  
& VACATED VALDEZ ROAD  
CITY OF EL PASO, EL PASO COUNTY, TEXAS  
CONTAINING 8.684 ACRES

PARK WHITEFIELD SUBDIVISION UNIT TWO  
LOT 2, BLOCK 1

## DEDICATION

STATE OF TEXAS COUNTY OF EL PASO  
Hansen Ventures, LLC, owner of this land, hereby presents this plat and dedicate to the use of the public the streets, utility easements, and ponding area as hereon laid down and designated, including easements for overhead of service wires for pole type utilities, and buried service wires, conduits and pipes for underground utilities, and the right to ingress and egress for service and construction and the right to trim interfering trees and shrubs.

LESTER P. HANSEN, MANAGER  
**ACKNOWLEDGMENT**  
STATE OF TEXAS COUNTY OF EL PASO

This instrument was acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_, 2014 by Lester P. Hansen, manager.  
Notary Public in and for El Paso County, Texas My commission expires: \_\_\_\_\_

## DEDICATION

STATE OF TEXAS COUNTY OF EL PASO  
The Estate of Rafael Jordan, owner of this land, hereby presents this plat and dedicate to the use of the public the streets, utility easements, and ponding area as hereon laid down and designated, including easements for overhead of service wires for pole type utilities, and buried service wires, conduits and pipes for underground utilities, and the right to ingress and egress for service and construction and the right to trim interfering trees and shrubs.

MAGGIE ONTIVEROS, EXECUTOR  
**ACKNOWLEDGMENT**  
STATE OF TEXAS COUNTY OF EL PASO

This instrument was acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_, 2014 by Rafael Jordan.  
Notary Public in and for El Paso County, Texas My commission expires: \_\_\_\_\_

## DEDICATION

STATE OF TEXAS COUNTY OF EL PASO  
El Paso Independent School District, owner of this land, hereby presents this plat and dedicate to the use of the public the streets, utility easements, and ponding area as hereon laid down and designated, including easements for overhead of service wires for pole type utilities, and buried service wires, conduits and pipes for underground utilities, and the right to ingress and egress for service and construction and the right to trim interfering trees and shrubs.

**ACKNOWLEDGMENT**  
STATE OF TEXAS COUNTY OF EL PASO  
This instrument was acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_, 2014  
Notary Public in and for El Paso County, Texas My commission expires: \_\_\_\_\_

## CITY PLAN COMMISSION

This subdivision is hereby approved as to the platting and as to the conditions of the dedication in accordance with Chapter 212 of the Local Government Code of Texas this \_\_\_\_\_ day of \_\_\_\_\_, 2013 A.D.

Executive Secretary \_\_\_\_\_ Chairperson \_\_\_\_\_  
Approved for filing this \_\_\_\_\_ day of \_\_\_\_\_, 2014 A.D.  
City Development Director \_\_\_\_\_

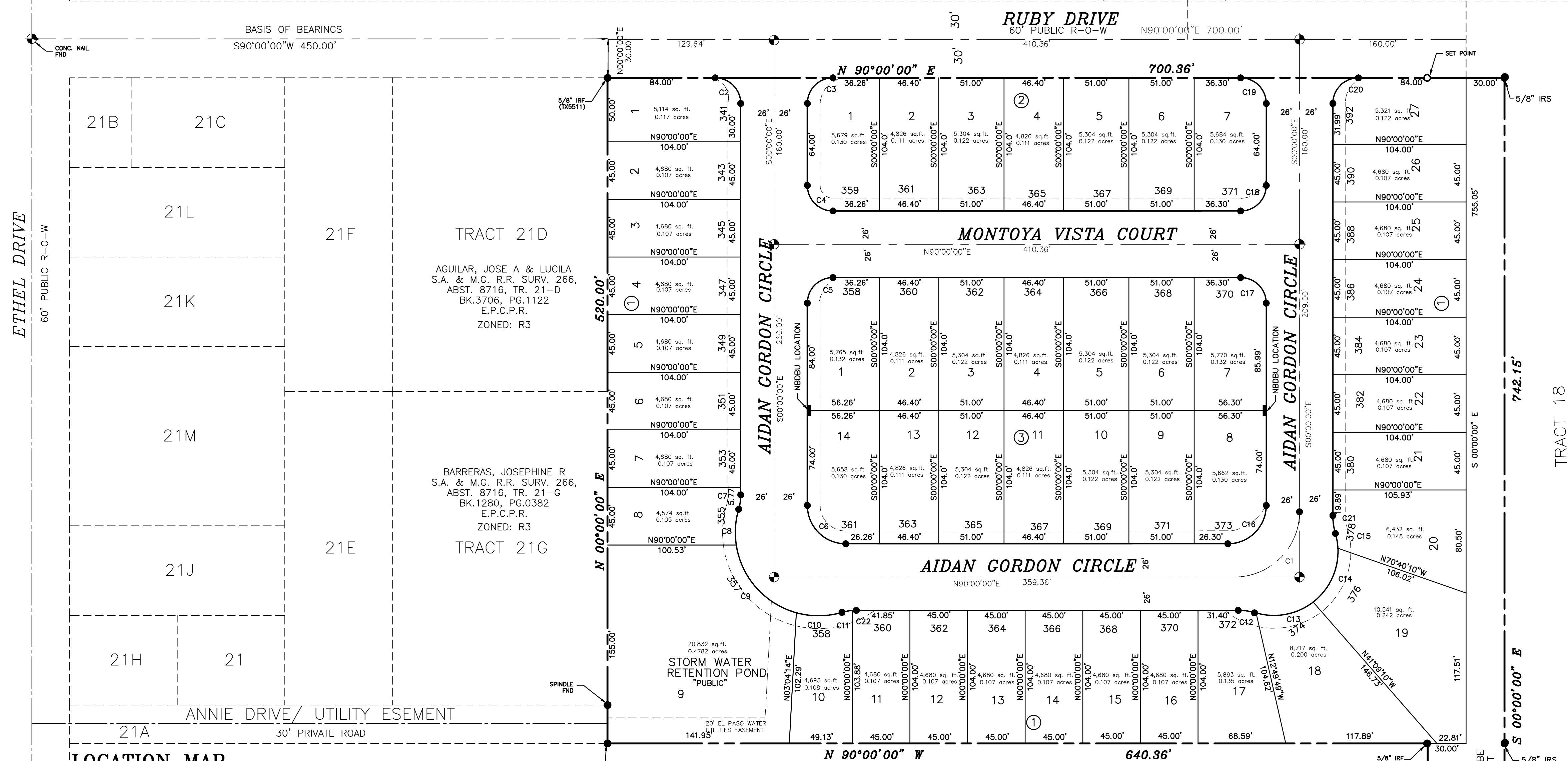
## FILING

Filed and recorded in the office of the County Clerk of El Paso County, Texas, this \_\_\_\_\_ day of \_\_\_\_\_, 2014 A.D., in Volume \_\_\_\_\_ of the Plat Records, Page \_\_\_\_\_, File No. \_\_\_\_\_  
County Clerk \_\_\_\_\_ By Deputy \_\_\_\_\_

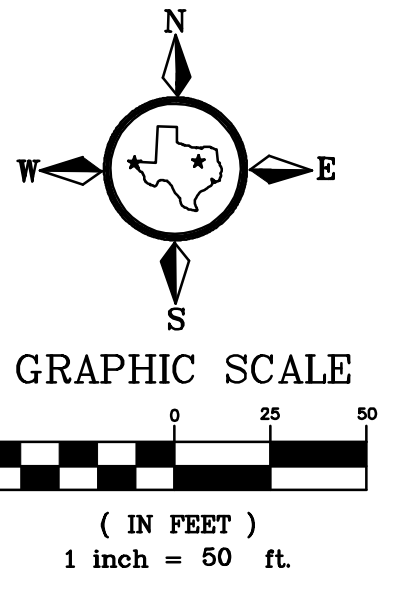
Prepared by and under the supervision of G. GLEN KISTENMACHER, Registered Professional Engineer, Texas No. 65021.  
G. Glen Kistenmacher  
Texas Registration Number 65021

I certify that this survey was made on the ground by me or under my direct supervision and that it is in compliance with current Texas Board of Professional Land Surveying Professional and Technical Standards.

Joseph Amaya  
Registered Professional Land Surveyor Texas No. 5855  
REVISED: MARCH 29, 2010  
REVISED: NOVEMBER 4, 2008  
REVISED: SEPTEMBER 18, 2008  
REVISED: MAY 8, 2008  
REVISED: JANUARY 23, 2014  
REVISED: SEPTEMBER 24, 2013  
REVISED: AUGUST 21, 2013  
REVISED: AUGUST 19, 2013  
REVISED: JUNE 3, 2013  
REVISED: MAY 14, 2013  
REVISED: MARCH 29, 2010  
REVISED: NOVEMBER 4, 2008  
REVISED: SEPTEMBER 18, 2008  
REVISED: MAY 8, 2008  
REVISED: APRIL 7, 2008  
REVISED: MARCH 4, 2008  
REVISED: FEBRUARY 25, 2008  
REVISED: NOVEMBER 12, 2007  
PREPARED: APRIL 3, 2007

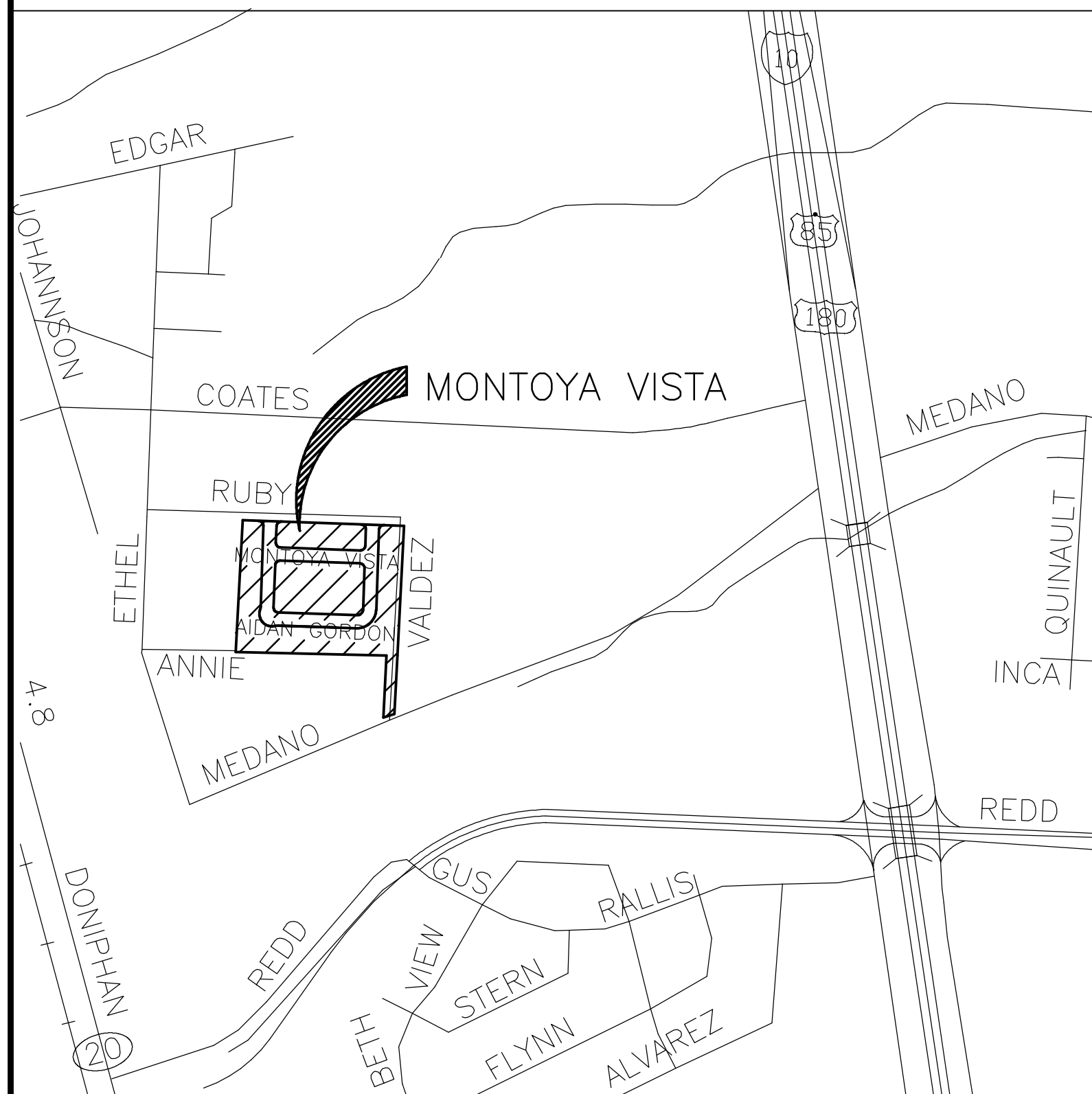


CURVE	LENGTH	RADIUS	TANGENT	CHORD	BEARING	DELTA
C1	80.11'	51.00'	51.00'	72.12'	N45°00'00"E	90°00'00"
C2	31.42'	20.00'	20.00'	28.28'	N45°00'00"E	90°00'00"
C3	31.42'	20.00'	20.00'	28.28'	S45°00'00"W	90°00'00"
C4	31.42'	20.00'	20.00'	28.28'	S45°00'00"W	90°00'00"
C5	31.42'	20.00'	20.00'	28.28'	S45°00'00"W	90°00'00"
C6	47.12'	30.00'	30.00'	42.43'	S45°00'00"E	90°00'00"
C7	11.37'	40.00'	5.72'	11.33'	N08°08'35"E	161°7'09"
C8	28.30'	65.00'	14.38'	28.08'	S03°48'47"W	243°56'44"
C9	74.71'	65.00'	42.10'	70.67'	S41°35'15"E	65°51'20"
C10	36.04'	65.00'	18.50'	35.58'	N89°35'58"E	31°46'14"
C11	8.22'	40.00'	4.12'	8.20'	S79°35'53"W	11°46'04"
C12	14.14'	50.00'	7.12'	14.10'	N81°53'45"W	161°2'30"
C13	47.08'	50.00'	25.45'	45.36'	N79°14'08"E	53°56'45"
C14	48.18'	50.00'	26.15'	46.34'	N24°39'21"E	55°12'48"
C15	11.86'	50.00'	5.86'	11.64'	N09°37'59"W	132°15'33"
C16	47.12'	30.00'	30.00'	42.43'	N45°00'00"E	90°00'00"
C17	31.42'	20.00'	20.00'	28.28'	N45°00'00"W	90°00'00"
C18	31.42'	20.00'	20.00'	28.28'	N45°00'00"E	90°00'00"
C19	31.42'	20.00'	20.00'	28.28'	N45°00'00"W	90°00'00"
C20	31.42'	20.00'	20.00'	28.28'	S45°00'00"W	90°00'00"
C21	14.24'	50.00'	7.17'	14.19'	S08°09'28"E	161°8'55"
C22	3.15'	40.00'	1.58'	3.15'	S87°44'28"W	4°31'05"

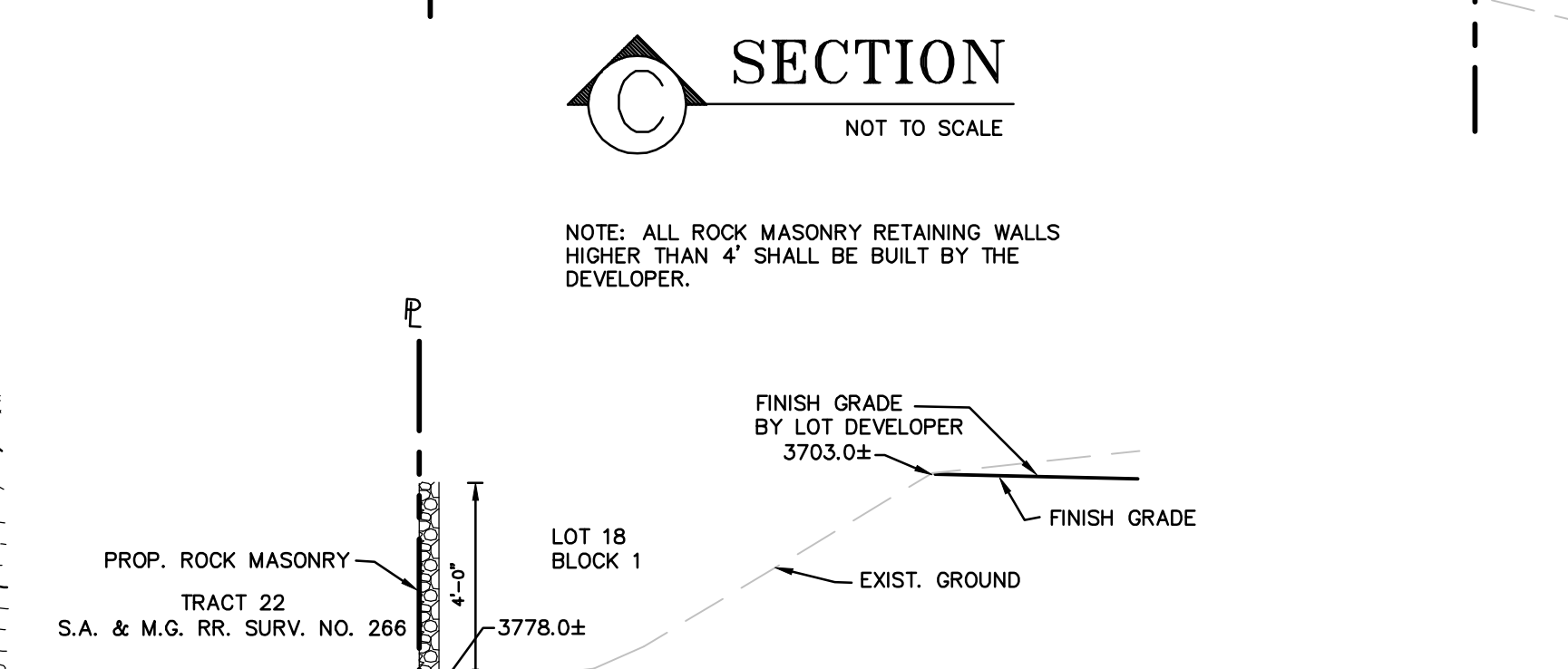
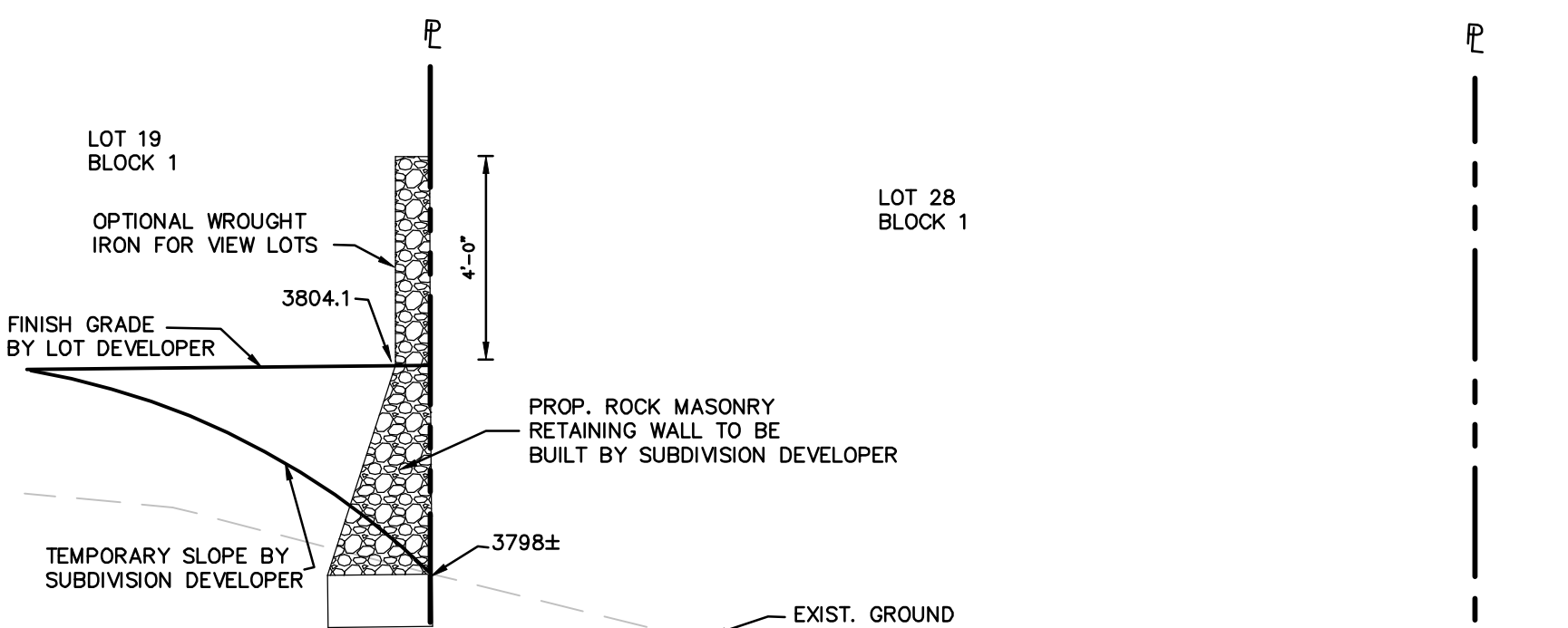
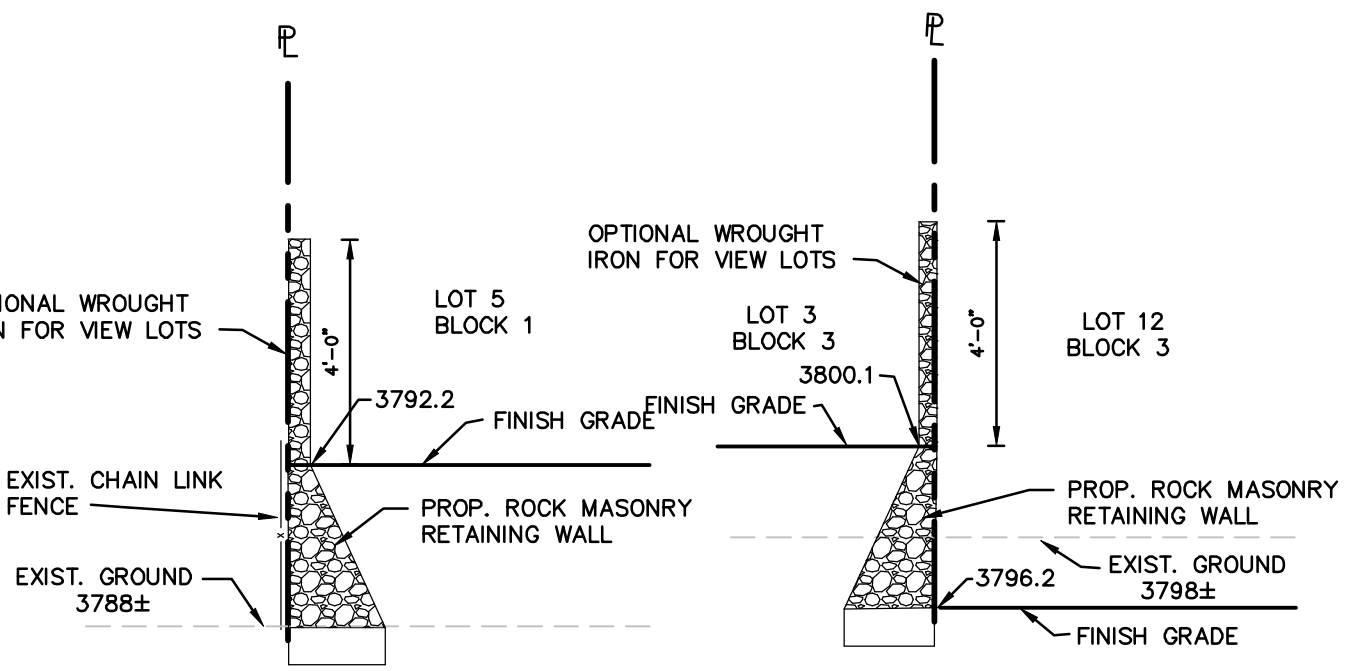
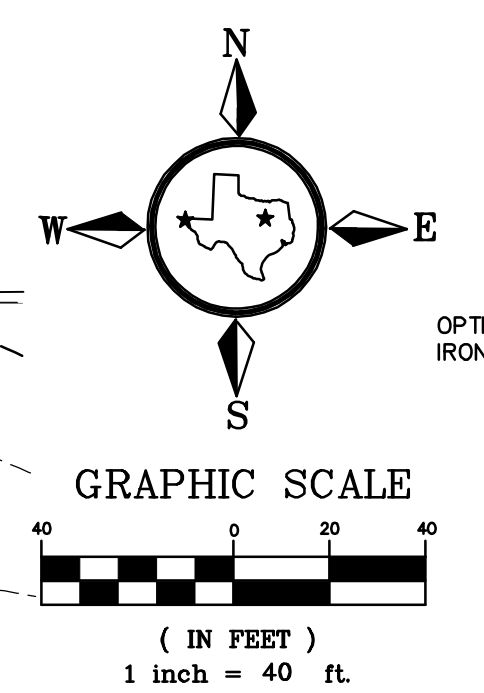
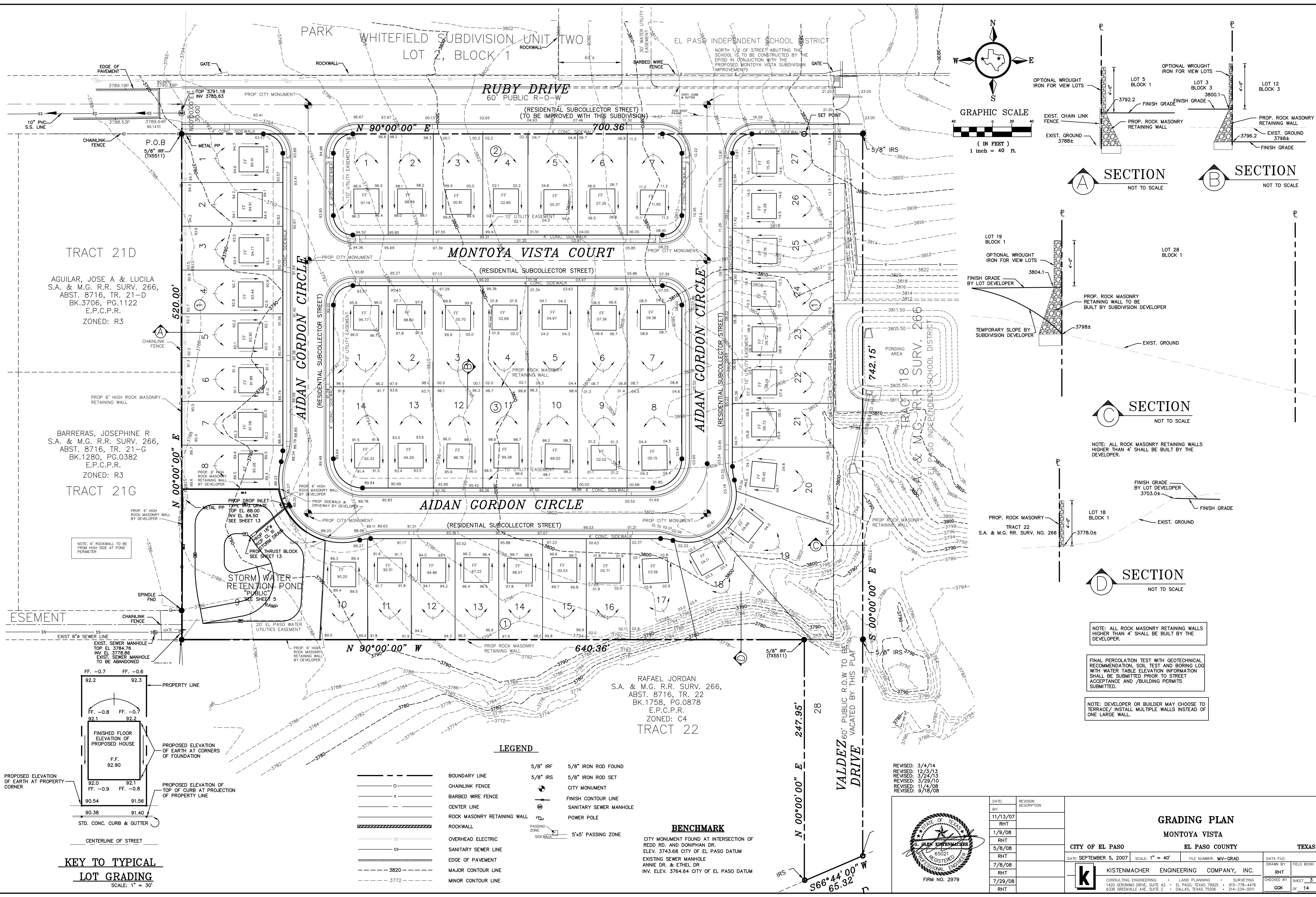


- NOTES
- ALL EASEMENTS ARE 10' WIDE AND UNDERGROUND ONLY UNLESS SPECIFICALLY NOTE OTHERWISE.
  - THIS SUBDIVISION IS BEING PLATTED UNDER CHAPTER 19.36 OF THE CITY (HIERARCHY OF RESIDENTIAL STREET) ALLOWING 47 RESIDENTIAL LOTS.
  - RESTRICTIVE COVENANTS FOR THIS SUBDIVISION ARE FILED IN THE OFFICE OF THE COUNTY CLERK, DEED AND RECORDS SECTION, INSTRUMENT NO. \_\_\_\_\_ DATE \_\_\_\_\_
  - PROPOSED CITY MONUMENT.
  - THIS SUBDIVISION IS LOCATED WITHIN THE EL PASO INDEPENDENT SCHOOL DISTRICT
  - SUBDIVISION TO BE SERVED BY THE U.S. POSTAL SERVICE, ANY ALTERNATE AND/OR ADDITIONAL LOCATION IS TO BE COORDINATED WITH THE GROWTH MANAGEMENT DIVISION OF THE U.S. POSTAL SERVICE.
  - VEHICULAR ACCESS TO LOTS 1 AND 27, BLOCK 1; LOTS 1 THROUGH 7, BLOCK 2 ABUTTING RUBY DRIVE SHALL BE FROM OTHER DEDICATED STREETS ONLY. THE INSTRUMENT ASSURING RELEASE OF ACCESS IS FILED IN THE OFFICE OF THE COUNTY CLERK, DEED AND RECORDS SECTION, INSTRUMENT NO. \_\_\_\_\_ DATE \_\_\_\_\_
  - SIDEWALKS ADJACENT TO LOT 9, BLOCK 1 WILL BE CONSTRUCTED BY DEVELOPER. ALL OTHER SIDEWALKS WILL BE CONSTRUCTED BY THE INDIVIDUAL LOT BUILDERS.
  - THIS IS TO CERTIFY THAT WATER AND SEWER SERVICE WILL BE PROVIDED TO MONTOYA VISTA BY THE EL PASO WATER UTILITIES/PUBLIC SERVICE BOARD IN ACCORDANCE WITH THEIR RULES AND REGULATIONS AND WITH SECTION 16.343 OF THE TEXAS WATER CODE. WATER AND SEWER SERVICES WILL BE EXTENDED TO THE SUBDIVISION FROM EXISTING FACILITIES LOCATED ON RUBY DRIVE, AND WILL BE CONSTRUCTED TO SERVE THE SUBDIVISION ON \_\_\_\_\_ DATE \_\_\_\_\_
  - TAX CERTIFICATE(S) FOR THIS SUBDIVISION ARE FILED IN THE OFFICE OF THE COUNTY CLERK, DEED AND RECORDS SECTION, INSTRUMENT NO. \_\_\_\_\_ DATE \_\_\_\_\_
  - THIS PROPERTY IS LOCATED IN ZONE C AS SHOWN ON FIRM FLOOD INSURANCE RATE MAPS PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, COMMUNITY PANEL NO. 480214-0021 D, DATED: JANUARY 3, 1997
  - FINAL PERCOLATION TEST WITH GEOTECHNICAL RECOMMENDATION, SOIL TEST AND BORING LOG WITH WATER TABLE ELEVATION INFORMATION SHALL BE SUBMITTED PRIOR TO STREET ACCEPTANCE AND /BUILDING PERMITS SUBMIT.

**KISTENMACHER ENGINEERING COMPANY**  
CONSULTING ENGINEERING • LAND PLANNING • SURVEYING  
6044 GATEWAY EAST BLVD., SUITE 800 • EL PASO, TEXAS 79905 • (915) 778-4476  
6336 GREENVILLE AVE, SUITE C • DALLAS, TEXAS 75206 • (214) 234-0011







**SECTION A**  
NOT TO SCALE

**SECTION B**  
NOT TO SCALE

**SECTION C**  
NOT TO SCALE

**SECTION D**  
NOT TO SCALE

NOTE: ALL ROCK MASONRY RETAINING WALLS HIGHER THAN 4' SHALL BE BUILT BY THE DEVELOPER.

NOTE: ALL ROCK MASONRY RETAINING WALLS HIGHER THAN 4' SHALL BE BUILT BY THE DEVELOPER.

FINAL PERCOLATION TEST WITH GEOTECHNICAL RECOMMENDATION, SOIL TEST AND BORING LOG WITH WATER TABLE ELEVATION INFORMATION SHALL BE SUBMITTED PRIOR TO STREET ACCEPTANCE AND /OR BUILDING PERMITS SUBMITTED.

NOTE: INSTALLER OR BUILDER MAY CHOOSE TO TERRACE / INSTALL MULTIPLE WALLS INSTEAD OF ONE LARGE WALL.

TRACT 21D  
AGUILAR, JOSE A & LUCILA S.A. & M.G. R.R. SURV. 266, ABST. 8716, TR. 21-D BK.3706, PG.1122 E.P.C.P.R.  
ZONED: R3

BARRERAS, JOSEPHINE R S.A. & M.G. R.R. SURV. 266, ABST. 8716, TR. 21-G BK.1280, PG.0382 E.P.C.P.R.  
ZONED: R3

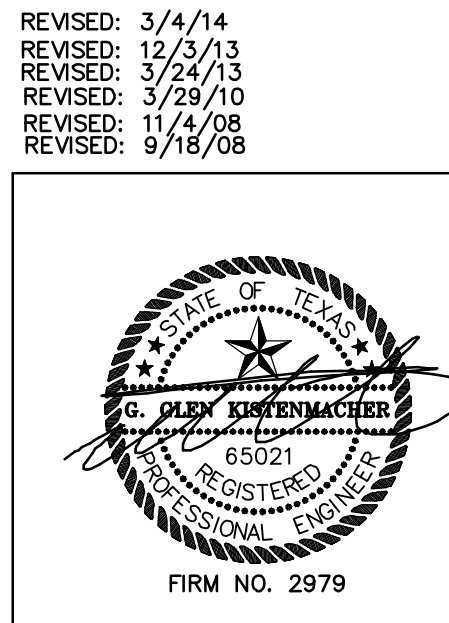
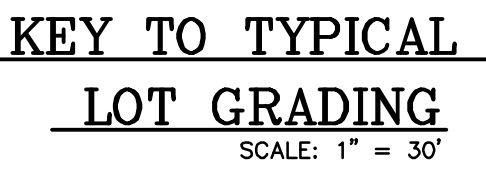
TRACT 22  
RAFAEL JORDAN S.A. & M.G. R.R. SURV. 266, ABST. 8716, TR. 22 BK.1758, PG.0878 E.P.C.P.R.  
ZONED: C4

**LEGEND**

- BOUNDARY LINE
- - - CHAINLINK FENCE
- - - BARBED WIRE FENCE
- - - CENTER LINE
- ROCK MASONRY RETAINING WALL
- ROCKWALL
- OVERHEAD ELECTRIC
- SANITARY SEWER LINE
- EDGE OF PAVEMENT
- MAJOR CONTOUR LINE
- MINOR CONTOUR LINE
- 5/8" IRF
- 5/8" IRF
- CITY MONUMENT
- FINISH CONTOUR LINE
- SANITARY SEWER MANHOLE
- POWER POLE
- 5'x5' PASSING ZONE

**BENCHMARK**

CITY MONUMENT FOUND AT INTERSECTION OF REDD RD. AND DONIPHAN DR. ELEV. 3743.68 CITY OF EL PASO DATUM  
EXISTING SEWER MANHOLE ANNE DR. & ETHEL DR. INV. ELEV. 3764.64 CITY OF EL PASO DATUM



DATE	REVISION DESCRIPTION
11/13/07	RHT
1/9/08	RHT
5/8/08	RHT
7/8/08	RHT
7/29/08	RHT

**GRADING PLAN**  
MONTOYA VISTA

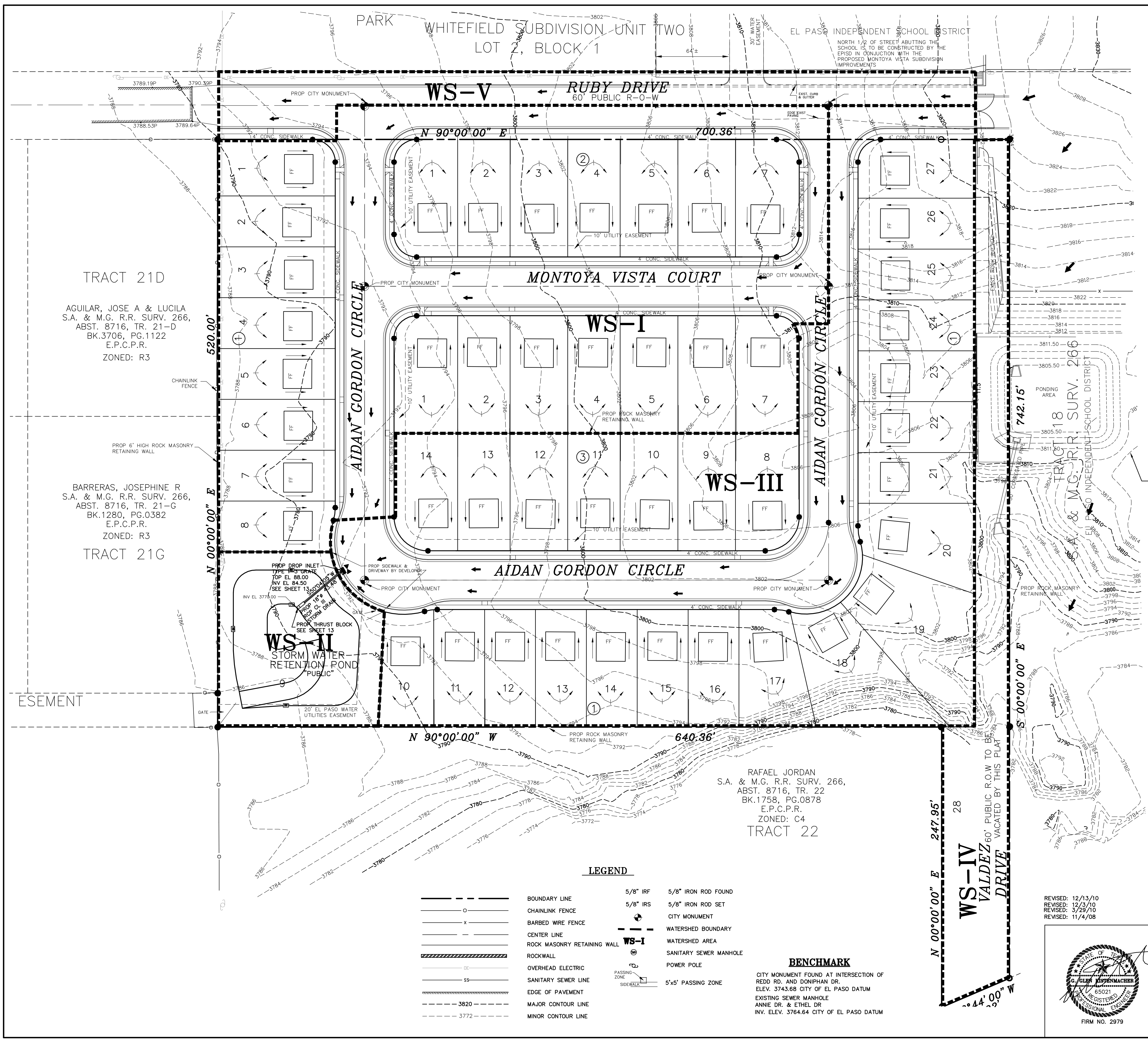
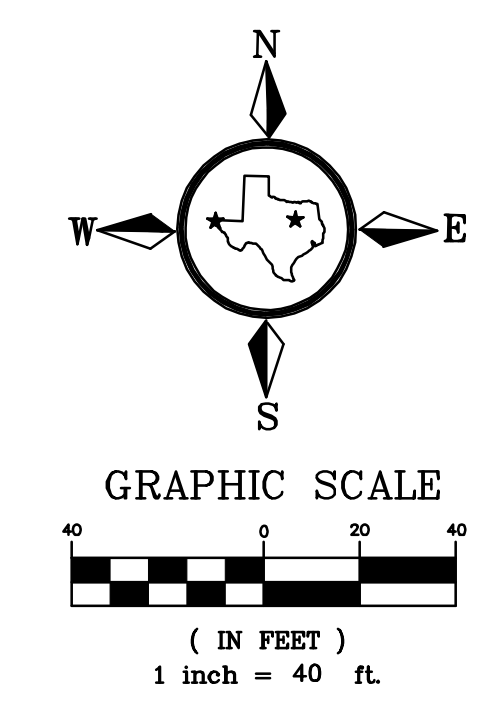
CITY OF EL PASO EL PASO COUNTY TEXAS

DATE: SEPTEMBER 5, 2007 SCALE: 1" = 40' FILE NUMBER: MV-GRAD DATA FILE: DRAWN BY: FIELD BOOK:

KISTENMACHER ENGINEERING COMPANY, INC. RHT

CONSULTING ENGINEERING LAND PLANNING SURVEYING  
1420 GERONIMO DRIVE, SUITE A2 EL PASO, TEXAS 79925 915-778-4476  
6336 GREENVILLE AVE., SUITE C DALLAS, TEXAS 75206 214-234-0011

CHECKED BY: SHEET 3  
GKK OF 14



WATERSHED DESIGNATION	AREA, (ACRES)	TIME OF CONCENTRATION (MIN.)	RAINFALL INTENSITY, IN. / HR	C	Q (CFS)
WS-I	3.807	15	4.00	0.60	9.14
WS-II	0.478	15	4.00	0.60	1.15
WS-III	4.108	15	4.00	0.60	9.86
WS-IV*	0.682	UNDEVELOPED AT THIS TIME (EXCEPT AS SHOWN)			
WS-V	0.531	15	4.00	0.80	1.70

\* FURTHER DEVELOPMENT OF THIS AREA WILL REQUIRE SUBMISSION OF A SEPARATE GRADING & DRAINAGE PLAN

**LEGEND**

- BOUNDARY LINE
- o- CHAINLINK FENCE
- x- BARBED WIRE FENCE
- - - CENTER LINE
- ▬ ROCK MASONRY RETAINING WALL
- ▬ ROCK WALL
- OVERHEAD ELECTRIC
- SANITARY SEWER LINE
- EDGE OF PAVEMENT
- MAJOR CONTOUR LINE
- MINOR CONTOUR LINE
- 5/8" IRF
- 5/8" IRS
- CITY MONUMENT
- WATERSHED BOUNDARY
- ▬ WATERSHED AREA
- ⊕ SANITARY SEWER MANHOLE
- ⊕ POWER POLE
- BENCHMARK
- 5'x5' PASSING ZONE

**BENCHMARK**

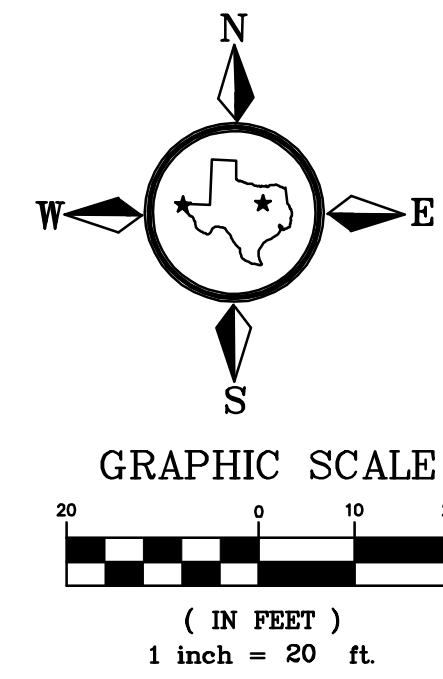
CITY MONUMENT FOUND AT INTERSECTION OF REDD RD. AND DONIPHAN DR. ELEV. 3743.68 CITY OF EL PASO DATUM  
EXISTING SEWER MANHOLE ANNIE DR. & ETHEL DR INV. ELEV. 3764.64 CITY OF EL PASO DATUM

REVISED: 12/13/10  
REVISED: 12/3/10  
REVISED: 3/29/10  
REVISED: 11/4/08



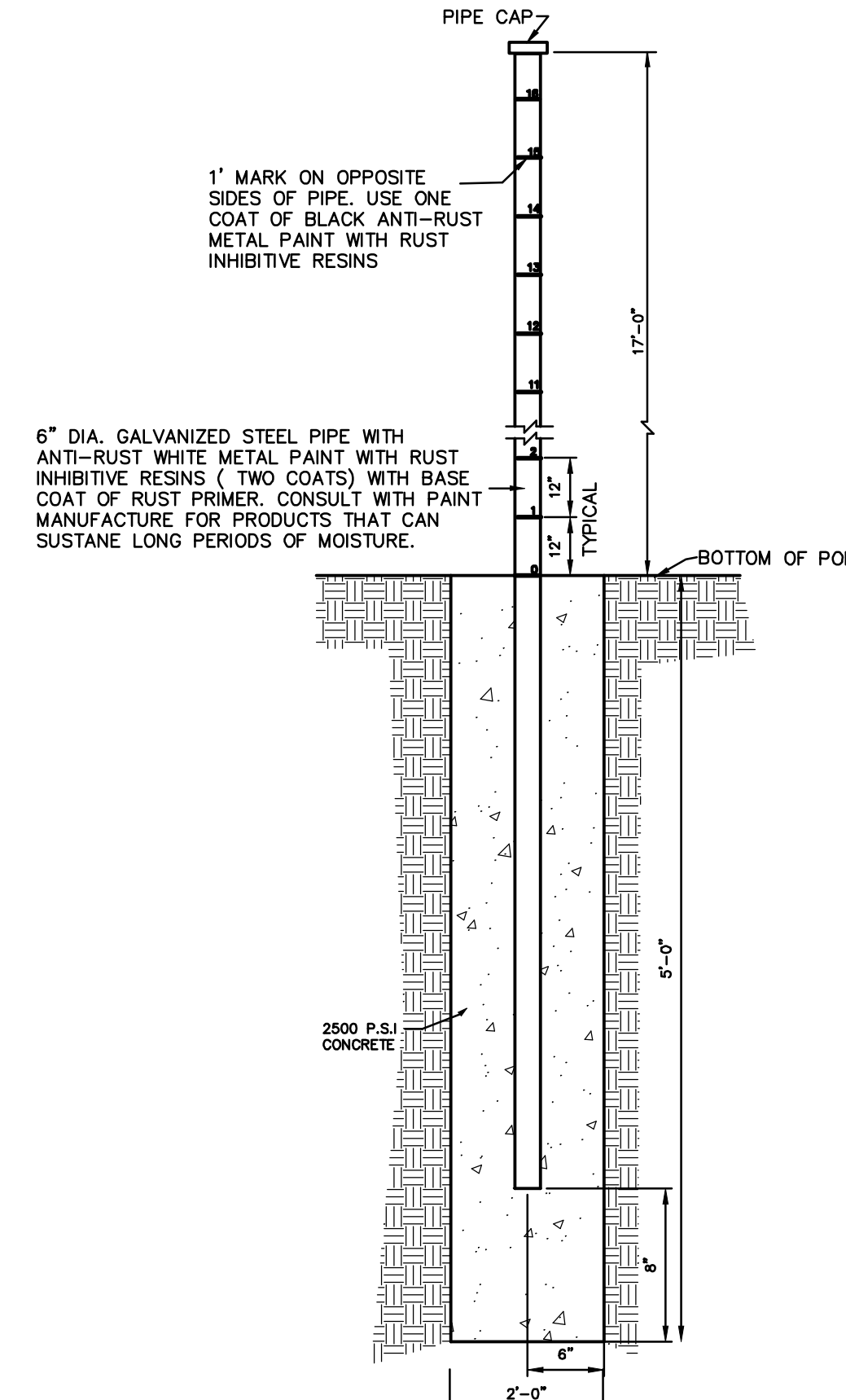
DATE:	REVISION DESCRIPTION:	<b>DRAINAGE PLAN</b> MONTOYA VISTA		
11/13/07	RHT			
5/8/08	RHT			
7/8/08	RHT			
7/29/08	RHT			
9/18/08	RHT			
	RHT			
CITY OF EL PASO		EL PASO COUNTY		TEXAS
DATE: SEPTEMBER 5, 2007		SCALE: 1" = 40'	FILE NUMBER: MV-DRAIN	DATA FILE:
		KISTENMACHER ENGINEERING COMPANY, INC.		DRAWN BY:
		CONSULTING ENGINEERING • LAND PLANNING • SURVEYING 1420 GERONIMO DRIVE, SUITE A2 • EL PASO, TEXAS 79925 • 915-778-4476 6336 GREENVILLE AVE, SUITE C • DALLAS, TEXAS 75206 • 214-234-0011		CHECKED BY:
				RHT
				GF 14



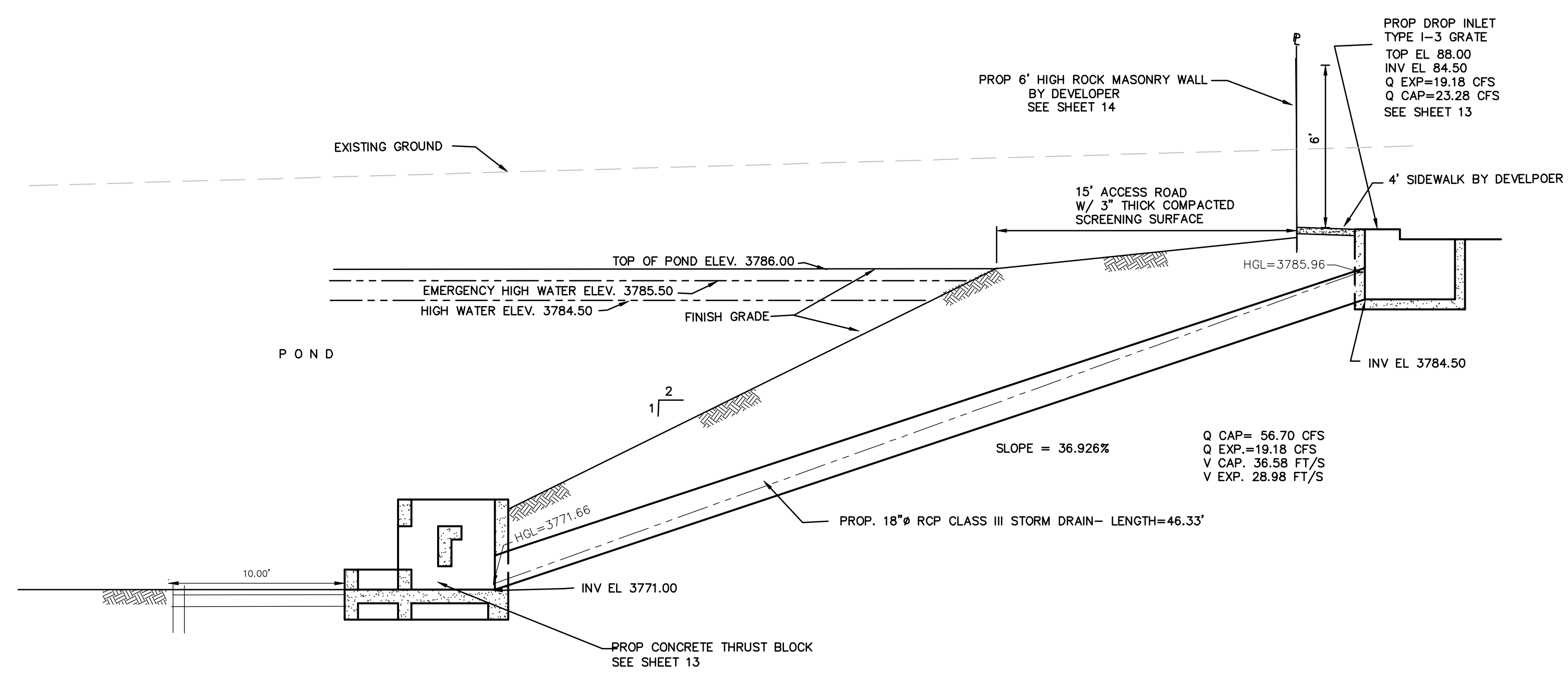
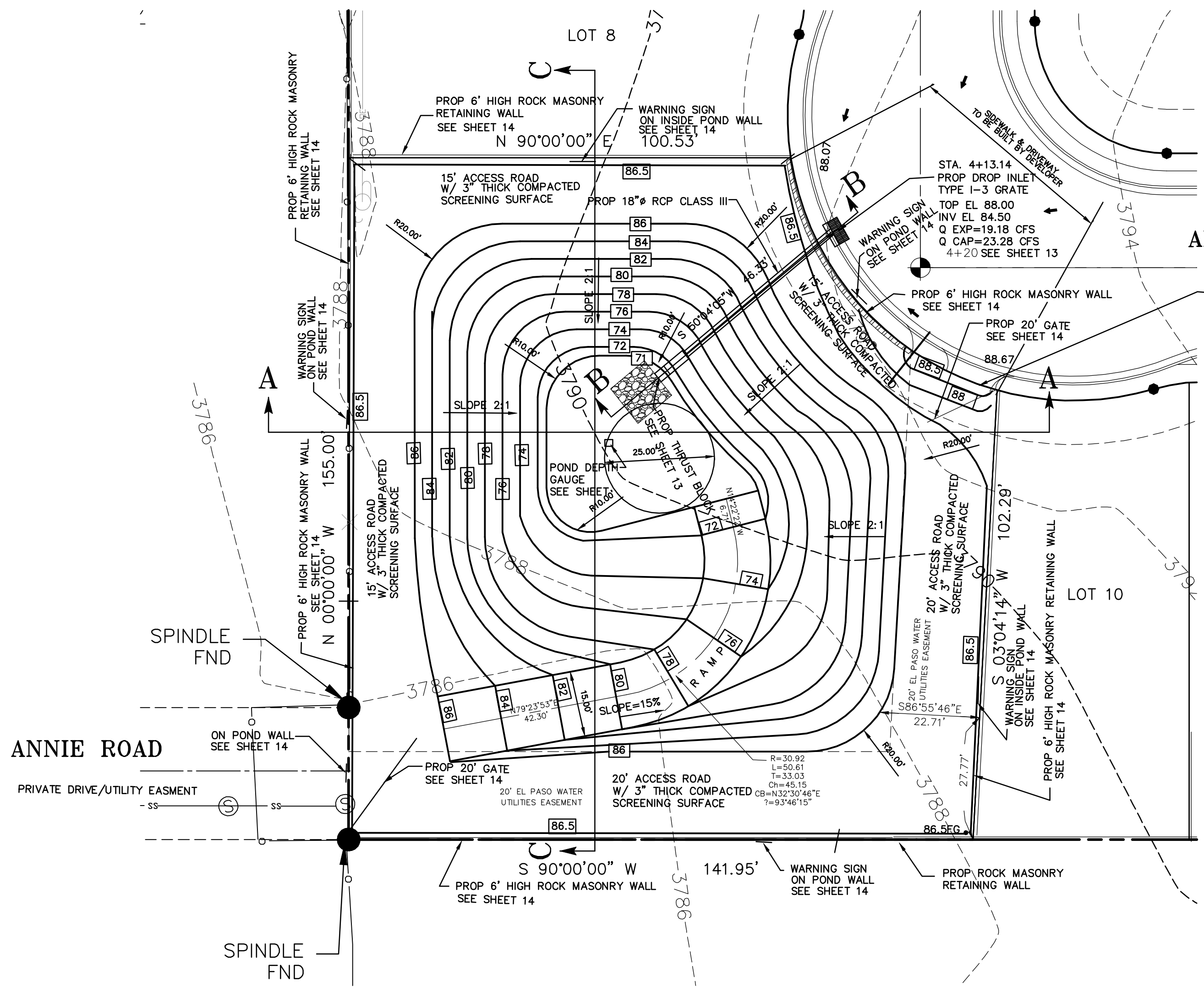


AIDAN GORDON COURT

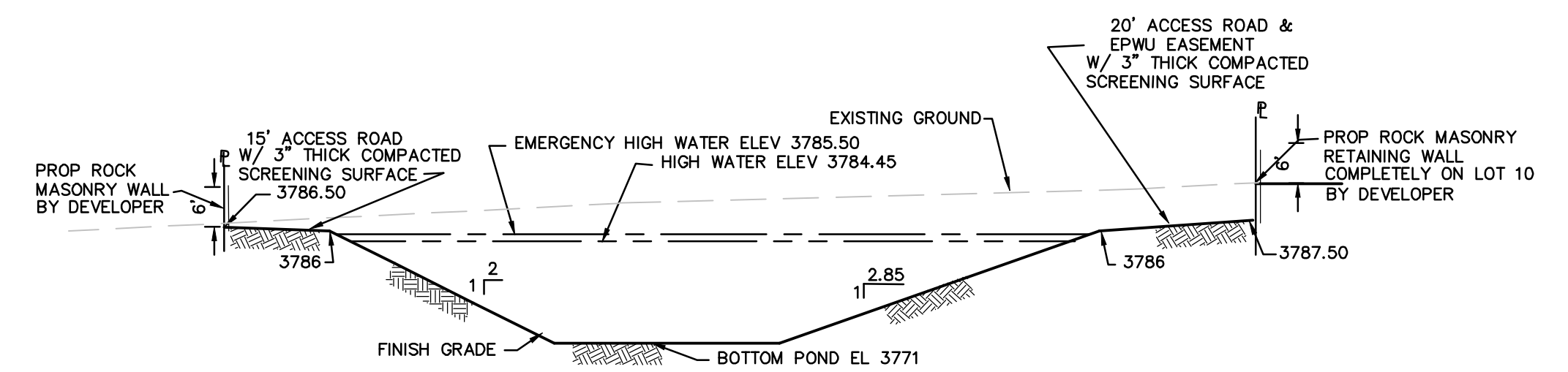
Δ=65°51'20"  
 R=65.00'  
 T=42.10'  
 L=74.71'  
 Ch=70.67'  
 CB=S 41°35'15" E



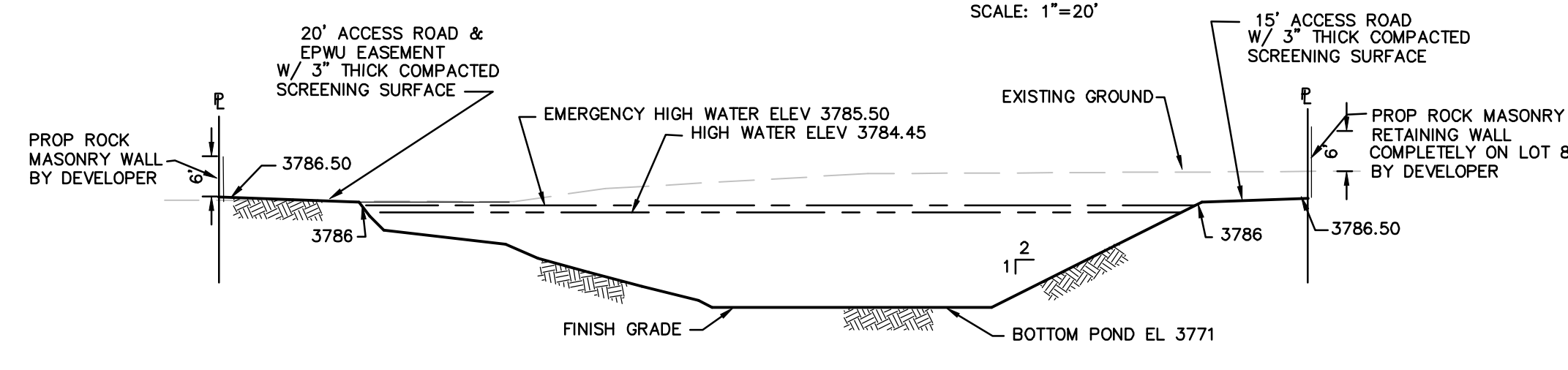
POND DEPTH GAUGE DETAIL  
 NOT TO SCALE



SECTION B - B  
 PROPOSED 18"Ø STORM DRAIN  
 SCALE: 1"=5'



SECTION A - A  
 SCALE: 1"=20'



SECTION C - C  
 SCALE: 1"=20'

**PONDING AREA CALCULATIONS**

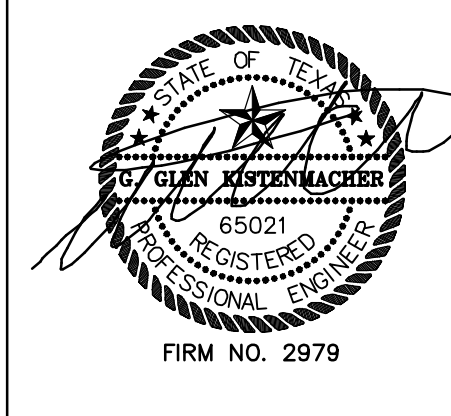
REQUIRED Q =  $\frac{ARC}{12} (1.25) + A (0.006)$   
 $= \frac{(8.393) (4) (0.6)}{12} (1.25) + 8.393 (0.006)$   
 $= 2.17 \text{ AC/FT}$

POND Q (CAPACITY) 2.30 ACRE/FEET @ ELEVATION 3786  
 HIGH WATER ELEVATION=3784.45 (1.74 ACRE-FEET)  
 EMERGENCY HIGH WATER ELEVATION=3785.50 (2.17 ACRE-FEET)  
 CONTRIBUTING WATERSHED INCLUDES WS-I, WS-II AND WS-III.

**BENCHMARK**

CITY MONUMENT FOUND AT INTERSECTION OF REDD RD. AND DONIPHAN DR. ELEV. 3743.68 CITY OF EL PASO DATUM  
 EXISTING SEWER MANHOLE ANNE DR. & ETHEL DR. INV. ELEV. 3764.64 CITY OF EL PASO DATUM

- REVISED: 3/4/14
- REVISED: 12/13/13
- REVISED: 12/13/13
- REVISED: 9/24/13
- REVISED: 5/29/10
- REVISED: 11/4/08
- REVISED: 9/25/08
- REVISED: 9/18/08
- REVISED: 7/29/08



DATE	REVISION DESCRIPTION
11/14/07	RHT
11/21/07	RHT
1/9/08	RHT
5/9/08	RHT
7/8/08	RHT

**PONDING AREA**  
 MONTOYA VISTA

CITY OF EL PASO      EL PASO COUNTY      TEXAS

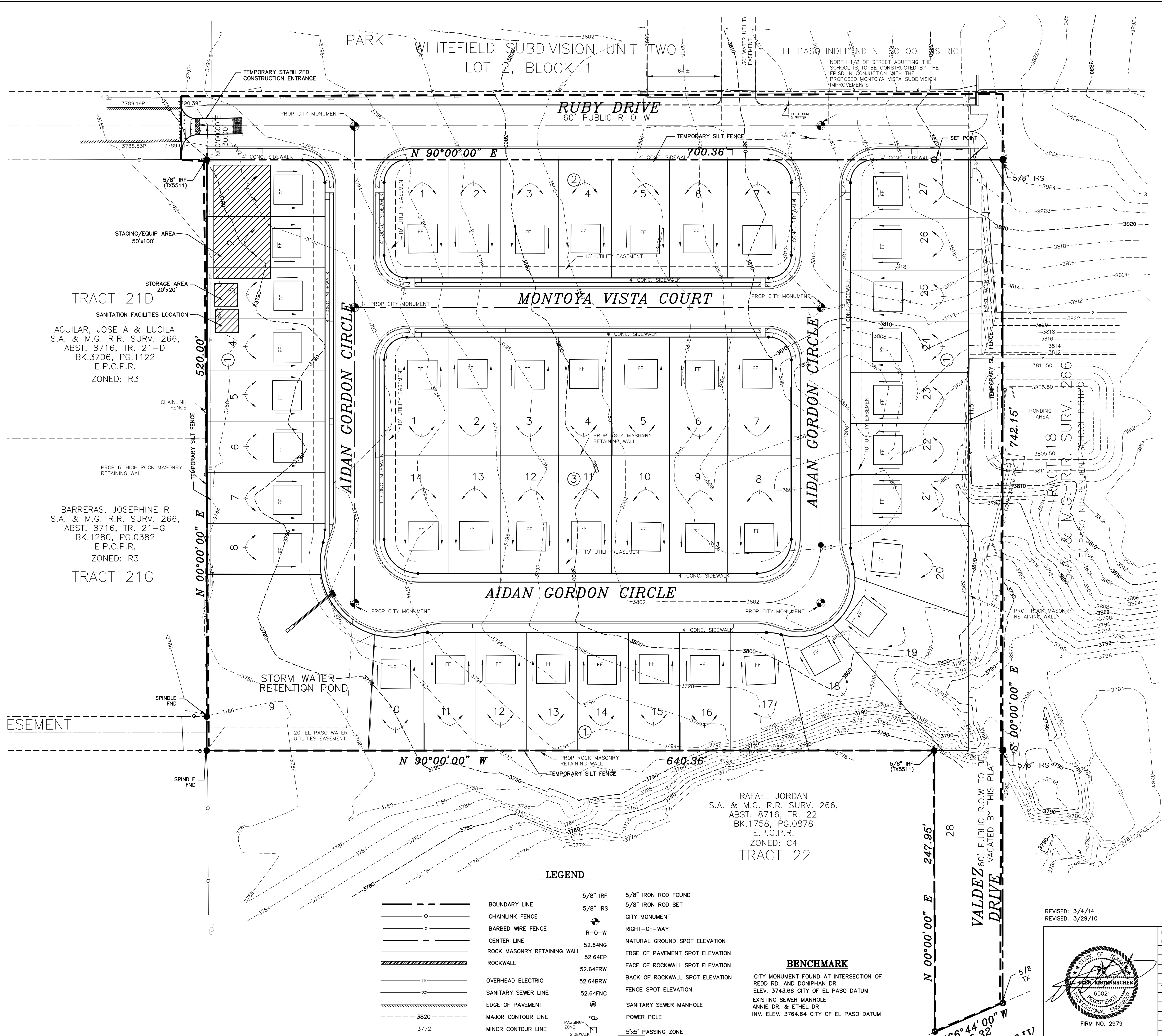
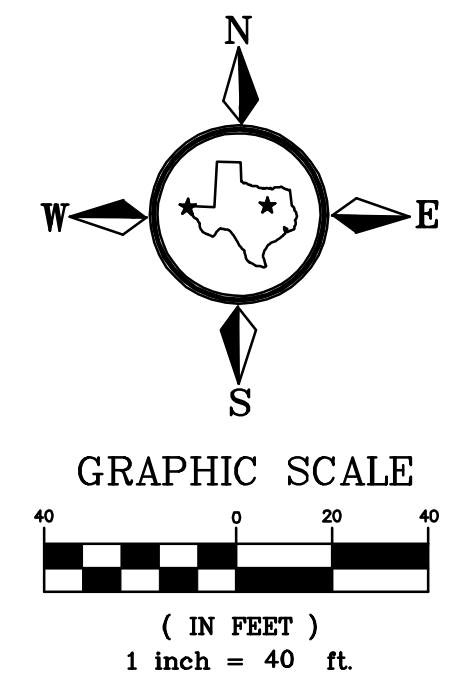
DATE: SEPTEMBER 5, 2007      SCALE: 1" = 20'      FILE NUMBER: MV-POND

DATA FILE:	DRAWN BY:	FIELD BOOK:
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	RHT	
	RHT	
	RHT	
	RHT	
	RHT	
	RHT	

**KISTENMACHER ENGINEERING COMPANY, INC.**

CONSULTING ENGINEERING      LAND PLANNING      SURVEYING  
 1420 GERONIMO DRIVE, SUITE A2      EL PASO, TEXAS 79925      815-778-4476  
 6336 GREENVILLE AVE., SUITE C      DALLAS, TEXAS 75206      214-234-0011

CHECKED BY: GGK      SHEET 5 OF 14



TRACT 21D  
 AGUILAR, JOSE A & LUCILA  
 S.A. & M.G. R.R. SURV. 266,  
 ABST. 8716, TR. 21-D  
 BK.3706, PG.1122  
 E.P.C.P.R.  
 ZONED: R3

BARRERAS, JOSEPHINE R  
 S.A. & M.G. R.R. SURV. 266,  
 ABST. 8716, TR. 21-G  
 BK.1280, PG.0382  
 E.P.C.P.R.  
 ZONED: R3  
 TRACT 21G

RAFAEL JORDAN  
 S.A. & M.G. R.R. SURV. 266,  
 ABST. 8716, TR. 22  
 BK.1758, PG.0878  
 E.P.C.P.R.  
 ZONED: C4  
 TRACT 22

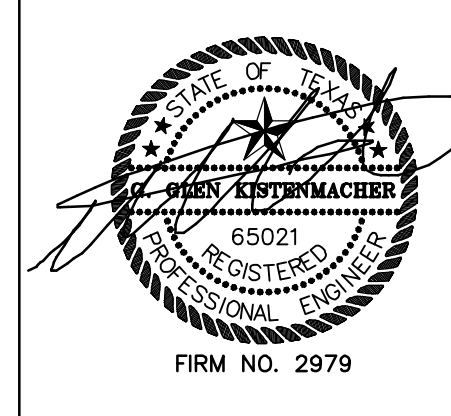
**LEGEND**

	BOUNDARY LINE		5/8" IRF		5/8" IRF SET
	CHAINLINK FENCE		R-O-W		CITY MONUMENT
	BARBED WIRE FENCE		NATURAL GROUND SPOT ELEVATION		EDGE OF PAVEMENT SPOT ELEVATION
	CENTER LINE		FACE OF ROCKWALL SPOT ELEVATION		BACK OF ROCKWALL SPOT ELEVATION
	ROCK MASONRY RETAINING WALL		FENCE SPOT ELEVATION		SANITARY SEWER MANHOLE
	ROCKWALL		POWER POLE		5'x5' PASSING ZONE
	OVERHEAD ELECTRIC		SANITARY SEWER MANHOLE		
	SANITARY SEWER LINE				
	EDGE OF PAVEMENT				
	MAJOR CONTOUR LINE				
	MINOR CONTOUR LINE				

**BENCHMARK**

CITY MONUMENT FOUND AT INTERSECTION OF  
 REDD RD. AND DONIPHAN DR.  
 ELEV. 3743.68 CITY OF EL PASO DATUM  
 EXISTING SEWER MANHOLE  
 ANNIE DR. & ETHEL DR  
 INV. ELEV. 3764.64 CITY OF EL PASO DATUM

REVISED: 3/4/14  
 REVISED: 3/29/10



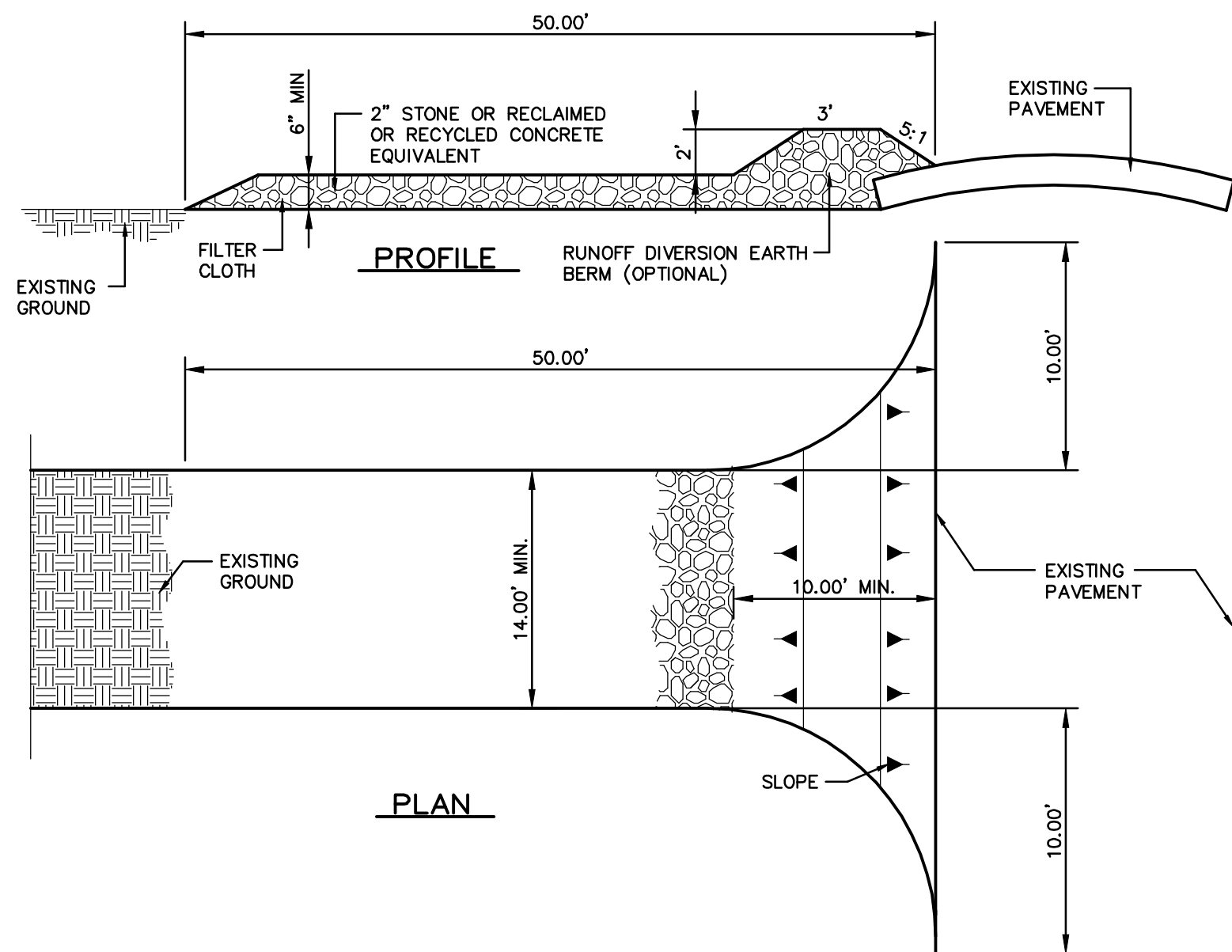
DATE	REVISION DESCRIPTION
5/8/08	RHT
7/8/08	RHT
7/29/08	RHT
9/18/08	RHT
11/4/08	RHT

**STORM WATER POLLUTION PREVENTION PLAN**  
 MONTOYA VISTA

CITY OF EL PASO EL PASO COUNTY TEXAS

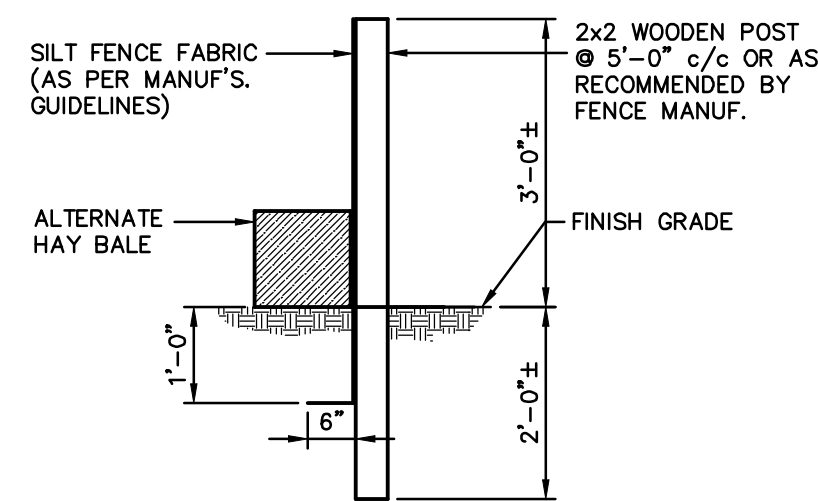
DATE: SEPTEMBER 5, 2007	SCALE: 1" = 40'	FILE NUMBER: MV-SWPPP	DATA FILE:
	KISTENMACHER ENGINEERING COMPANY, INC.	RHT	FIELD BOOK:
CONSULTING ENGINEERING	LAND PLANNING	SURVEYING	CHECKED BY: SHEET 6
1420 GERMOND DRIVE, SUITE A2	EL PASO, TEXAS 79925	915-778-4476	GGK OF 14
6330 GREENVILLE AVE, SUITE C	DALLAS, TEXAS 75206	214-234-0011	





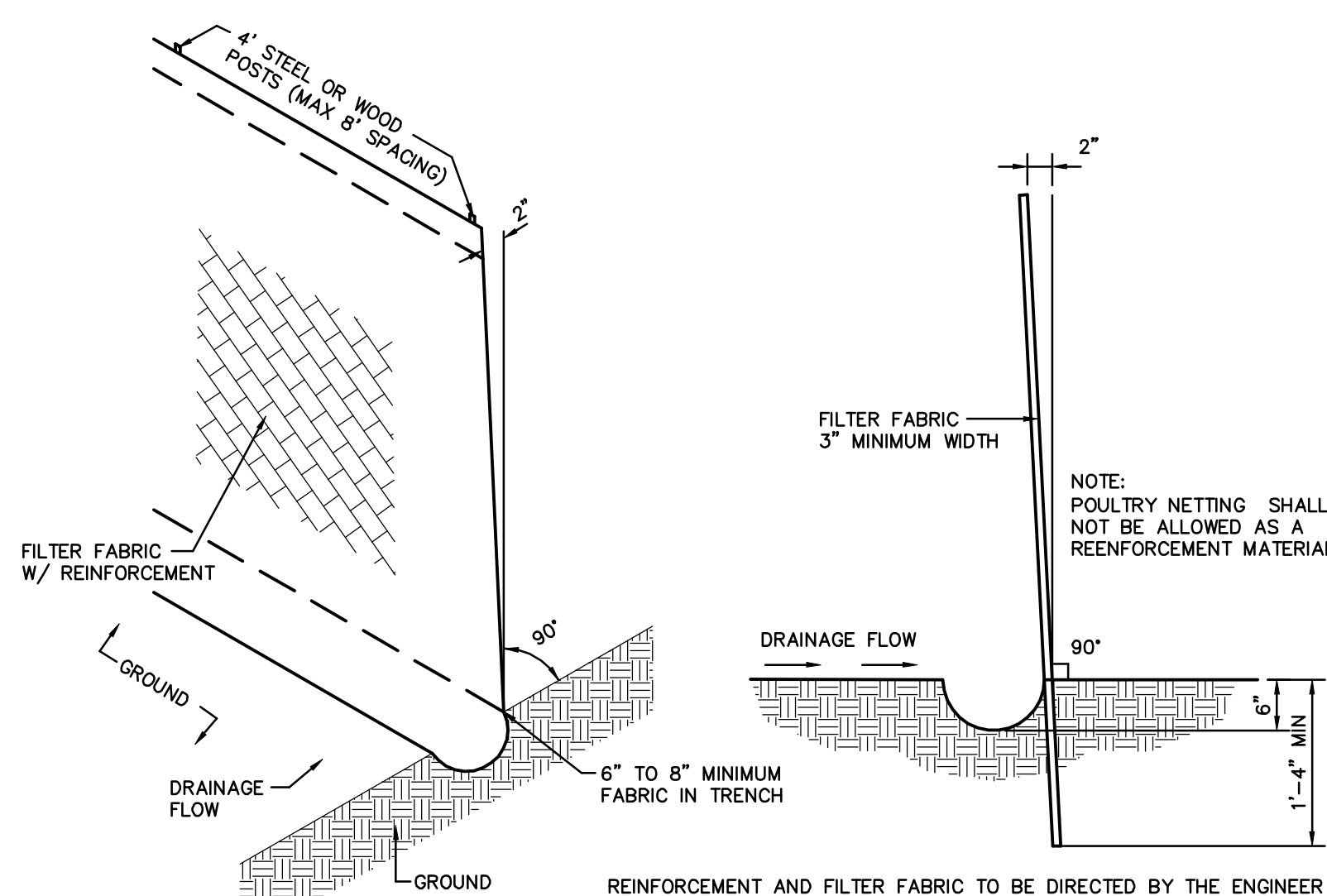
**STABILIZED CONSTRUCTION ENTRANCE**

Dwg Name: STACE.dwg SCALE: NOT TO SCALE



**SILT FENCE DETAIL**

Dwg Name: silgfd.dwg SCALE: 1/2" = 1'-0"



**SEDIMENT CONTROL FENCE**

Dwg Name: sedct.dwg SCALE: NOT TO SCALE

**SWPPP INSPECTION REPORT**

PROJECT NAME: \_\_\_\_\_  
 CONTRACTOR: \_\_\_\_\_ DATE OF INSPECTION: \_\_\_\_\_  
 INSPECTION CONDUCTED BY: \_\_\_\_\_  
 PRINT NAME SIGNATURE  
 QUALIFICATIONS OF INSPECTOR: \_\_\_\_\_  
 REPORT PREPARED BY: (CIRCLE ONE) CONTRACTOR OWNER  
 7 DAY INSPECTION 14 DAY INSPECTION AFTER-RAIN EVENT INSPECTION

**SITE DESCRIPTION**

PROJECT TITLE: \_\_\_\_\_  
 OWNER AND ADDRESS: \_\_\_\_\_  
 DESCRIPTION: \_\_\_\_\_  
 SITE ATER: \_\_\_\_\_

INSPECTION ISSUE	Y	N	N/A	COMMENTS
ARE NPDES PERMITS, FOR ALL PERMITEES POSTED AT THE CONSTRUCTION ENTRANCE ?				
IS CONTACT INFORMATION FOR ALL PERMITS POSTED AT THE CONSTRUCTION ENTRANCE ?				
ARE COPIES OF INSPECTION REPORT INCLUDED WITH THE SWPPP ?				
IS A COPY OF THE SWPPP CERTIFICATION FOR ALL PERMITS INCLUDED WITH SWPPP ?				
IF THE BMP'S HAVE BEEN MODIFIED, HAS THE SWPPP BEEN MODIFIED ?				
ARE THERE ANY SIGNS OF DISCHARGE LEAVING THE SITE ?				
ARE ALL BMP'S FUNCTIONING AS INTENDED ?				
ANY ADDITIONAL BMS'S REQUIRED ?				
ARE STABILIZED ENTRANCES/EXITS PREVENTING STREET CONTAMINATION ?				
ARE ANY BMP'S IN NEED OF REPAIR AND/OR MAINTENANCE ?				
ARE ANY HAZARDOUS MATERIALS BEING EXPOSED TO STORM WATER RUNOFF ?				
HAVE THERE BEEN ANY REPORTABLE SPILLS OF HAZARDOUS MATERIAL ?				
HAVE ALL AREAS OF THE SITE NOT COVERED BY IMPERVIOUS MATERIALS ACHIEVED THE REQUIRED COVERAGE ?				
ARE ALL SOIL-DISTURBING ACTIVITIES COMPLETE ? HAS A NOTICE OF TERMINATION (NOT) BEEN				

**NOTE:** ALL ITEMS OF NON-COMPLIANCE SHALL BE REPAIRED/INSTALLED WITHIN SEVEN (7) CALENDAR DAYS OF INSPECTION. REPAIRS/INSTALLATION SHALL BE COMPLETED IMMEDIATELY, IF STORM CONDITIONS ARE IMMINENT.

NOTE INCIDENTS OF NON-COMPLIANCE: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

I CERTIFY UNDER PENALTY OF LAW THAT THIS DOCUMENT AND ALL ATTACHMENTS WERE PREPARED UNDER MY DIRECTION OR SUPERVISION IN ACCORDANCE WITH A SYSTEM DESIGNED TO ENSURE THAT QUALIFIED PERSONNEL, PROPERTY GATHERED AND EVALUATED THE INFORMATION SUBMITTED, BASED ON MY INQUIRY OF THE PERSON OR PERSONS WHO MANAGE THE SYSTEM, OR THOSE PERSONS DIRECTLY RESPONSIBLE FOR GATHERING THE INFORMATION, THE INFORMATION SUBMITTED, TO THE BEST OF MY KNOWLEDGE AND BELIEF, TRUE, ACCURATE, AND COMPLETE. I AM AWARE THAT THERE ARE SIGNIFICANT PENALTIES FOR SUBMITTING FALSE INFORMATION, INCLUDING THE POSSIBILITY OF FINE AND IMPRISONMENT FOR KNOWING VIOLATIONS.

SIGNATURE: \_\_\_\_\_ DATE \_\_\_\_\_  
 PRINTED NAME: \_\_\_\_\_  
 TITLE: \_\_\_\_\_

**INSPECTIONS**

- A. GENERAL
- EACH CONTRACTOR WILL DESIGNATE A QUALIFIED PERSON TO PERFORM THE FOLLOWING INSPECTIONS:
    - DISTURBED AREAS AND AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION WILL BE INSPECTED FOR EVIDENCE OF, OR THE POTENTIAL FOR, POLLUTANTS CONTAMINATING THE AREA.
    - EROSION AND SEDIMENT CONTROL MEASURES IDENTIFIED IN THE PLAN WILL BE OBSERVED TO ENSURE THAT THEY ARE OPERATING CORRECTLY.
    - WHERE DISCHARGE LOCATIONS OR POINTS ARE ACCESSIBLE, THEY WILL BE INSPECTED TO ASCERTAIN WHERE EROSION CONTROL MEASURES ARE EFFECTIVE IN PREVENTING SIGNIFICANT IMPACTS TO THE SURROUNDING AREA.
    - LOCATIONS WHERE VEHICLES ENTER OR EXIT THE DISTURBED AREAS OF THE SITE WILL BE INSPECTED FOR EVIDENCE OF OFFSITE SEDIMENT TRACKING.
  - THE INSPECTION WILL BE CONDUCTED BY THE RESPONSIBLE PERSON AT LEAST ONCE EVERY 7 CALENDAR DAYS. INSPECTIONS SHALL TAKE PLACE ON TUESDAY OF THE WORKWEEK, ALLOWING SUFFICIENT TIME DURING THE SAME WORKWEEK FOR NECESSARY MAINTENANCE AND/OR REPAIR OF SITE CONTROL.
  - AFTER A PORTION OF THE SITE IS FINALLY STABILIZED, INSPECTION WILL BE CONDUCTED AT LEAST ONCE EVERY MONTH.
  - BASED ON THE RESULTS OF THE INSPECTION, THE SITE EROSION AND SEDIMENT CONTROL DRAWING (SWPPP DRAWING) WILL BE REVISED AS APPROPRIATE, BUT IN NO CASE LATER THAN 7 CALENDAR DAYS FOLLOWING THE INSPECTION.
  - A REPORT SUMMARIZING THE SCOPE OF THE INSPECTION, NAME(S) AND QUALIFICATIONS OF PERSONNEL MAKING THE INSPECTION, MAJOR OBSERVATIONS RELATED TO THE IMPLEMENTATION OF SWPPP, AND ACTIONS TAKEN IN ACCORDANCE WITH THIS SECTION WILL BE MADE AND RETAINED AS PART OF THE SWPPP FOR AT LEAST THREE YEARS FROM THE DATE THAT THE SITE IS FINALLY STABILIZED. THE REPORT WILL BE SIGNED BY THE QUALIFIED INSPECTOR.

**NOTES**

- THERE ARE NO HISTORICAL STRUCTURES SITUATED ON THIS SITE
- THERE ARE NO ENDANGERED SPECIES AFFECTED BY THIS CONSTRUCTION PROJECT.
- n VALUE = 0.50

**BENCHMARK**

CITY MONUMENT FOUND AT INTERSECTION OF REDD RD. AND DONIPHAN DR.  
 ELEV. 3743.68 CITY OF EL PASO DATUM  
 EXISTING SEWER MANHOLE ANNIE DR. & ETHEL DR  
 INV. ELEV. 3764.64 CITY OF EL PASO DATUM

**EROSION AND SEDIMENT CONTROL**

**SOIL STABILIZATION PRACTICES**

- \_\_\_ TEMPORARY SEEDING
- \_\_\_ PERMANENT PLANTING, SODDING, OR SEEDING
- \_\_\_ MULCHING
- \_\_\_ SOIL RETENTION BLANKET
- \_\_\_ BUFFER ZONES
- \_\_\_ PRESERVATION OF NATURAL RESOURCES

OTHER \_\_\_\_\_  
 \_\_\_\_\_

**STRUCTURAL PRACTICES**

- \_\_\_ SILT FENCE
- \_\_\_ HAY BALES
- \_\_\_ EARTH BERMS
- \_\_\_ DIVERSION, INTERCEPTOR OR PERIMETER DIKES
- \_\_\_ DIVERSION, INTERCEPTOR OR PERIMETER SWALES
- \_\_\_ DIVERSION DIKES AND SWALES COMBINATION
- \_\_\_ RETENTION BASINS
- \_\_\_ CONCRETE FLUMES
- \_\_\_ ROCK BEDDING AT CONSTRUCTION EXIT
- \_\_\_ TIMBER MATTING AT CONSTRUCTION EXIT
- \_\_\_ CHANNEL LINERS
- \_\_\_ SEDIMENT TRAPS
- \_\_\_ SEDIMENT BASINS
- \_\_\_ STORM INLET SEDIMENT TRAP STONE OUTLET STRUCTURES
- \_\_\_ CURBS AND GUTTERS
- \_\_\_ STORM DRAINS
- \_\_\_ VELOCITY CONTROL DEVICES
- \_\_\_ VEGETATED SWALED AND NATURAL DEPRESSIONS
- \_\_\_ OTHER \_\_\_\_\_

**NARRATIVE: SEQUENCE OF CONSTRUCTION (STORM WATER MANAGEMENT) ACTIVITIES**

- INSTALL TEMPORARY EROSION AND SEDIMENT CONTROL (e.g. SILT FENCE AND/OR BERMS AND STABILIZED CONSTRUCTION ENTRANCE.)
- EXCUTE GRADING.
- COMPLETE SITE GRADING.
- EXCAVATION FOR UTILITIES.
- COMPLETION OF SITE IMPROVEMENTS.
- WHEN ALL CONSTRUCTION ACTIVITIES RELATED TO THE DEVELOPMENT OF THE SITE ARE COMPLETED, REMOVE TEMPORARY CONTROLS MENTIONED IN NOTE NO. 1 ABOVE, AND THEN SUBMIT NOTICE OF TERMINATION FORM.
- APPROXIMATE SCHEDULE OF MAJOR ACTIVITIES:  
 SITE GRADING = .200 THROUGH \_\_\_\_\_, .200 THROUGH \_\_\_\_\_, .200 THROUGH \_\_\_\_\_  
 TERMINATION OF GRADING TO END OF PROJECT = \_\_\_\_\_, .200 THROUGH \_\_\_\_\_, .200 THROUGH \_\_\_\_\_

**MATERIALS OR SUBSTANCES EXPECTED TO BE PRESENT ON SITE DURING CONSTRUCTION**

- \_\_\_ CONCRETE
  - \_\_\_ PETROLEUM BASED PRODUCTS
  - \_\_\_ FUELS
  - \_\_\_ DETERGENTS
  - \_\_\_ CLEANING SOLVANTS
  - \_\_\_ WATER WASHING
  - \_\_\_ PAINTS (ENAMEL AND LATEX)
  - \_\_\_ WOOD
  - \_\_\_ GLUES, ADHESIVES
  - \_\_\_ METAL STUDS
  - \_\_\_ ROOFING SHINGLES
  - \_\_\_ ROOFING SHINGLES
  - \_\_\_ TAR
  - \_\_\_ OLS
  - \_\_\_ CURING COMPOUNDS
- (NO ASBESTOS ON SITE)

**GENERAL CONTRACTOR CERTIFICATION**

I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND THE TERMS AND CONDITIONS OF THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) GENERAL PERMIT THAT AUTHORIZES STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY FROM THE CONSTRUCTION SITE IDENTIFIED AS PART OF THIS CERTIFICATION.

SIGNED: \_\_\_\_\_ COMPANY: \_\_\_\_\_  
 NAME: \_\_\_\_\_ ADDRESS: \_\_\_\_\_  
 TITLE: \_\_\_\_\_ TELEPHONE: \_\_\_\_\_  
 DATE: \_\_\_\_\_

**SUB - CONTRACTOR CERTIFICATION**

I CERTIFY UNDER PENALTY OF LAW THAT I WILL COORDINATE EITHER THROUGH THE GENERAL CONTRACTOR, OWNER, OR DIRECTLY, WITH THE CONTRACTOR(S) AND/OR SUBCONTRACTOR(S) IDENTIFIED IN THE POLLUTION PREVENTION PLAN, HAVING RESPONSIBILITY FOR IMPLEMENTING STORM WATER CONTROL MEASURES TO MINIMIZE ANY IMPACT MY ACTIONS MAY HAVE ON THE EFFECTIVENESS OF THESE STORM WATER CONTROLS MEASURES.

SIGNED: \_\_\_\_\_ SIGNED: \_\_\_\_\_  
 NAME: \_\_\_\_\_ NAME: \_\_\_\_\_  
 TITLE: \_\_\_\_\_ TITLE: \_\_\_\_\_  
 COMPANY: \_\_\_\_\_ COMPANY: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_ ADDRESS: \_\_\_\_\_  
 TELEPHONE: \_\_\_\_\_ TELEPHONE: \_\_\_\_\_  
 DATE: \_\_\_\_\_ DATE: \_\_\_\_\_

**OWNER'S CERTIFICATION**

I CERTIFY UNDER PENALTY OF LAW THAT THIS DOCUMENT AND ALL ATTACHMENTS WERE PREPARED UNDER MY DIRECTION OR SUPERVISION IN ACCORDANCE WITH A SYSTEM DESIGNED TO ASSURE THAT QUALIFIED PERSONNEL, PROPERTY GATHERED AND EVALUATED THE INFORMATION SUBMITTED, BASED ON MY INQUIRY OF THE PERSON OR PERSONS WHO MANAGE THE SYSTEM, OR THOSE PERSONS DIRECTLY RESPONSIBLE FOR GATHERING THE INFORMATION, THE INFORMATION SUBMITTED, TO THE BEST OF MY KNOWLEDGE AND BELIEF, TRUE, ACCURATE, AND COMPLETE. I AM AWARE THAT THERE ARE SIGNIFICANT PENALTIES FOR SUBMITTING FALSE INFORMATION, INCLUDING THE POSSIBILITY OF FINE AND IMPRISONMENT FOR KNOWING VIOLATIONS.

OWNER: SIGNED \_\_\_\_\_ DATE \_\_\_\_\_  
 OWNER: NAME \_\_\_\_\_ DATE \_\_\_\_\_  
 TITLE: \_\_\_\_\_ DATE \_\_\_\_\_

**BEST MANAGEMENT PRACTICES CONTROLS**

**I WASTE MATERIALS:**

ALL WASTE MATERIALS, INCLUDING CONSTRUCTION DEBRIS, SHALL BE COLLECTED AND STORED IN A LICENSED METAL DUMPSTER. NO CONSTRUCTION WASTE MATERIAL SHALL BE BURIED ON SITE. THE TRANSIT DUMPSTER SHALL COMPLY WITH ORDINANCE 18.52.010 (ENCLOSURE AND REMOVAL OF WASTE MATERIALS DURING CONSTRUCTION). THE DUMPSTER SHALL BE EMPTIED AS NECESSARY OR AS REQUIRED BY ORDINANCE 9.04 (SOLID WASTE MANAGEMENT) AND THE TRASH SHALL BE HAULED TO A LICENSED LANDFILL.

**II HAZARDOUS WASTE**

AT A MINIMUM ANY PRODUCTS IN THE FOLLOWING CATEGORIES SHALL BE CONSIDERED HAZARDOUS: PAINT, ACIDS FOR CLEANING MASONRY SURFACES, CLEANING SOLVENTS, ASPHALT PRODUCTS, CHEMICAL ADDITIVES FOR SPILL STABILIZATION, CURING COMPOUNDS AND ADDITIVES. IN THE EVENT OF A SPILL WHICH MAY BE HAZARDOUS, THE CONTRACTOR SHALL TAKE IMMEDIATE ACTION AND CONTACT THE FIRE DEPT. AND THRC.

**III SANITARY WASTE**

ALL SANITARY WASTE SHALL BE COLLECTED FROM THE CONSTRUCTION PORTABLE UNITS AS NECESSARY OR AS REQUIRED, CHAPTER 18.08 (BUILDING CODE) BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR. ALL WASTE MATERIAL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

**IV SPILL PREVENTION:**

THE FOLLOWING PRACTICES SHALL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURES OF MATERIALS TO STORM WATER RUNOFF.

**V GOOD HOUSEKEEPING:**

- STORE ONLY ENOUGH PRODUCTS REQUIRED TO DO THE JOB.
- NEATLY STORE MATERIALS ON-SITE IN AN ORDERLY MANNER.
- KEEP PRODUCTS IN THEIR ORIGINAL CONTAINER.
- DO NOT MIX SUBSTANCES WITH ONE ANOTHER, UNLESS OTHERWISE RECOMMENDED BY THE MANUFACTURER.
- USE ENTIRE CONTENTS OF A PRODUCT BEFORE DISPOSING THE CONTAINER.
- FOLLOW MANUFACTURE'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL.

**VI HAZARDOUS PRODUCTS:**

- PRACTICES TO REDUCE RISKS:
- KEEP PRODUCTS IN THEIR ORIGINAL CONTAINER IF AT ALL POSSIBLE.
  - RETAIN ORIGINAL LABELS, PRODUCT INFORMATION AND MATERIAL SAFETY DATA SHEETS (MSDS).
  - DISPOSE SURPLUS PRODUCTS IN ACCORDANCE WITH MANUFACTURE'S OR LOCAL AND STATE RECOMMENDED METHODS.

**VII PETROLEUM PRODUCTS:**

ALL ON-SITE VEHICLES SHALL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTIVE MAINTENANCE TO REDUCE THE CHANCE OF LEAKAGE. PETROLEUM PRODUCTS SHALL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED. ANY ASPHALT SUBSTANCES USED ON-SITE SHALL BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATION.

**VIII SPILL CONTROL PRACTICES:**

- MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP SHALL BE CLEARLY POSTED AND SITE PERSONNEL SHALL BE MADE AWARE OF THE PROCEDURES.
- MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP SHALL BE KEPT IN THE MATERIAL STORAGE AREA ON-SITE.
- ALL SPILLS SHALL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY.
- SPILL AREA SHALL BE WELL VENTILATED AND APPROPRIATE CLOTHING WILL BE WORN.
- ANY SPILL SHALL BE REPORTED TO THE APPROPRIATE GOVERNMENT AGENCY.
- MEASURES SHALL BE TAKEN TO PREVENT A SPILL FROM REOCCURRING.

**IX MAINTENANCE AND INSPECTION PROCEDURES:**

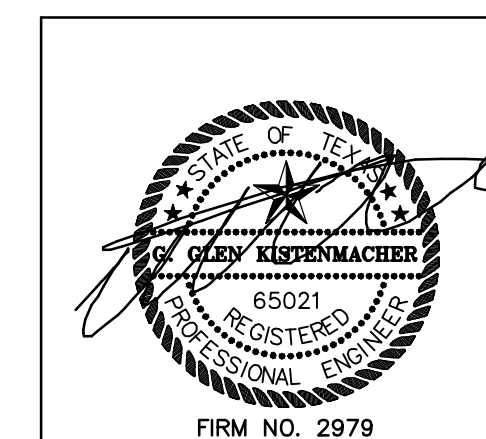
ALL POLLUTION PREVENTION MEASURES SHALL BE INSPECTED AT LEAST ONCE A MONTH OR WITHIN 24-HOURS PRIOR TO ANTICIPATED STORM EVENT AND FOLLOWING A STORM EVENT OF 0.50 INCHES OR MORE. INSPECTION IN FINAL STABILIZED AREAS OR DURING ARID PERIODS WILL BE CONDUCTED MONTHLY. BEST MANAGEMENT PRACTICES AND POLLUTION CONTROL PROCEDURES SHALL BE INSPECTED FOR ADEQUACY. A REPORT SUMMARIZING THE SCOPE OF INSPECTION SHALL BE DONE AND RETAINED ALONG WITH THE SDPCP.

**X REMARKS:**

DISPOSAL AREAS, STOCKPILES, AND HAUL ROADS SHALL BE CONSTRUCTED IN A MANNER THAT WILL MINIMIZE AND CONTROL THE AMOUNT OF SEDIMENT THAT MAY ENTER RECEIVING WATER. DISPOSAL AREAS SHALL NOT BE LOCATED IN ANY WETLAND, WATERBODY OR STREAMBED. CONSTRUCTION STAGING AREAS AND VEHICLE MAINTENANCE AREAS SHALL BE CONSTRUCTED BY THE CONTRACTOR IN A MANNER TO MINIMIZE THE RUNOFF OF POLLUTANTS. ALL WATERWAYS SHALL BE CLEANED AS SOON AS PRACTICABLE OF TEMPORARY OBSTRUCTION. TEMPORARY BRIDGES, MATTING, FALSE WORK, PILING DEBRIS OR OTHER OBSTRUCTIONS PLACED DURING CONSTRUCTION OPERATIONS THAT ARE NOT A PART OF THE FINISHED WORK.

**XI OFFSITE VEHICLE TRACKING:**

- IN ADDITION TO THE STABILIZED CONSTRUCTION ENTRANCES, THE FOLLOWING MEASURES SHALL BE OBSERVED DURING CONSTRUCTION:
- HAUL ROADS SHALL BE DAMPENED FOR DUST CONTROL
  - LOADED HAUL TRUCKS SHALL BE COVERED WITH TARPAULIN.
  - EXCESS DIRT ON ROADS SHALL BE REMOVED IMMEDIATELY
  - STABILIZED CONSTRUCTION ENTRANCE
- OTHER: \_\_\_\_\_  
 \_\_\_\_\_



DATE	REVISION DESCRIPTION
7/30/08	RHT
11/4/08	RHT
3/29/10	RHT

**STORM WATER POLLUTION PREVENTION PLAN**

MONTOYA VISTA

CITY OF EL PASO EL PASO COUNTY TEXAS

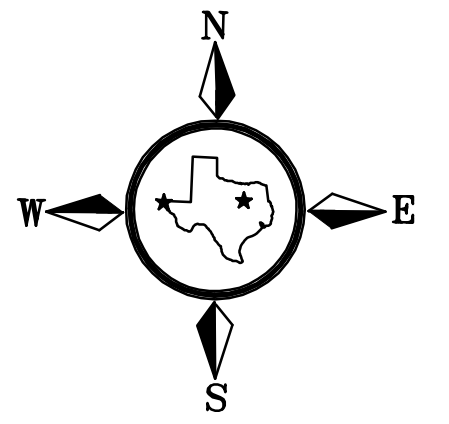
DATE: SEPTEMBER 5, 2007 SCALE: AS SHOWN FILE NUMBER: MV-SWPPP DATA FILE: \_\_\_\_\_

DRAWN BY	FIELD BOOK
RHT	
GGK	14

KISTENMACHER ENGINEERING COMPANY, INC.  
 CONSULTING ENGINEERING LAND PLANNING SURVEYING  
 1420 GERONIMO DRIVE, SUITE 42 • EL PASO, TEXAS 79925 • 915-778-4476  
 6336 GREENVIEW AVE, SUITE C • DALLAS, TEXAS 75206 • 214-234-0011

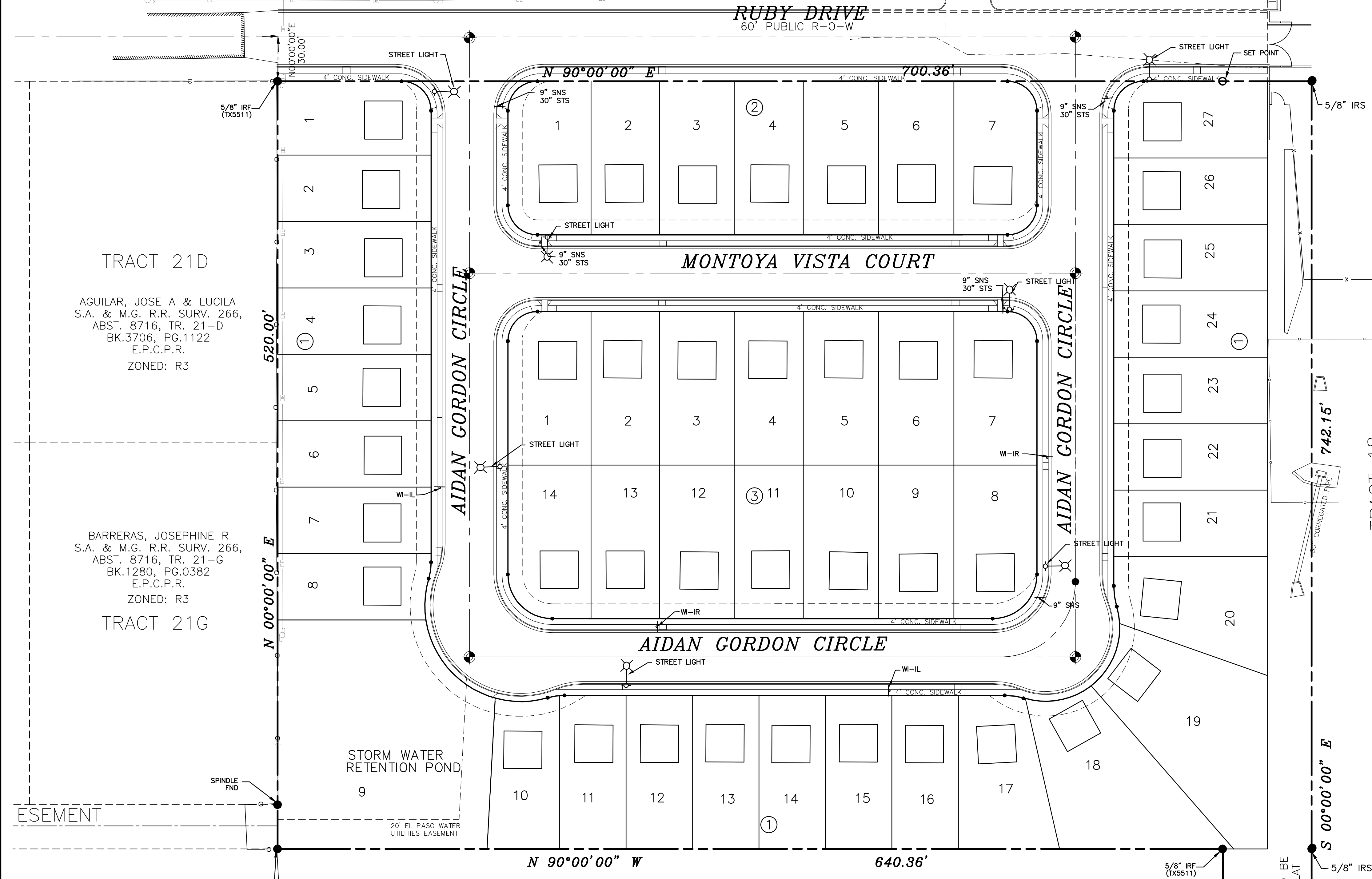
PARK WHITEFIELD SUBDIVISION UNIT TWO  
LOT 2, BLOCK 1

EL PASO INDEPENDENT SCHOOL DISTRICT

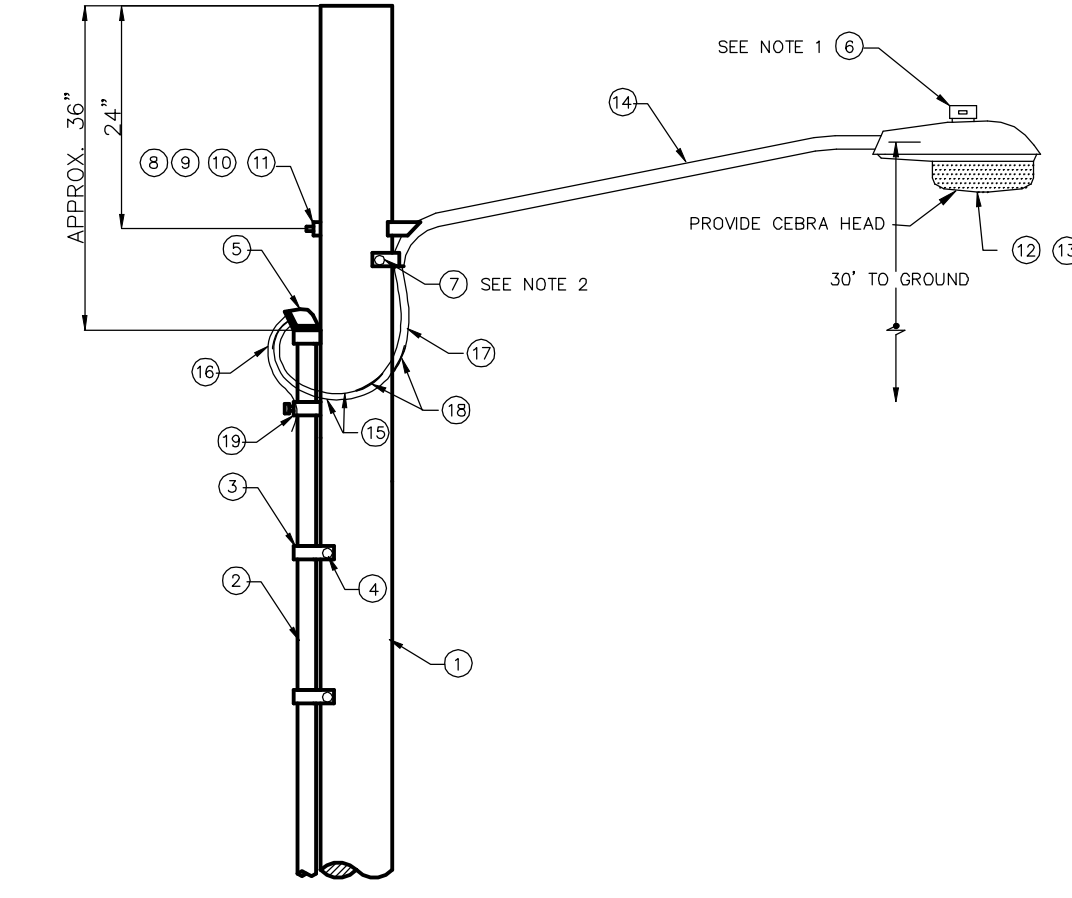


GRAPHIC SCALE  
( IN FEET )  
1 inch = 40 ft

RUBY DRIVE  
60' PUBLIC R-O-W



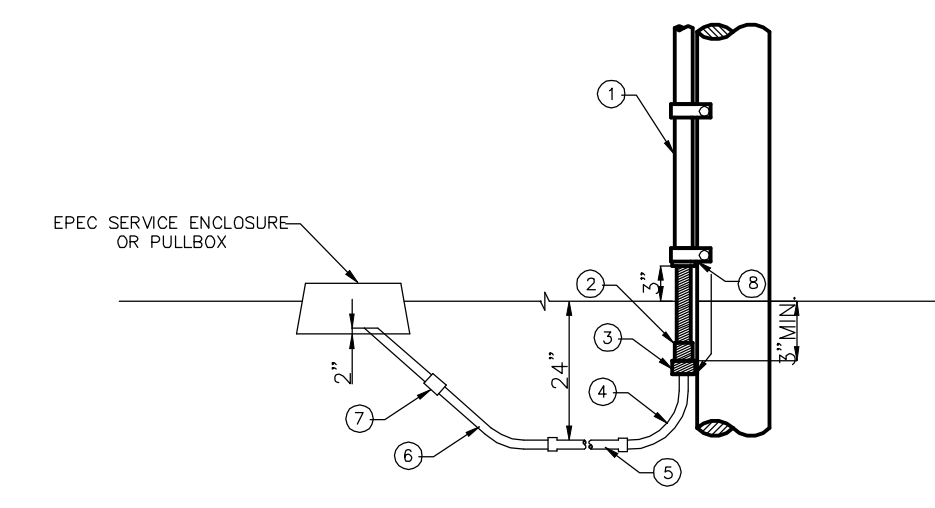
ITEM NO.	DESCRIPTION	STOCK NO.	QTY.
1	POLE, 35 FT. CLASS IV	009-035	1
2	GALVANIZED RIGID 1/2" CONDUIT	017-292	3
3	PIPE STRAP FOR 1/2" CONDUIT, 2 HOLE	017-334	7
4	LAG BOLT, 1/4" X 2"	002-330	6
5	WEATHERHEAD, 1/2" CONDUIT	017-293	1
6	PHOTOCELL, 240V-SEE NOTE 1	021-225	1
7	LAG BOLT, 1/2" X 4"	002-370	2
8	MACHINE BOLT, 5/8" X 8"	002-450	1
9	SQUARE GALV. WASHER, 2 1/4" X 2 1/4"	002-760	1
10	COL-SPRING WASHER, 5/8"	002-786	1
11	LOCKNUT, 5/8"	002-705	1
12	LUMINAIRE, 100W H. P. S.	021-335	1
13	HPS LAMP, 100W	021-085	1
14	MAST ARM, 6" X 1 1/4"	021-200	1
15	COPPER CABLE, #12, 19 STRAND, 600V	013-665	1
16	COPPER CABLE, #12, SOLID, 600V, GREEN	013-701	1
17	CABLE, #10, 2 CONDUCTOR, 600V, UF	013-600	8
18	SLEEVES, #12-10	005-140	2
19	GROUNDING CLAMP	021-215	1



KEY NOTES:  
1. MOUNT SO THAT CONTROL FACES NORTH  
2. ITEM 17 SHALL NOT BE SPLICED INSIDE INSIDE ITEM 14

DESIGN NOTES:  
1. INSTALLATION SHALL COMPLY WITH ALL LOCAL REQUIREMENTS  
2. FOR ANY CLARIFICATION, EXCEPTIONS OR QUESTIONS REGARDING CODE INTERPRETATION, CALL THE EL PASO ELECTRIC CO. DISTRIBUTION DEVELOPMENT DEPARTMENT

RESIDENTIAL STREET LIGHT WOOD POLE  
SCALE: N.T.S.



KEY NOTES:  
1. 1/2" GALVANIZED RIGID CONDUIT  
2. REDUCER 1" TO 1/2" BUSHING  
3. 1" PVC FEMALE ADAPTER  
4. 1" PVC 90° ELBOW  
5. 1" PVC CONDUIT  
6. 1" PVC 45° ELBOW  
7. 1" PVC COUPLING  
8. TAPE 1/2" RIGID CONDUIT (6")

RESIDENTIAL STREET LIGHT WOOD POLE  
SCALE: N.T.S.

TRACT 18  
S.A. & M.G. R.R. SURV. 266

TRACT 21D  
AGUILAR, JOSE A & LUCILA  
S.A. & M.G. R.R. SURV. 266,  
ABST. 8716, TR. 21-D  
BK.3706, PG.1122  
E.P.C.P.R.  
ZONED: R3

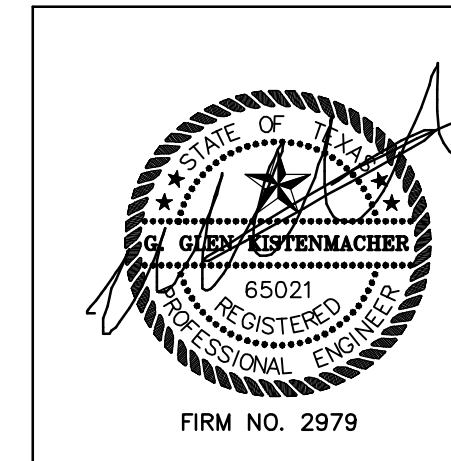
BARRERAS, JOSEPHINE R  
S.A. & M.G. R.R. SURV. 266,  
ABST. 8716, TR. 21-G  
BK.1280, PG.0382  
E.P.C.P.R.  
ZONED: R3  
TRACT 21G

RAFTEL JORDAN  
S.A. & M.G. R.R. SURV. 266,  
ABST. 8716, TR. 22  
BK.1758, PG.0878  
E.P.C.P.R.  
ZONED: C4  
TRACT 22

LEGEND

	SANITARY SEWER MANHOLE	5/8" IRF	5/8" IRON ROD FOUND
	POWER POLE	5/8" IRS	5/8" IRON ROD SET
	BOUNDARY LINE		CITY MONUMENT
	CHAINLINK FENCE	R-O-W	RIGHT-OF-WAY
	BARBED WIRE FENCE		NATURAL GROUND SPOT ELEVATION
	CENTER LINE	52.64NG	EDGE OF PAVEMENT SPOT ELEVATION
	ROCKWALL	52.64EP	FACE OF ROCKWALL SPOT ELEVATION
	OVERHEAD ELECTRIC	52.64FRW	BACK OF ROCKWALL SPOT ELEVATION
	SANITARY SEWER LINE	52.64FNC	FENCE SPOT ELEVATION
	EDGE OF PAVEMENT		
	MAJOR CONTOUR LINE		
	MINOR CONTOUR LINE		

INSTALL TRAFFIC CONTROL DEVICES AS SHOWN

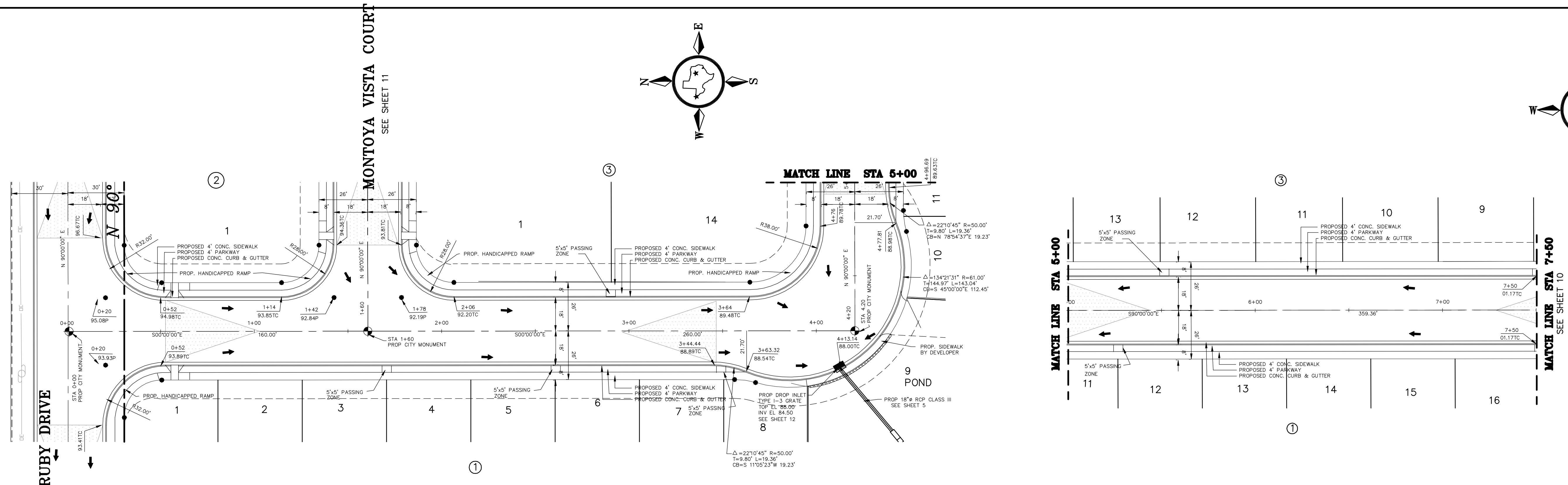
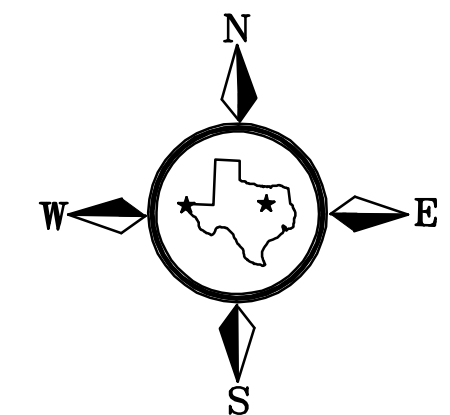
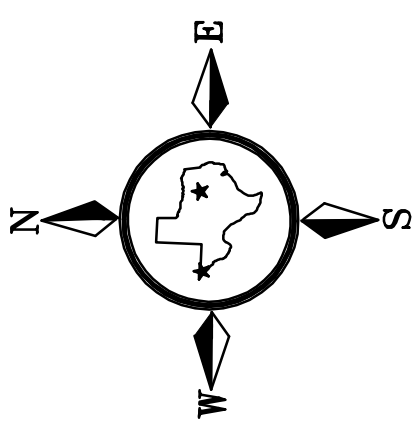


DATE	REVISION DESCRIPTION
5/8/08	RHT
7/8/08	RHT
7/29/08	RHT
11/4/08	RHT
3/29/10	RHT

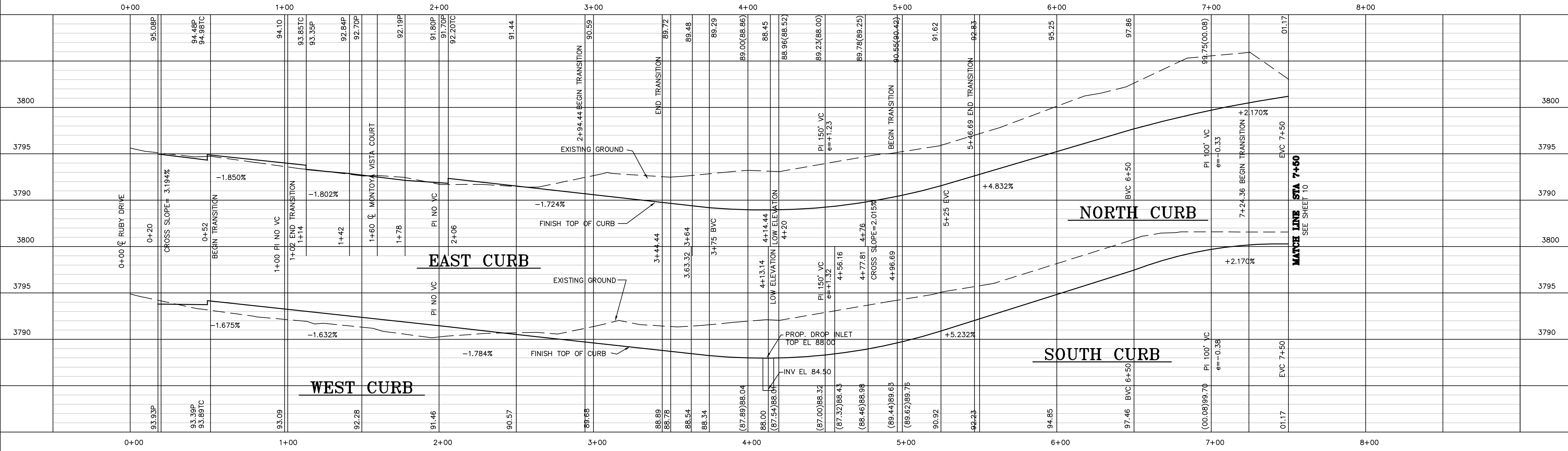
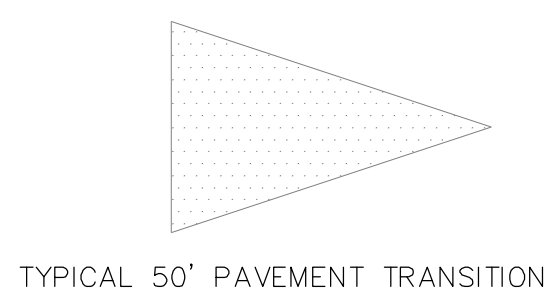
ILLUMINATION/TRAFFIC CONTROL PLAN  
MONTAÑA VISTA

CITY OF EL PASO	EL PASO COUNTY	TEXAS
DATE: SEPTEMBER 5, 2007	SCALE: 1" = 40'	FILE NUMBER: MV-ILL-TRAF
KISTENMACHER ENGINEERING COMPANY, INC.		
CHECKED BY: GGG		





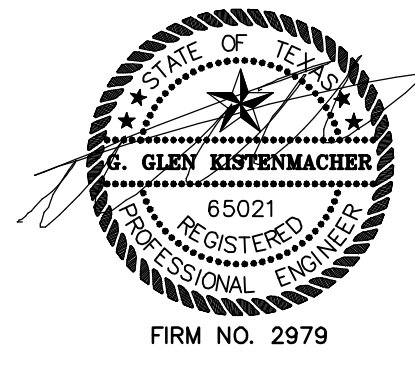
**AIDAN GORDON CIRCLE**  
**PLAN**  
SCALE: 1" = 30'



**PROFILE**  
SCALE: HOR. 1" = 30'  
VER. 1" = 5'

**BENCHMARK**

CITY MONUMENT FOUND AT INTERSECTION OF REDD RD. AND DONIPHAN DR.  
ELEV. 3743.68 CITY OF EL PASO DATUM  
EXISTING SEWER MANHOLE ANNIE DR. & ETHEL DR.  
INV. ELEV. 3764.64 CITY OF EL PASO DATUM

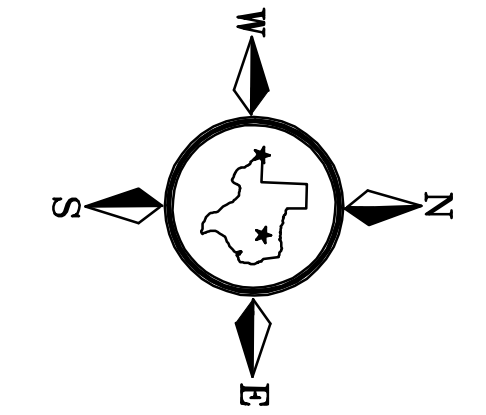
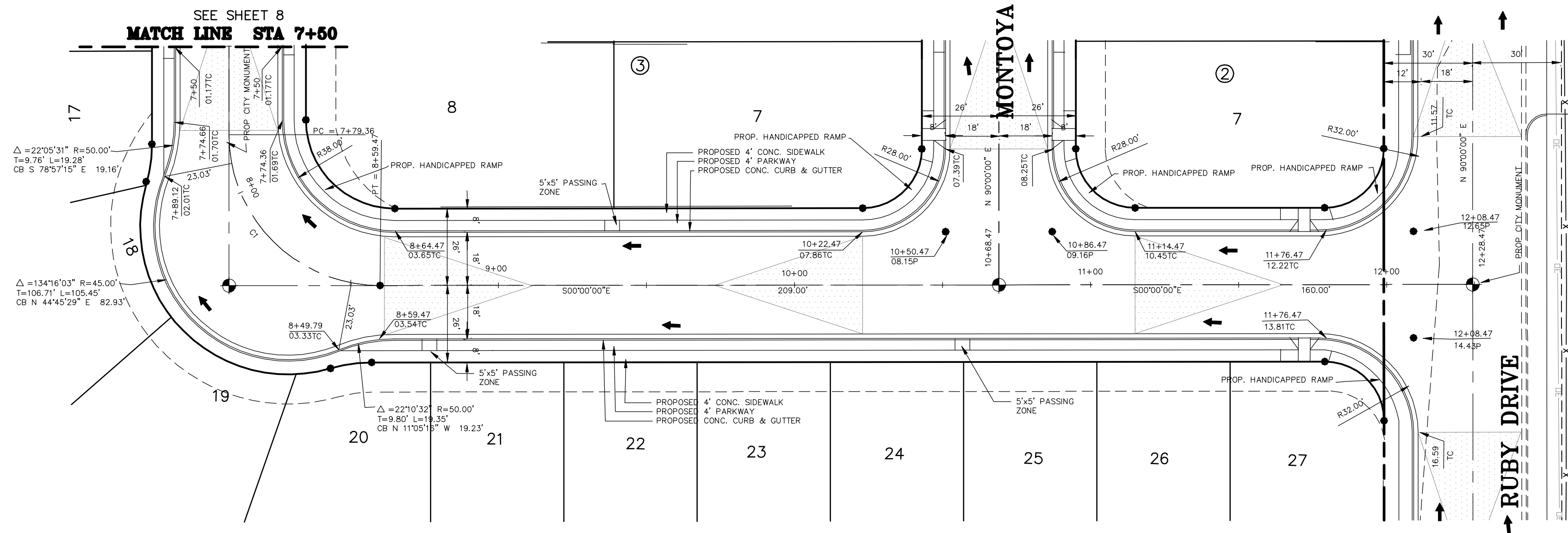


REVISED: 3/4/14  
REVISED: 9/24/13  
REVISED: 3/29/10  
REVISED: 11/4/08

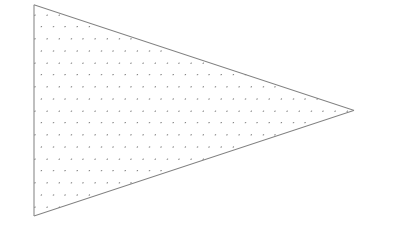
DATE		REVISION DESCRIPTION
11/14/07	RHT	
1/9/08	RHT	
5/8/08	RHT	
7/8/08	RHT	
7/29/08	RHT	

PLAN & PROFILE		
AIDAN GORDON CIRCLE		
MONTROYA VISTA		
CITY OF EL PASO	EL PASO COUNTY	TEXAS
DATE: SEPTEMBER 5, 2007	SCALE: HOR. 1" = 30' VERT. 1" = 5'	FILE NUMBER: MV-AG-PP
DATA FILE:	DRAWN BY:	FIELD BOOK:
KISTENMACHER ENGINEERING COMPANY, INC.	RHT	SHEET 9
CONSULTING ENGINEERING SURVEYING	EL PASO, TEXAS 79925 • 915-778-4476	OF 14
6336 GREENVILLE AVE., SUITE C • DALLAS, TEXAS 75206 • 214-234-0011	GGK	



EL PASO INDEPENDENT SCHOOL DISTRICT  
 NORTH 1/2 OF STREET ABUTTING THE SCHOOL IS TO BE CONSTRUCTED BY THE EPISD IN CONJUNCTION WITH THE PROPOSED MONTOYA VISTA SUBDIVISION IMPROVEMENTS

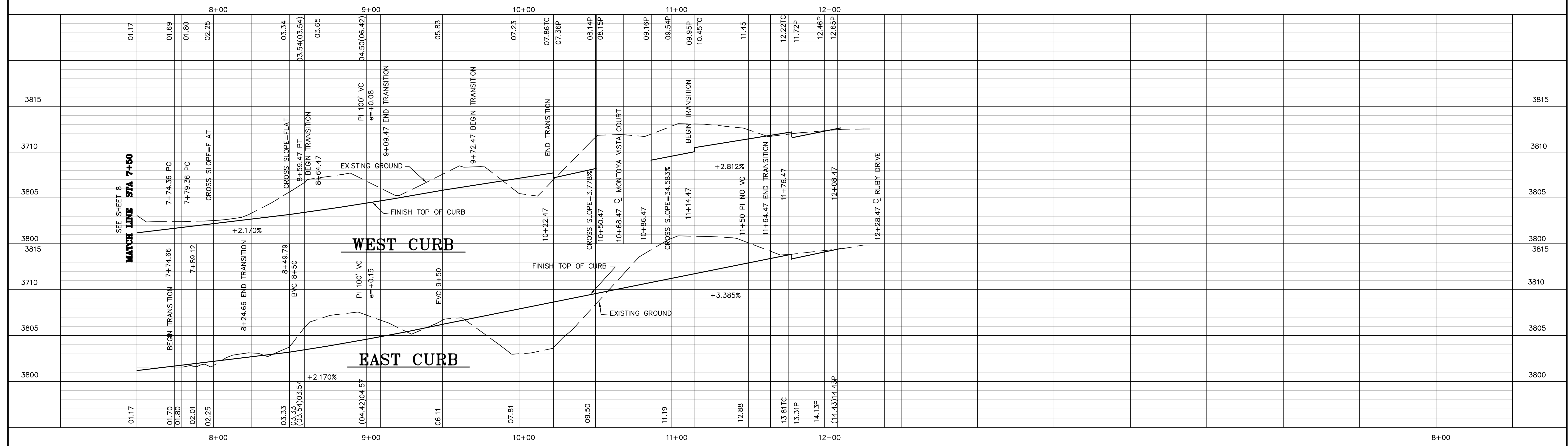


CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	CHORD	BEARING	DELTA
C1	80.11'	51.00'	51.00'	72.12'	N45°00'00"E	90°00'00"

**AIDAN GORDON CIRCLE**

**PLAN**

SCALE: 1" = 30'

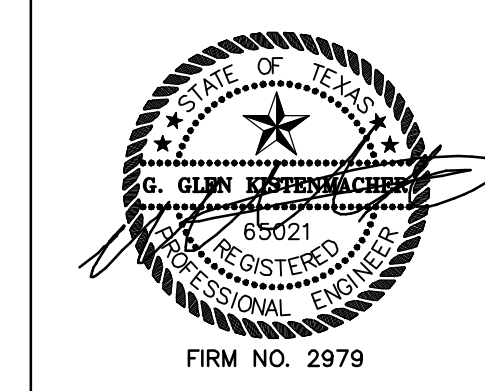


**PROFILE**

SCALE: HOR. 1" = 30'  
 VER. 1" = 5'

**BENCHMARK**

CITY MONUMENT FOUND AT INTERSECTION OF REDD RD. AND DONIPHAN DR.  
 ELEV. 3743.68 CITY OF EL PASO DATUM  
 EXISTING SEWER MANHOLE ANNIE DR. & ETHEL DR.  
 INV. ELEV. 3764.64 CITY OF EL PASO DATUM



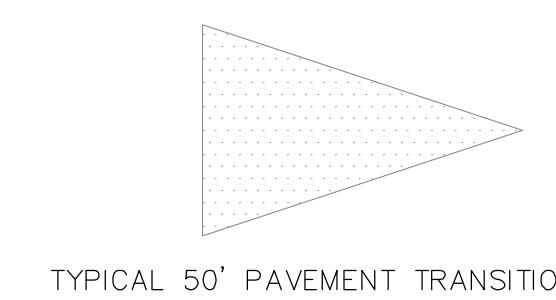
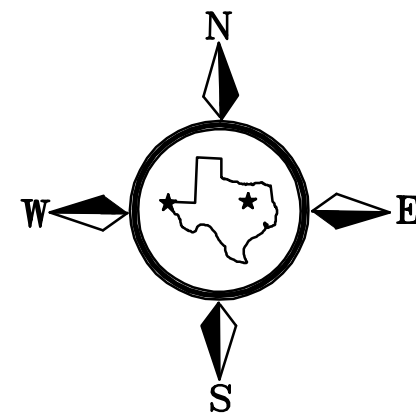
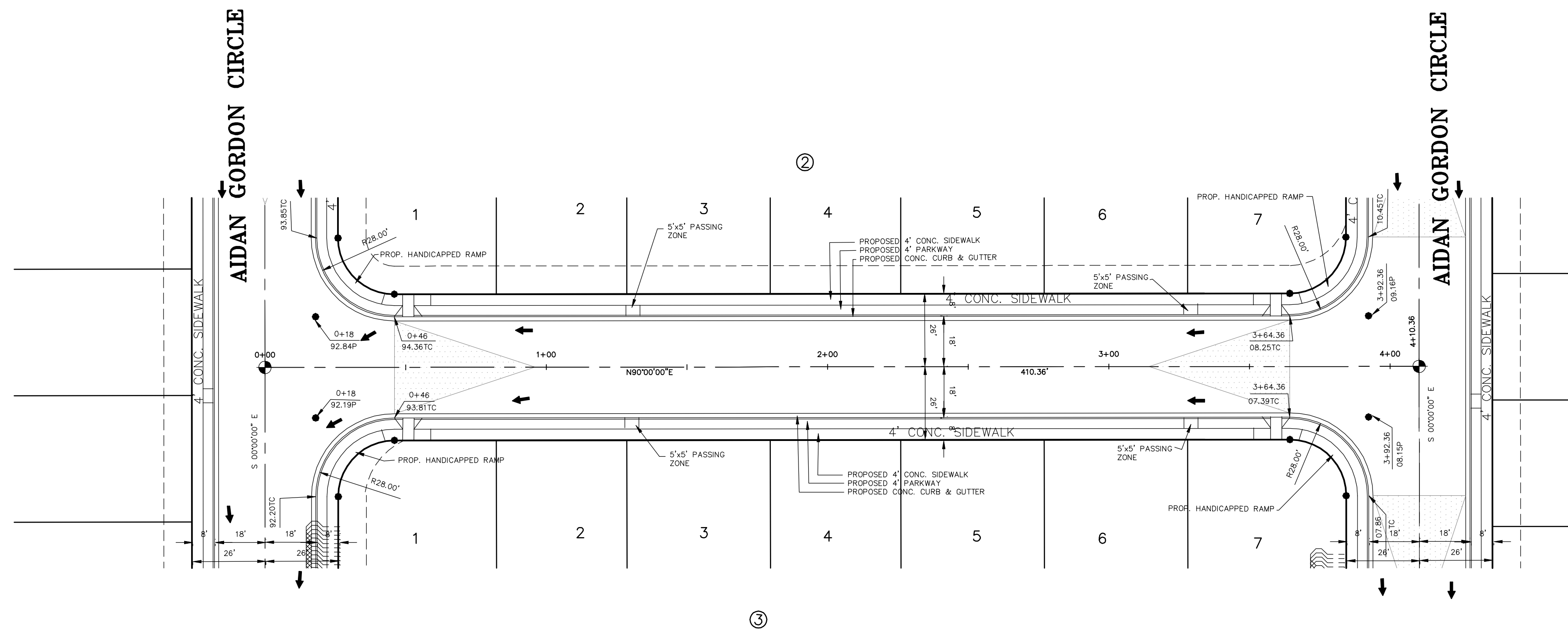
DATE:		REVISION DESCRIPTION:	
1/9/08	RHT		
5/8/08	RHT		
7/8/08	RHT		
7/29/08	RHT		
	RHT		
11/4/08	RHT		
	RHT		

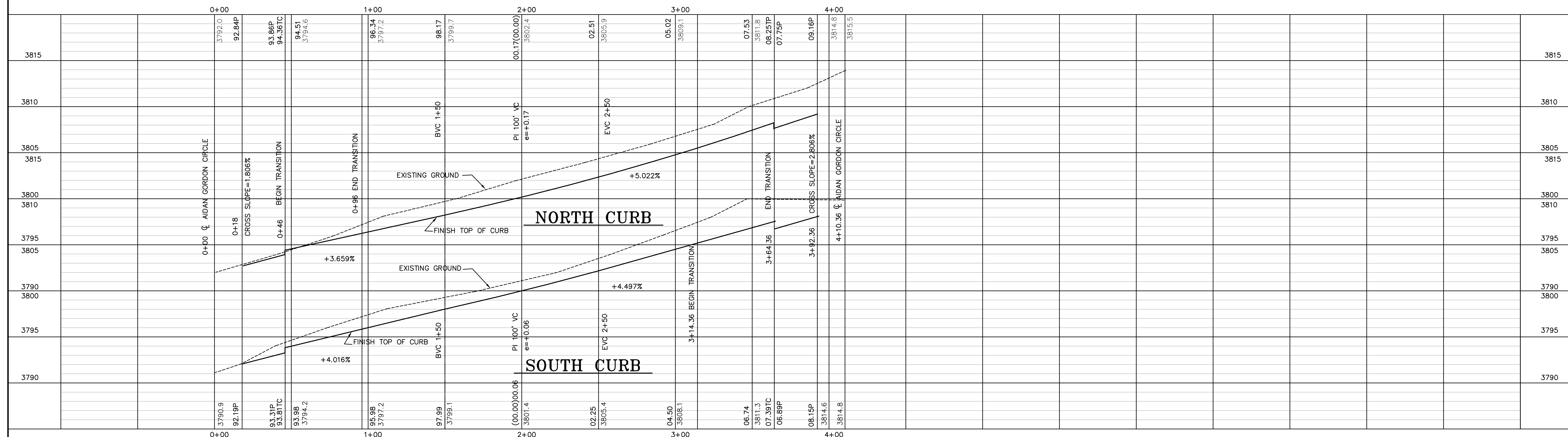
CITY OF EL PASO		EL PASO COUNTY		TEXAS	
DATE: SEPTEMBER 5, 2007	SCALE: HOR. 1"=30' VERT. 1"=5'	FILE NUMBER: MV-AG-PP2	DATA FILE:	DRAWN BY:	FIELD BOOK:
KISTENMACHER ENGINEERING COMPANY, INC.			RHT		
CONSULTING ENGINEERING • LAND PLANNING • SURVEYING			CHECKED BY:	SHEET 10	
1420 GERONIMO DRIVE, SUITE A2 • EL PASO, TEXAS 79925 • 915-778-4476			GGK	OF 14	
6336 GREENVILLE AVE., SUITE C • DALLAS, TEXAS 75206 • 214-234-0011					

REVISE: 3/4/14  
 REVISED: 9/24/13  
 REVISED: 9/24/13  
 REVISED: 3/29/10



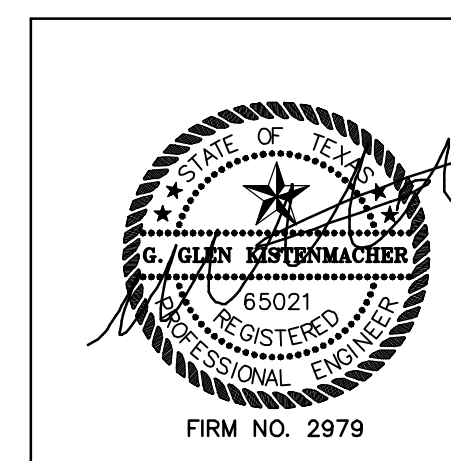


**MONTOYA VISTA COURT**  
**PLAN**  
 SCALE: 1" = 30'



**PROFILE**  
 SCALE: HOR. 1" = 30'  
 VER. 1" = 5'

**BENCHMARK**  
 CITY MONUMENT FOUND AT INTERSECTION OF REDD RD. AND DONIPHAN DR.  
 ELEV. 3743.68 CITY OF EL PASO DATUM  
 EXISTING SEWER MANHOLE ANNIE DR. & ETHEL DR.  
 INV. ELEV. 3764.64 CITY OF EL PASO DATUM

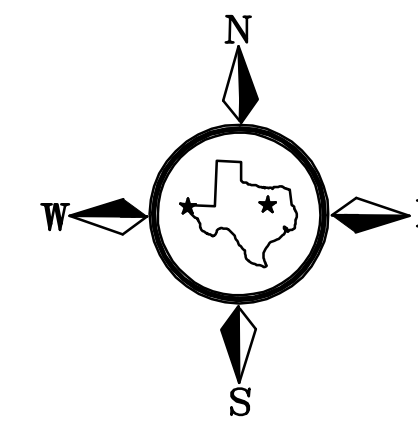


DATE	REVISION DESCRIPTION
1/9/08	RHT
7/8/08	RHT
7/29/08	RHT
11/4/08	RHT
3/29/10	RHT

**PLAN & PROFILE**  
**MONTOYA VISTA COURT**  
 MONTOYA VISTA

<b>CITY OF EL PASO</b>	<b>EL PASO COUNTY</b>	<b>TEXAS</b>
DATE: SEPTEMBER 5, 2007	SCALE: HOR. 1"=30' VERT. 1"=5'	FILE NUMBER: MV-MONVIS-PP
DATA FILE:	DRAWN BY:	FIELD BOOK:
	KISTENMACHER ENGINEERING COMPANY, INC.	RHT
CONSULTING ENGINEERING	LAND PLANNING	SURVEYING
1420 GERONIMO DRIVE, SUITE A2 • EL PASO, TEXAS 79925 • 915-778-4476	6336 GREENVILLE AVE., SUITE C • DALLAS, TEXAS 75206 • 214-234-0011	CHECKED BY: SHEET 11
		GP 14

REVISED: 3/4/14

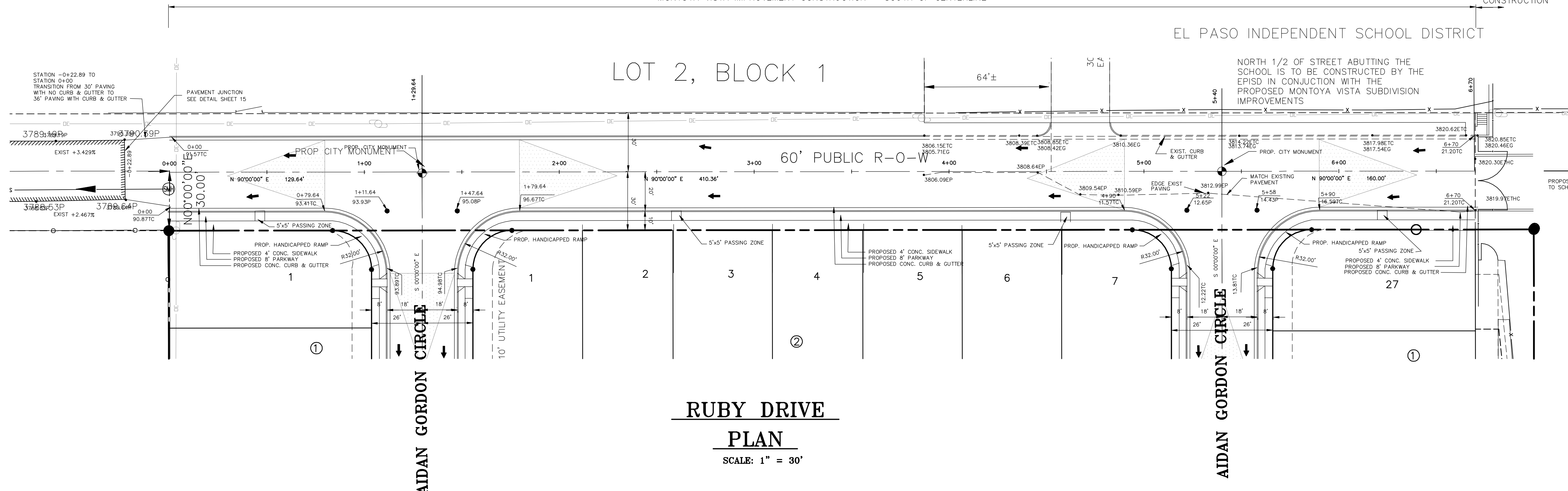


MONTOYA VISTA IMPROVEMENT CONSTRUCTION - SOUTH OF CENTERLINE

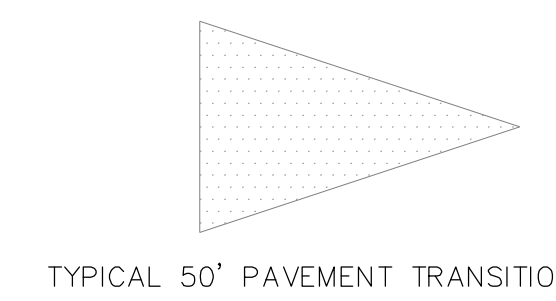
EL PASO INDEPENDENT SCHOOL DISTRICT

LOT 2, BLOCK 1

NORTH 1/2 OF STREET ABUTTING THE SCHOOL IS TO BE CONSTRUCTED BY THE EPISD IN CONJUNCTION WITH THE PROPOSED MONTOYA VISTA SUBDIVISION IMPROVEMENTS



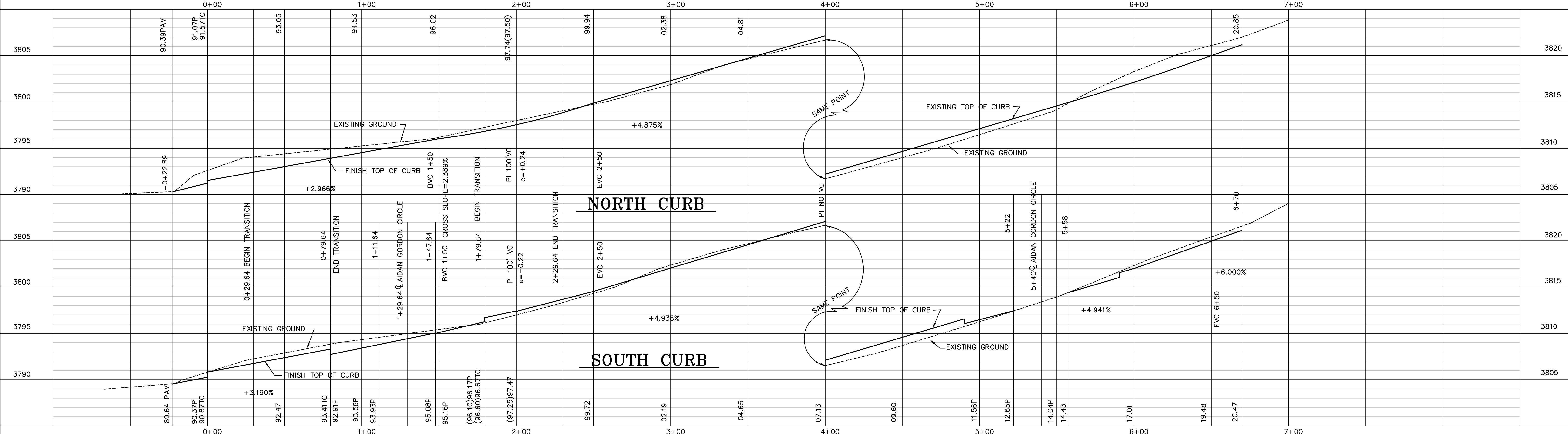
BY OTHERS  
TO BE CONSTRUCTED IN CONJUNCTION WITH IMPROVEMENTS FOR MONTOYA VISTA SUBDIVISION



**RUBY DRIVE**

**PLAN**

SCALE: 1" = 30'



**PROFILE**

SCALE: HOR. 1" = 30'  
VER. 1" = 5'

**BENCHMARK**

CITY MONUMENT FOUND AT INTERSECTION OF REDD RD, AND DONIPHAN DR.  
ELEV. 3743.68 CITY OF EL PASO DATUM  
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INV. ELEV. 3764.64 CITY OF EL PASO DATUM

DATE	REVISION DESCRIPTION
11/13/07	RHT
1/9/08	RHT
7/8/08	RHT
7/29/08	RHT
11/4/08	RHT



**PLAN & PROFILE**  
**RUBY DRIVE**  
**MONTROYA VISTA**

**CITY OF EL PASO**      **EL PASO COUNTY**      **TEXAS**

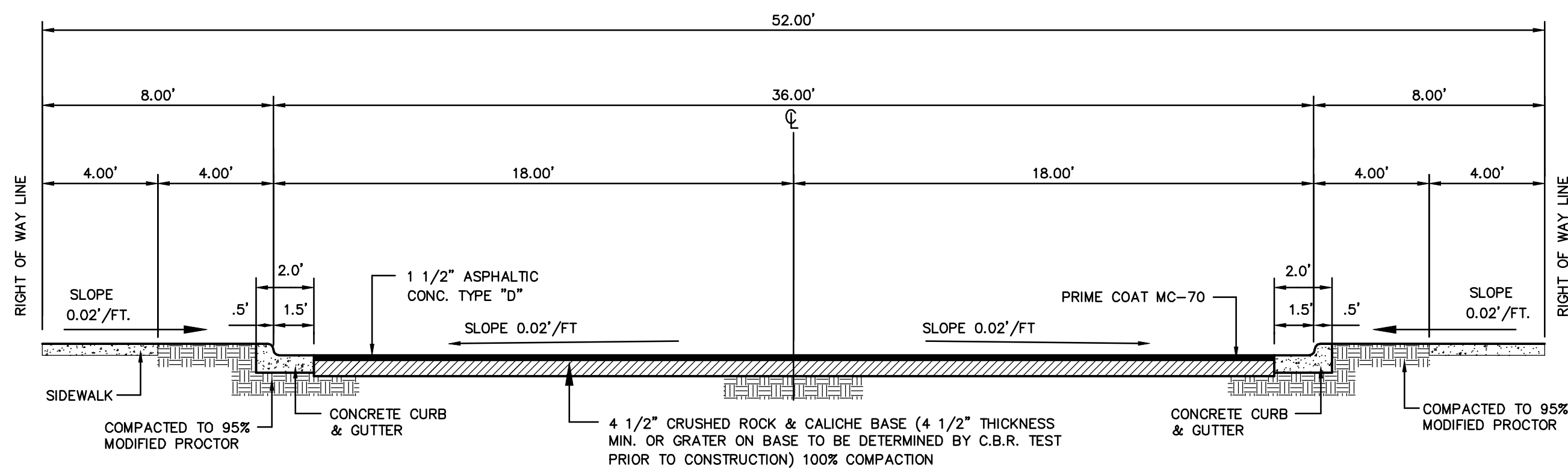
DATE: SEPTEMBER 5, 2007      SCALE: HOR. 1"=30' VERT 1"=5'      FILE NUMBER: MV-RUBY-PP      DATA FILE:      FIELD BOOK:

**KISTENMACHER ENGINEERING COMPANY, INC.**  
CONSULTING ENGINEERING      LAND PLANNING      SURVEYING  
1420 GERONIMO DRIVE, SUITE A2      EL PASO, TEXAS 79925      915-778-4476  
6336 GREENVILLE AVE., SUITE C      DALLAS, TEXAS 75206      214-234-0011

CHECKED BY: **RHT**      SHEET: **12**  
OF: **14**

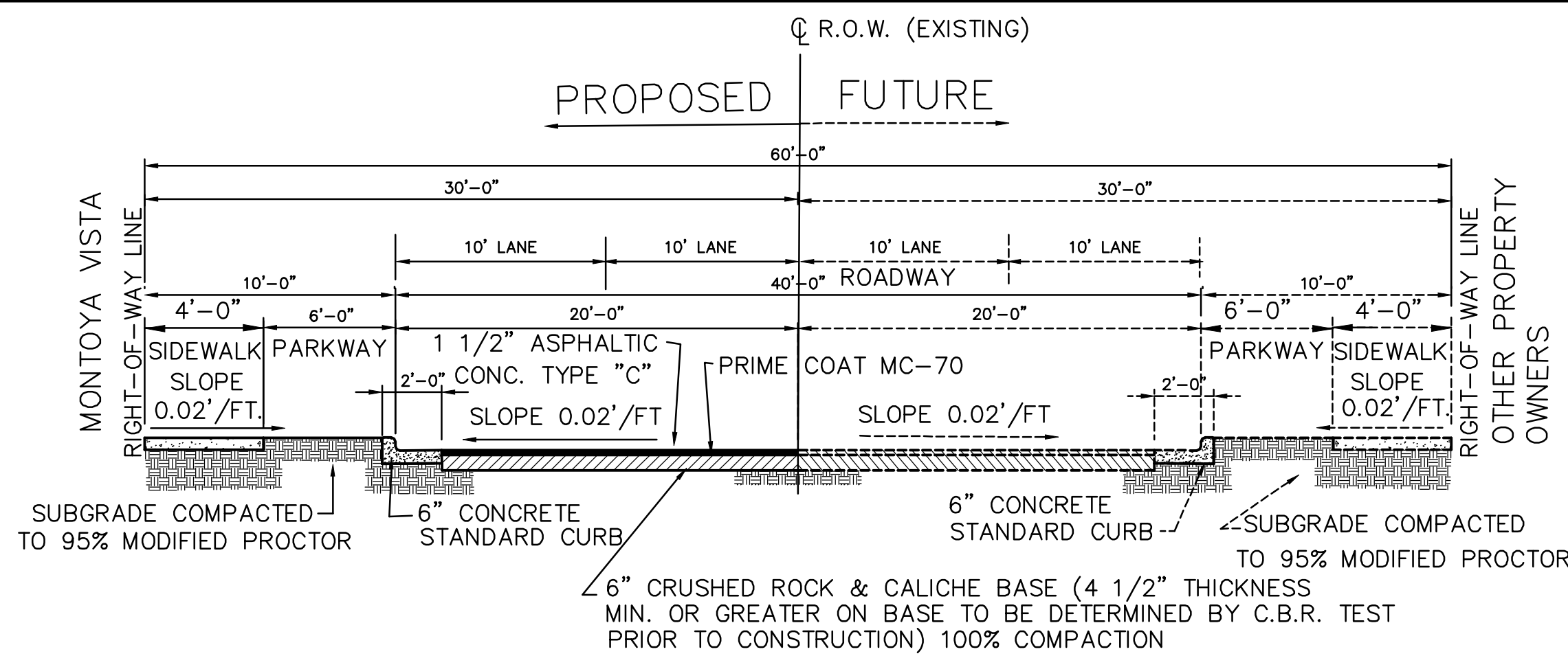
REVISED: 3/4/14  
REVISED: 1/23/14  
REVISED: 9/24/13  
REVISED: 3/29/10





**TYPICAL SECTION - 52.00' RIGHT OF WAY**

SCALE: 1/4" = 1'-0"

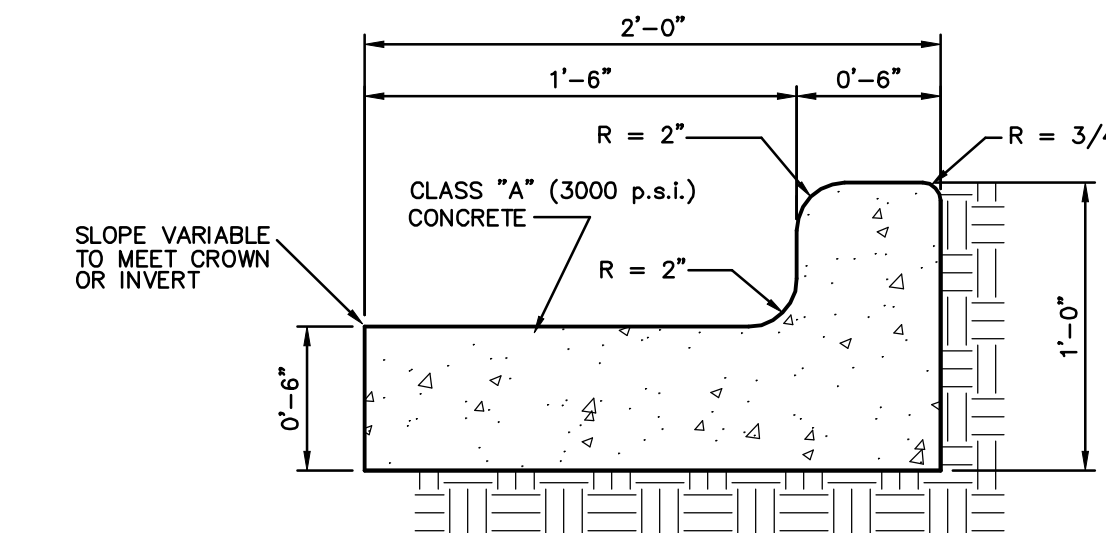


**TYPICAL SECTION - 60.00' RIGHT-OF-WAY**

**NOTES FOR CURB AND GUTTER**

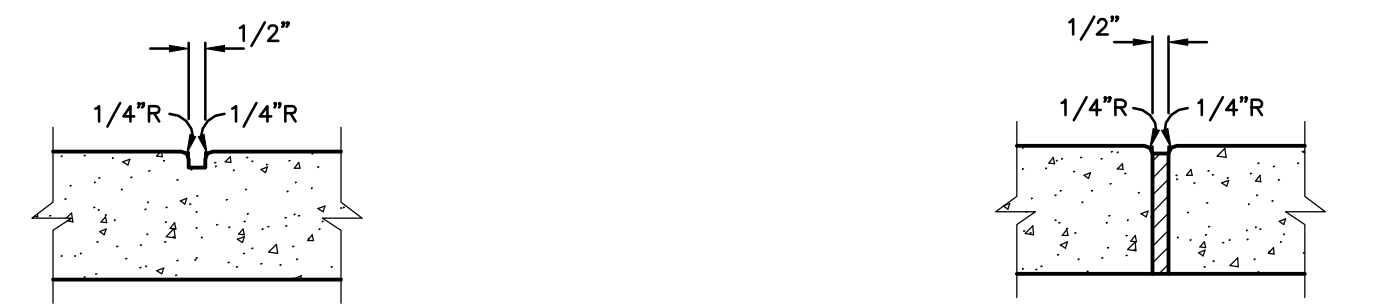
- NO EXPANSION JOINTS WILL BE REQUIRED EXCEPT AT THE END OF CURB RETURNS, POINT OF TANGENCY WITH STRAIGHT RUNS OF CURB AT EVERY INTERSECTION.
- CONTRACTION JOINTS (1/2" INCH MIN. SCORED JOINTS) MUST BE INSTALLED EVERY 10 FEET IN CURB OR CURB & GUTTER.
- ALL EXPANSION JOINTS WILL BE PERFORMED BITUMINOUS FIBER 1/2 INCH THICK.
- CONCRETE TO BE CLASS "A", 3000 P.S.I..

- NOTES:**
1. 1/2" MAXIMUM.
  2. CONCRETE TO BE 3000 PSI MIN. CORE TEST @ 28 DAYS.
  3. GRATE TO BE PERPENDICULAR TO TRAFFIC.



**TYPICAL CONCRETE CURB AND GUTTER**

SCALE: 1 1/2" = 1'

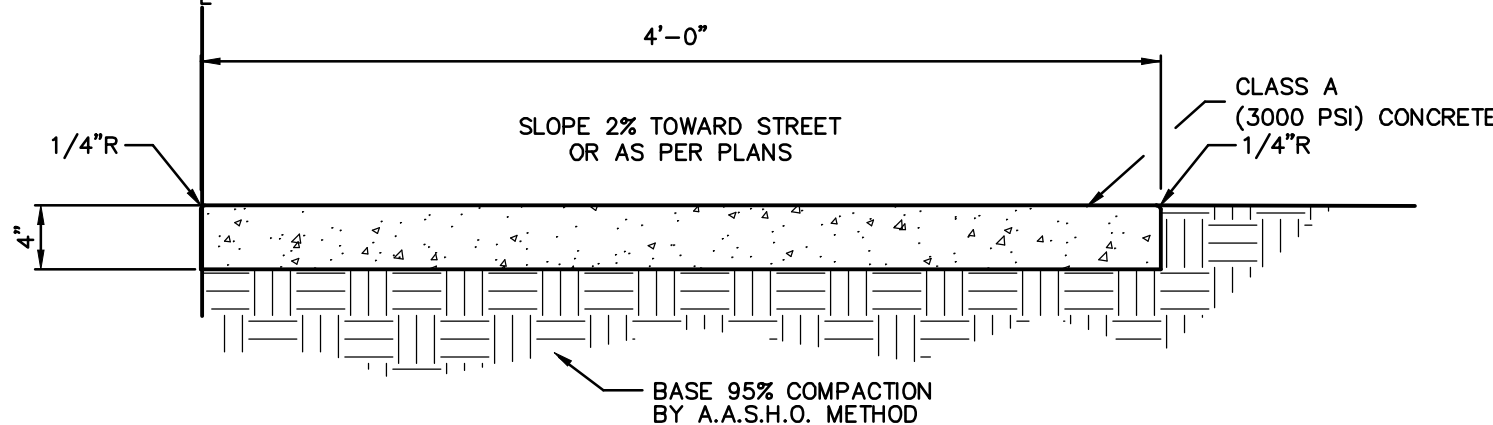


**CONTRACTION JOINT**

SCALE: NOT TO SCALE

**EXPANSION JOINT**

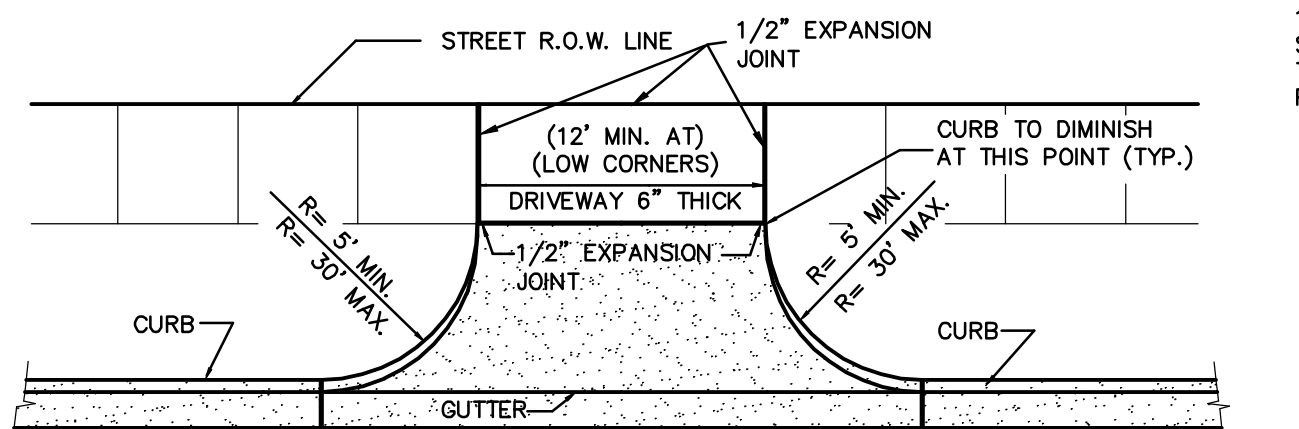
SCALE: NOT TO SCALE



- GENERAL NOTES:**
- ALL EXPANSION JOINTS SHALL BE PERFORMED BITUMINOUS FIBER 1/2" THICK AASHTO M-33.
  - ALL CONCRETE TO BE 3000 P.S.I., CLASS "A".
  - SCORED CONTRACTION JOINTS TO BE PLACED IN ALL SIDEWALKS AT 5'-0" C/C.
  - 1/2" EXPANSION JOINTS TO BE PLACED IN ALL SIDEWALKS AT 20'-0".
  - SUBGRADE UNDER SIDEWALKS TO BE COMPACTED TO 95% DENSITY AASHTO METHOD.
  - COMPACTION TESTS WHERE REQUIRED BY CITY ENGINEER MUST BE PAID FOR BY DEVELOPER.

**SIDEWALK DETAIL**

SCALE: 1" = 1'



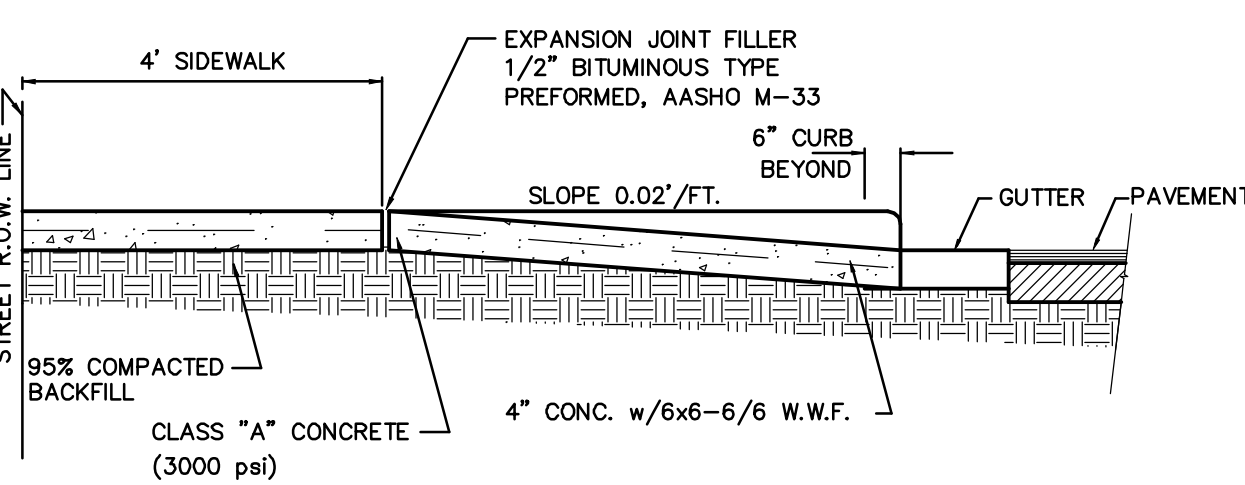
DRIVEWAY WIDTH	MIN	MAX
RESIDENTIAL ZONING	12'	24'
PONDING (COMMERCIAL)	24'	35'

	MIN	MAX
RESIDENTIAL	6" CONC. WITHOUT W.W.F.	4" CONC. WITH 6 x 6-6/6 W.W.F.
COMMERCIAL	6" CONC. WITH 6 x 6-6/6 W.W.F.	6" CONC. WITH 6 x 6-6/6 W.W.F.

NOTE: DRIVEWAY SLOPES MUST BE 10% MAX. FROM GUTTER FOR FIRST 12' & 14% MAX. THEREAFTER (B.D.G. CD. 18.0806C)

**PLAN VIEW**

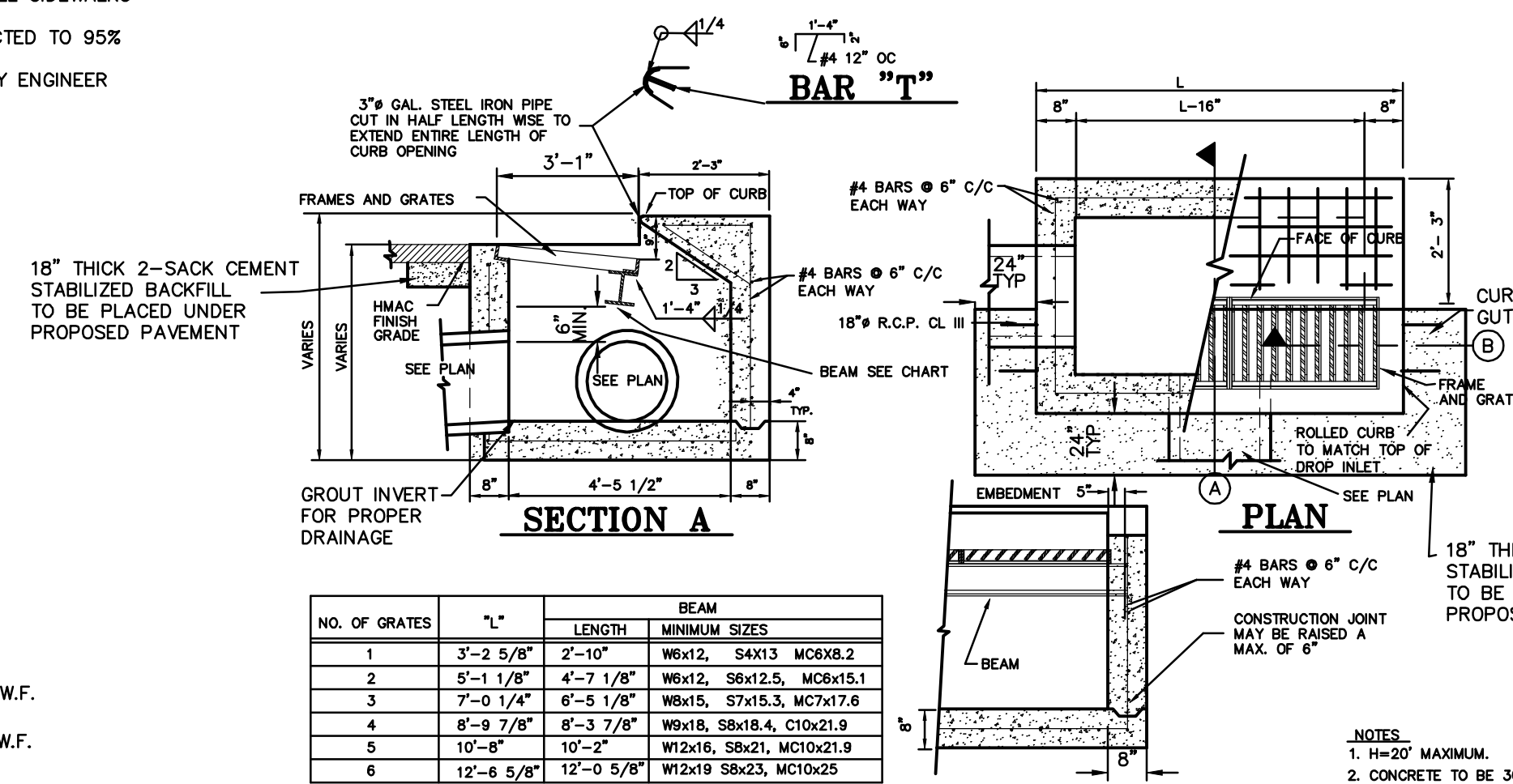
SCALE: 1/8" = 1'



**SECTION B - B**

SCALE: 3/8" = 1'

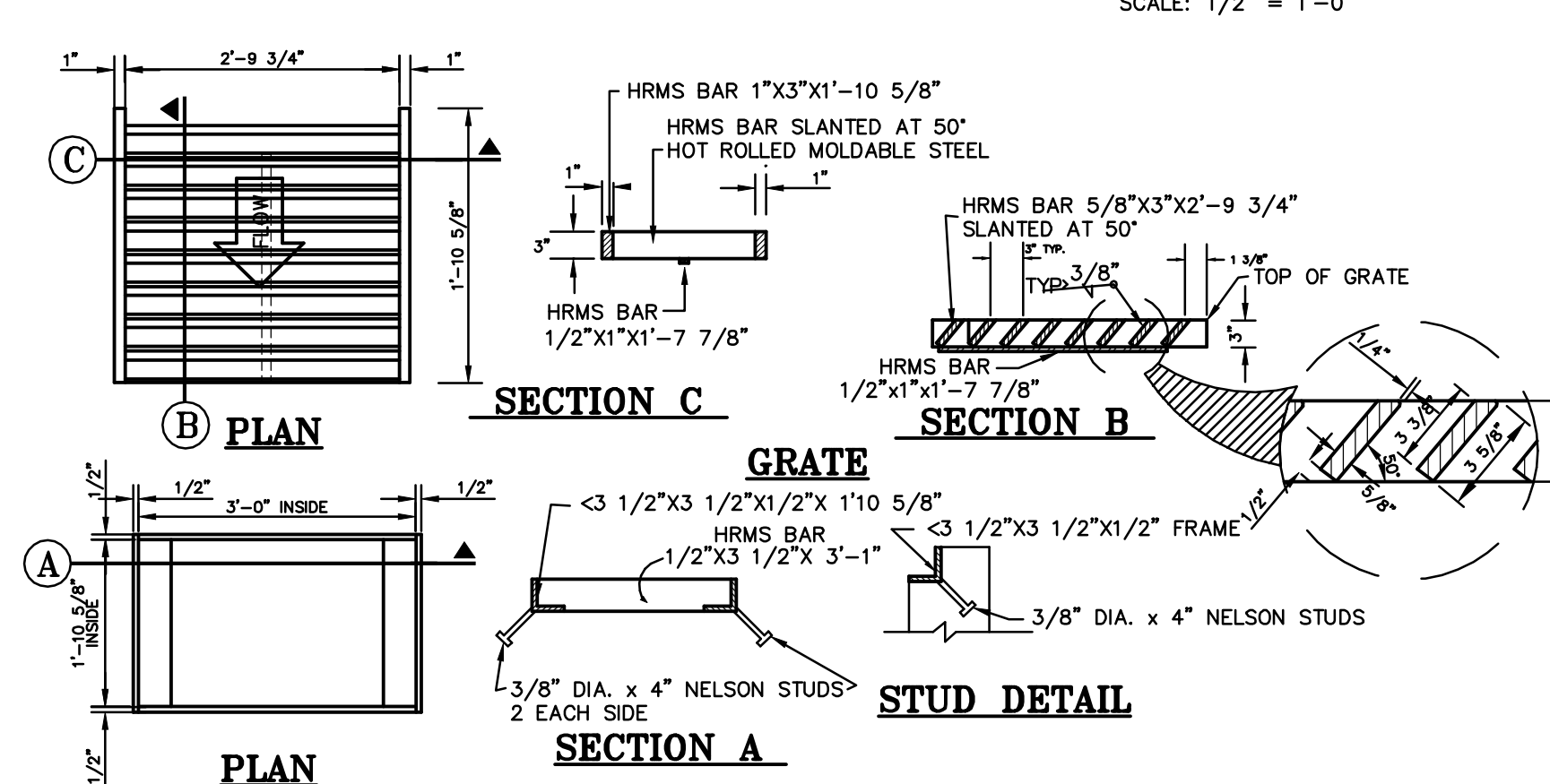
**TYPICAL CONCRETE DRIVEWAY**



**DROP INLET TYPE I DETAIL**

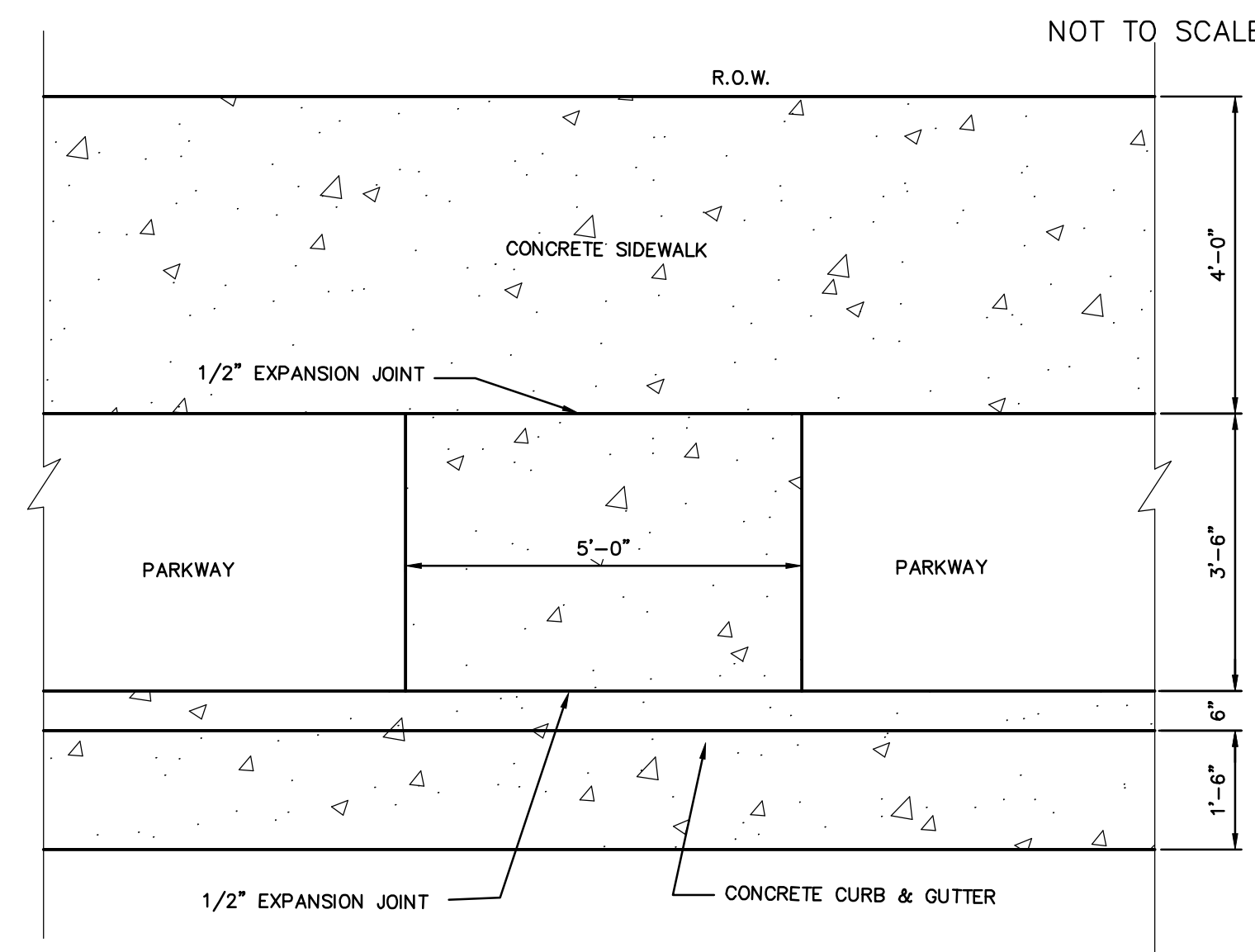
SCALE: 1/2" = 1'-0"

NO. OF GRATES	"L"	LENGTH	MINIMUM SIZES
1	3'-2 5/8"	2'-10"	WBx12, Sx13, MCBx15.2
2	5'-1 1/8"	4'-7 1/8"	WBx12, Sx12.5, MCBx15.1
3	7'-0 1/4"	6'-5 1/8"	WBx15, Sx15.3, MCBx17.6
4	8'-9 7/8"	8'-5 7/8"	WBx18, Sx18.4, C10x21.9
5	10'-8"	10'-2"	WBx18, Sx18.4, MCBx21.9
6	12'-6 5/8"	12'-0 5/8"	WBx19, Sx19.3, MCBx25



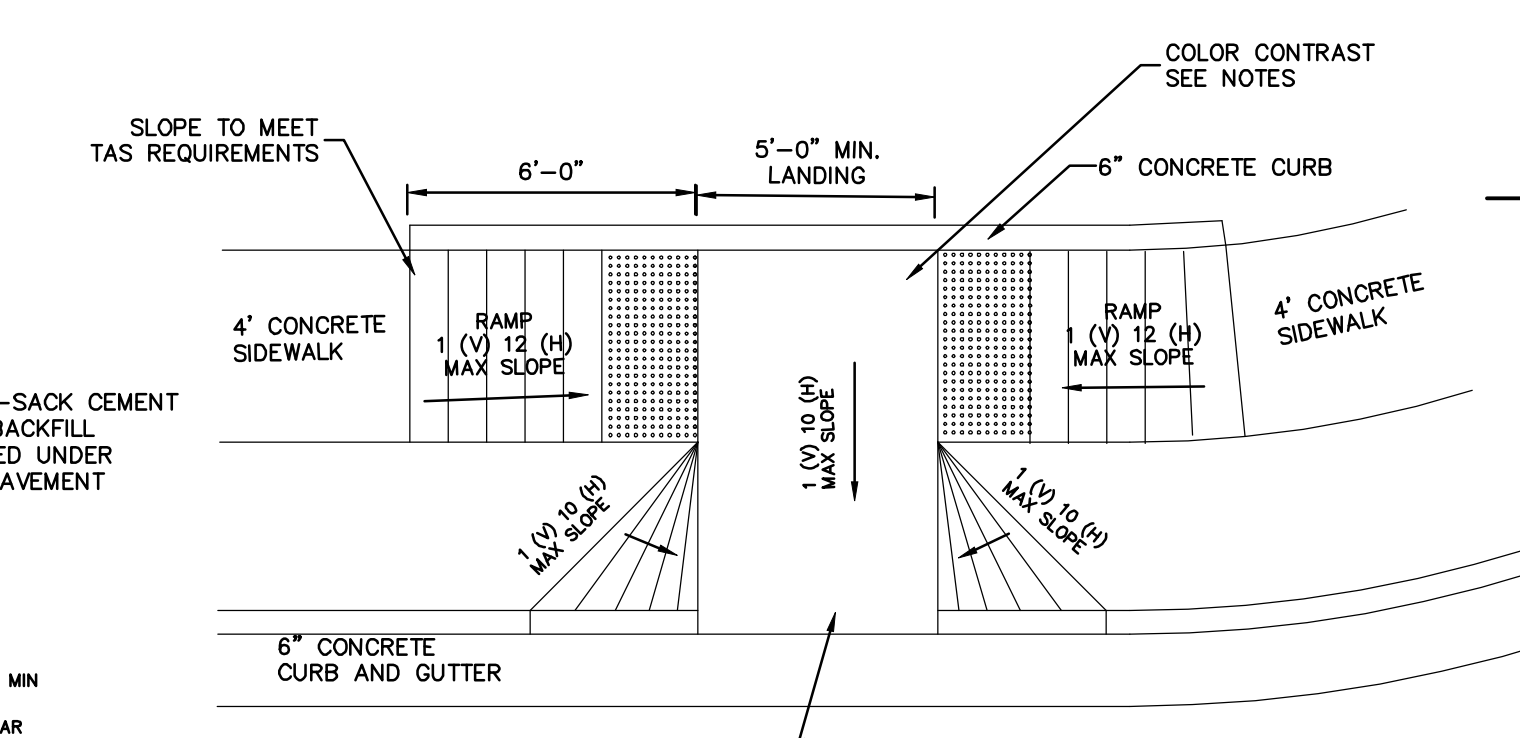
**GRATE/FRAME FOR DROP INLETS**

NOT TO SCALE



**HANDICAP PASSING ZONE**

SCALE: 1" = 2'-0"



**PLAN VIEW**

**ELEVATION**

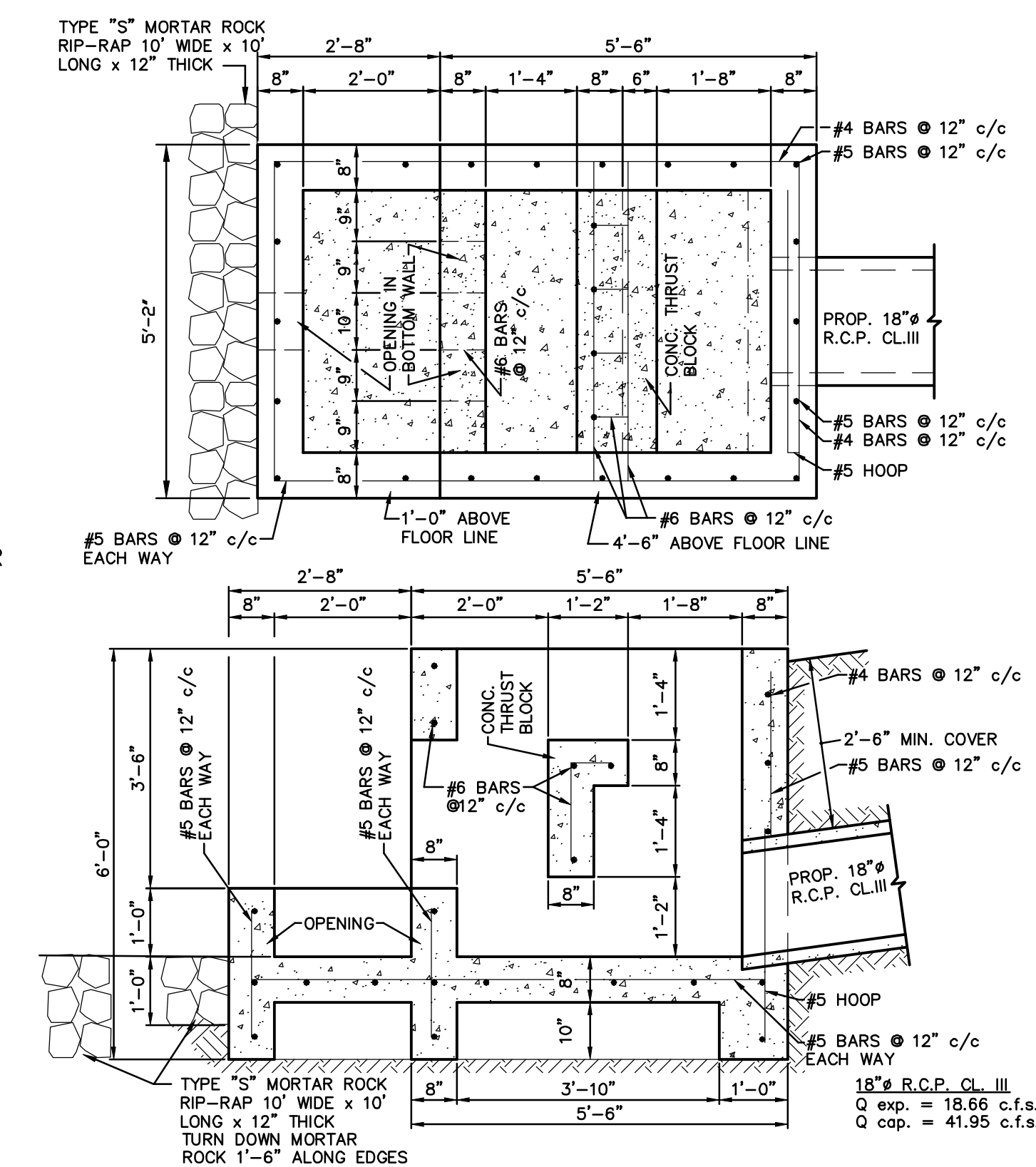
**HANDICAP RAMP NOTES:**

- RAMP SHALL HAVE CONTRASTING COLOR TO SIDEWALK. COLOR SHALL BE BRICK RED, OR AS APPROVED BY THE CITY OF EL PASO.
- ALL NEW RAMPS SHALL COMPLY WITH T.A.S. AND A.D.A. REQUIREMENTS. ANY SECTIONS NOT CONFORMING WILL BE REMOVED AT THE CONTRACTORS EXPENSE.

**TYPICAL WHEELCHAIR RAMP DETAIL B**

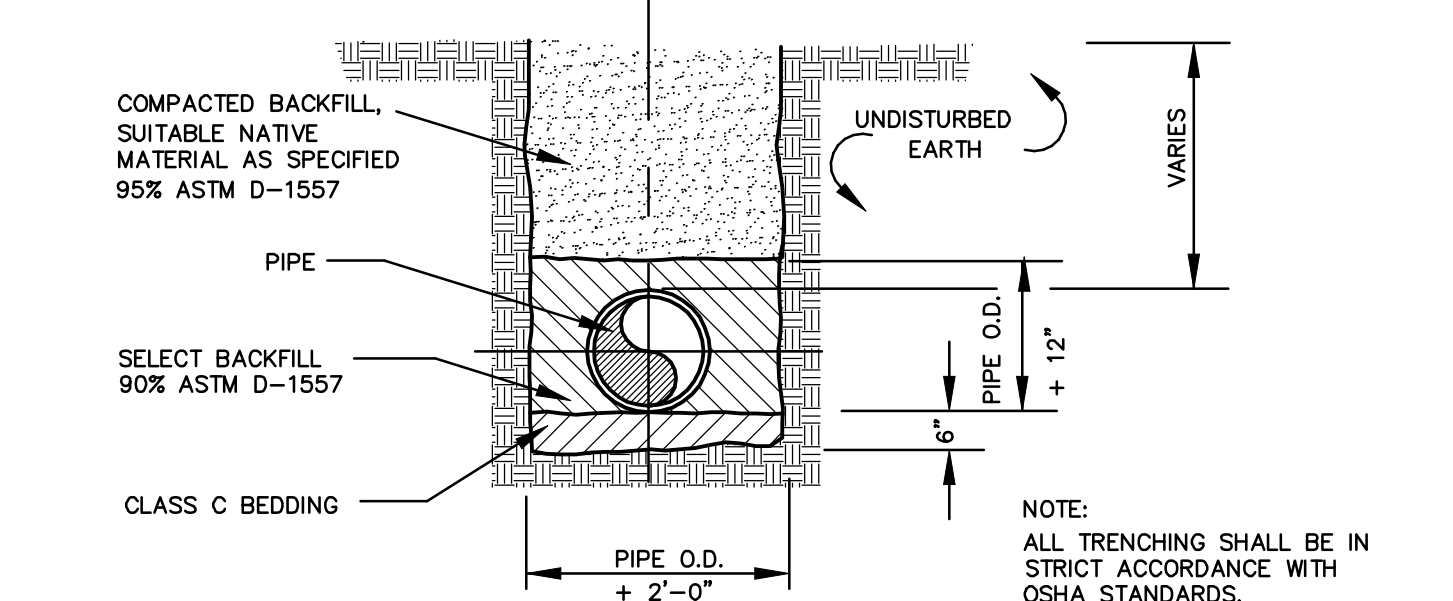
**AT CORNER**

SCALE: N.T.S.



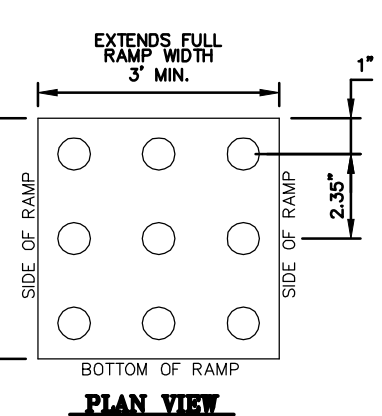
**CONCRETE THRUST BLOCK**

SCALE: 1/2" = 1'



**TYPICAL TRENCH AND BACKFILL DETAIL**

SCALE: NOT TO SCALE



**PLAN VIEW**

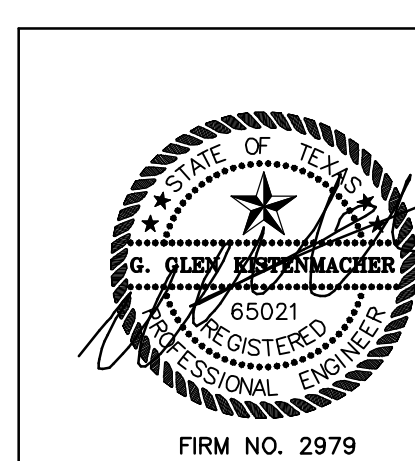
**SECTION**

**NOTES:**

- ALL CONCRETE SHALL BE 3000 P.S.I. MIN. AT 28 DAYS.
- CONCRETE SLABS SHALL BE A 4" THICK.
- DETECTABLE WARNING SURFACE SHALL CONSIST OF RAISED TRUNCATED DOMES WITH A NOMINAL DIAMETER OF 0.9 IN. A NOMINAL HEIGHT OF 0.2 IN. AND A CENTER TO CENTER NOMINAL SPACING OF 2.35 IN. AND SHALL NOT BE STAGGERED. THE SURFACE SHALL HAVE A COLOR CONTRAST VISUALLY WITH ADJOINING SURFACES.
- ALL NEW RAMPS SHALL COMPLY WITH T.A.S. AND A.D.A. REQUIREMENTS. ANY SECTIONS NOT CONFORMING WILL BE REMOVED AT THE CONTRACTORS EXPENSE.

**TRUNCATED DOME**

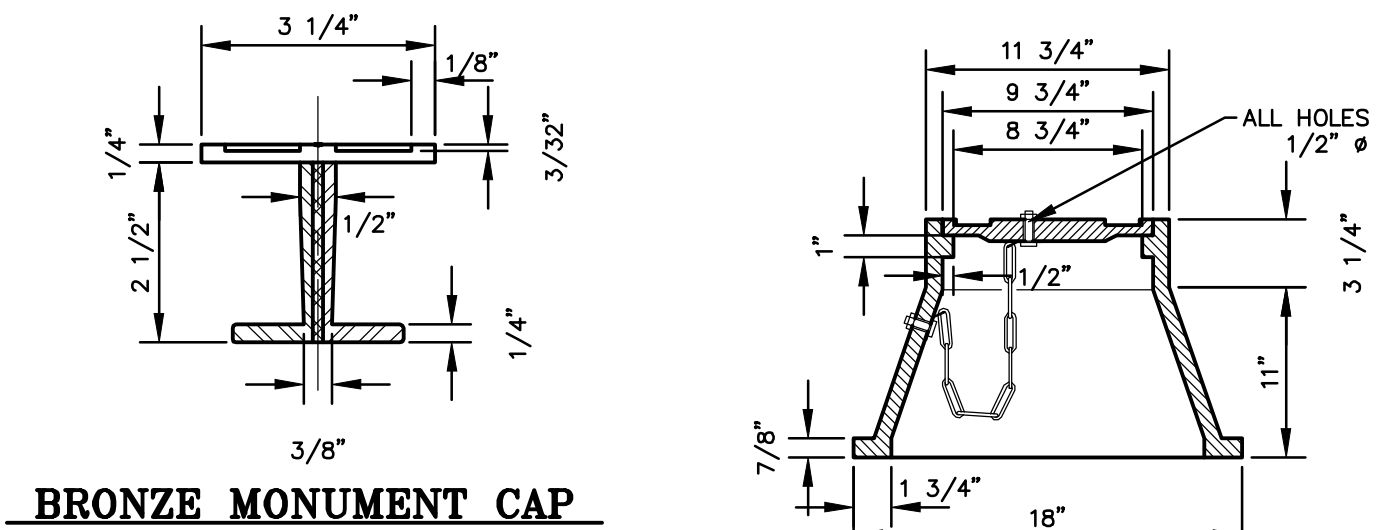
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DATE	REVISION DESCRIPTION
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7/8/08	RHT
7/29/08	RHT
3/29/10	RHT
9/24/13	RHT

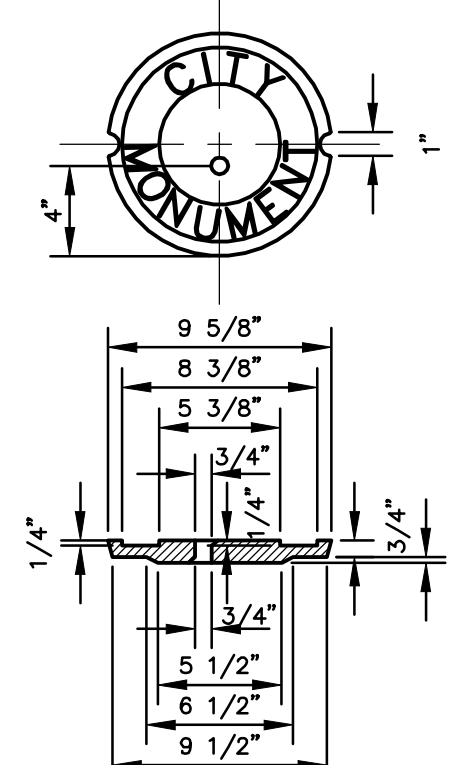
MISCELLANEOUS DETAILS			
MONTROYA VISTA			
CITY OF EL PASO	EL PASO COUNTY	TEXAS	
DATE: SEPTEMBER 5, 2007	SCALE: AS SHOWN	FILE NUMBER: MV-DETAILS	DATA FILE:
			FIELD BOOK:
KISTENMACHER ENGINEERING COMPANY, INC.		RHT	
CONSULTING ENGINEERING • LAND PLANNING • SURVEYING		CHECKED BY: SHEET 13	
1420 GERONIMO DRIVE, SUITE A2 • EL PASO, TEXAS 79925 • 915-778-4476		GOK OF 14	
6336 GREENVILLE AVE., SUITE C • DALLAS, TEXAS 75226 • 214-234-0011			

REVISED: 3/4/14

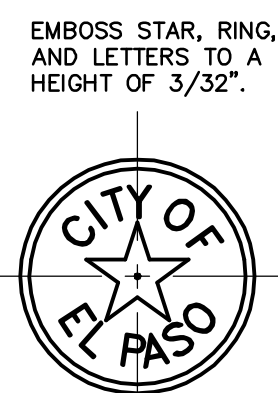


**BRONZE MONUMENT CAP**

**MONUMENT BOX**

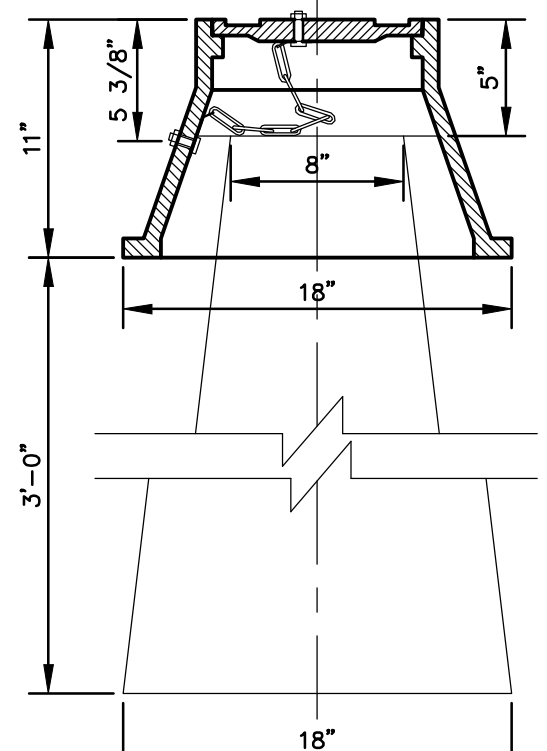


**BOX COVER**



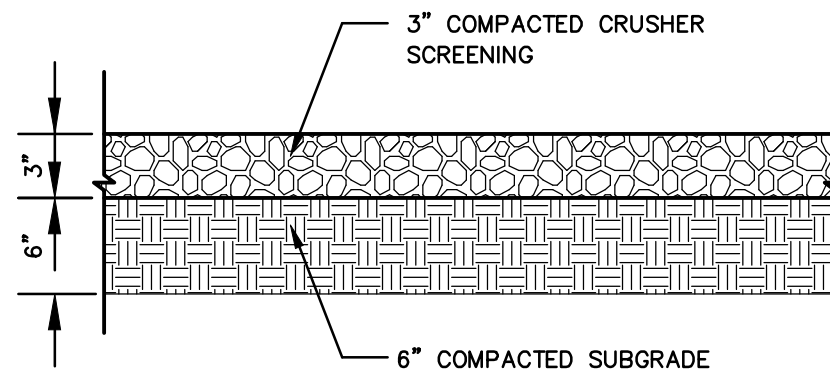
**CITY SURVEY MONUMENT**

NO FORMS REQUIRED.  
3000 p.s.i. CONCRETE TO BE POURED INTO PLACE.



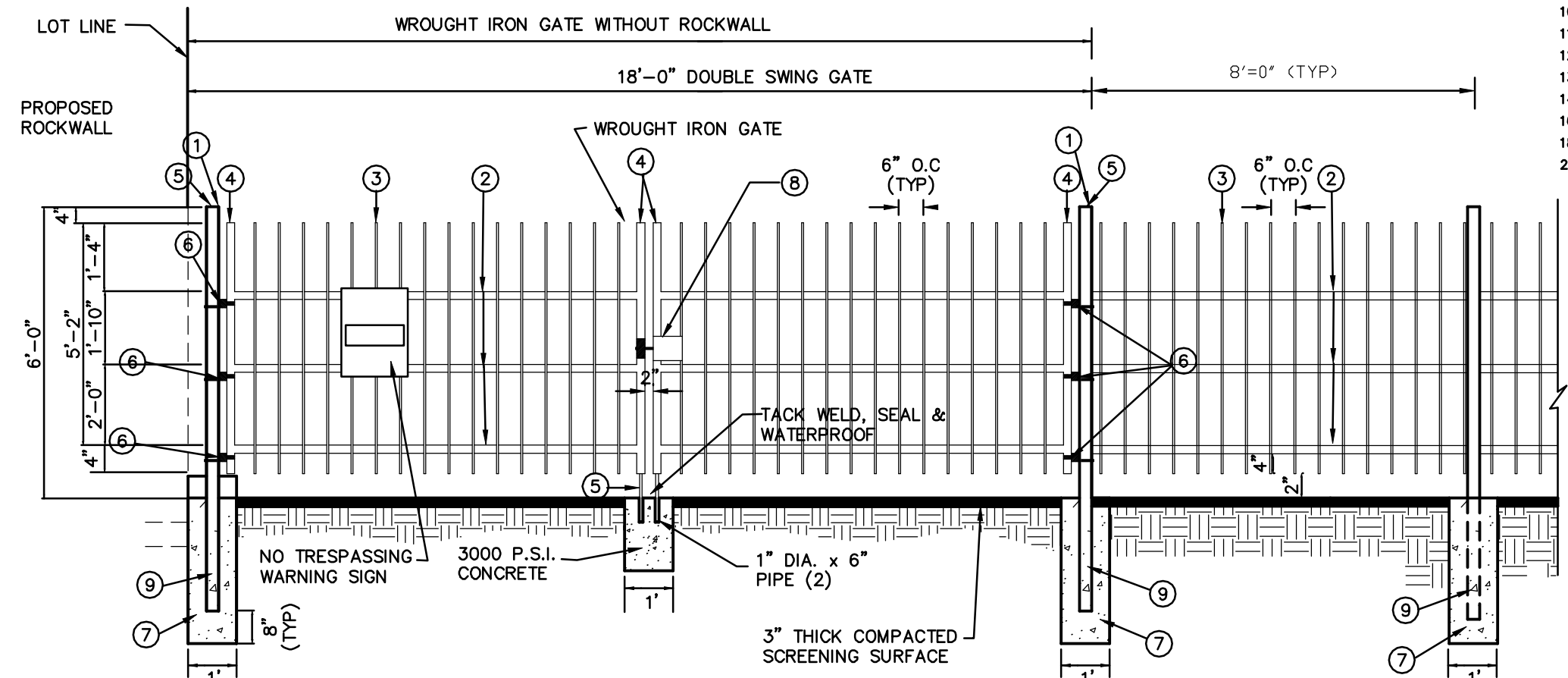
**SECTION VIEW**

NOT TO SCALE



**3" CHAT PAVING SECTION**

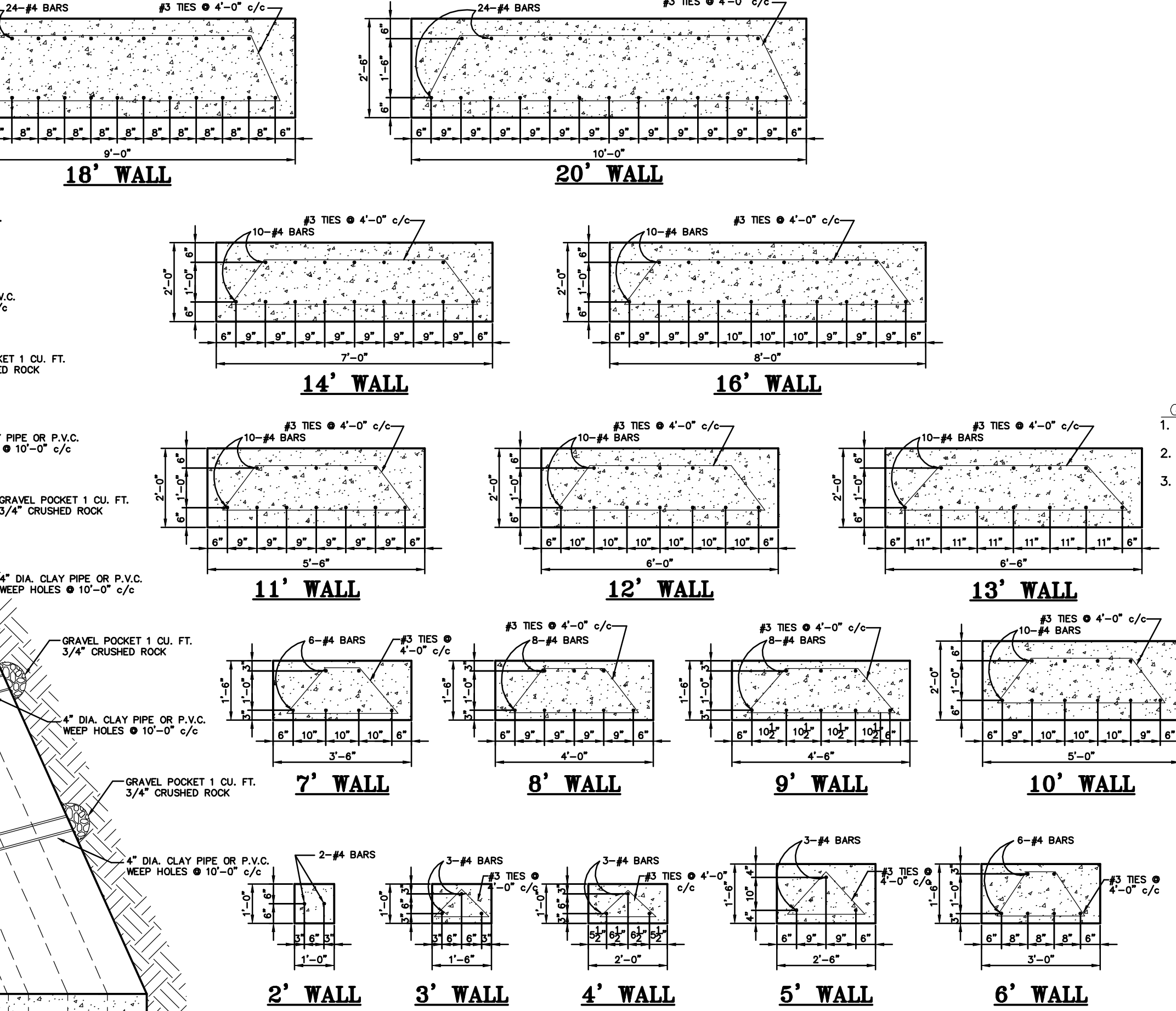
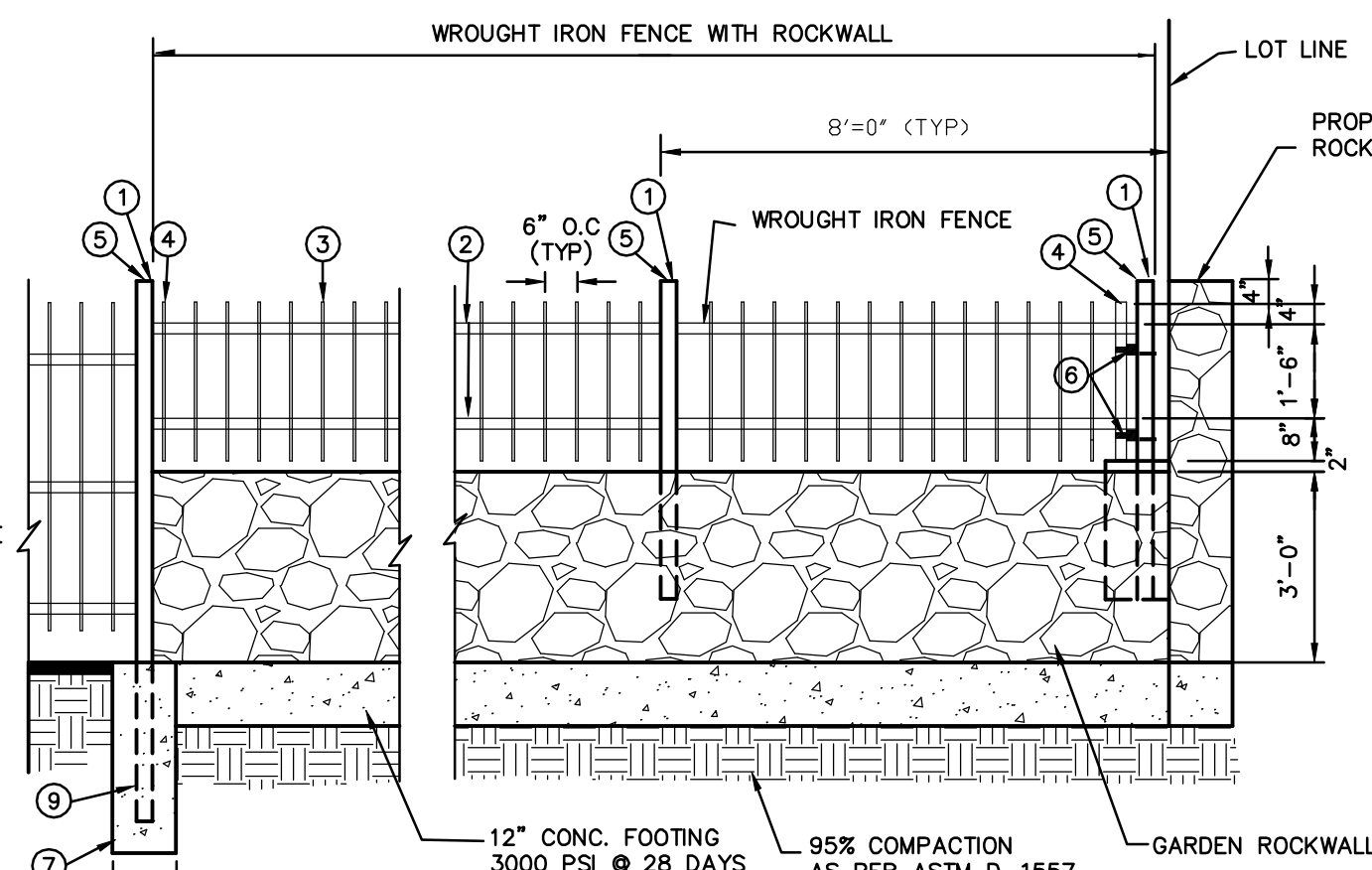
SCALE: 1" = 1'-0"



**WROUGHT IRON GATE**

NOT TO SCALE

- ① 3"x3"x 3/16" SQUARE STEEL TUBING
- ② 2"x1"x 14 GA. RECTANGULAR STEEL TUBING
- ③ 1 1/2"x1/2"x 16 GA. RECTANGULAR STEEL TUBING
- ④ 2"x1"x10 GA. RECTANGULAR STEEL TUBING
- ⑤ FLAT TOP POLYVINYL CAP
- ⑥ BOLT HOOK AND STRAP HINGE
- ⑦ 1'x3' DEEP 3000 P.S.I. CONCRETE POST FOOTING
- ⑧ DOUBLE GATE HEAVY DUTY INDUSTRIAL LATCH W/PAD LOCK
- ⑨ 5"x5"x3/8" SQUARE STEEL SLEEVE W/ 7"x7"x3/8" STEEL BASE PLATE
- ⑩ CANE BOLT LATCH W/KEEPER 5-8"x18" LONG (2 REQUIRED)



**TYPICAL ROCK MASONRY WALL AND FOOTING DETAILS**

Dwg Name: 20-RRW.dwg SCALE: 3/8" = 1'-0"

**NOTES:**

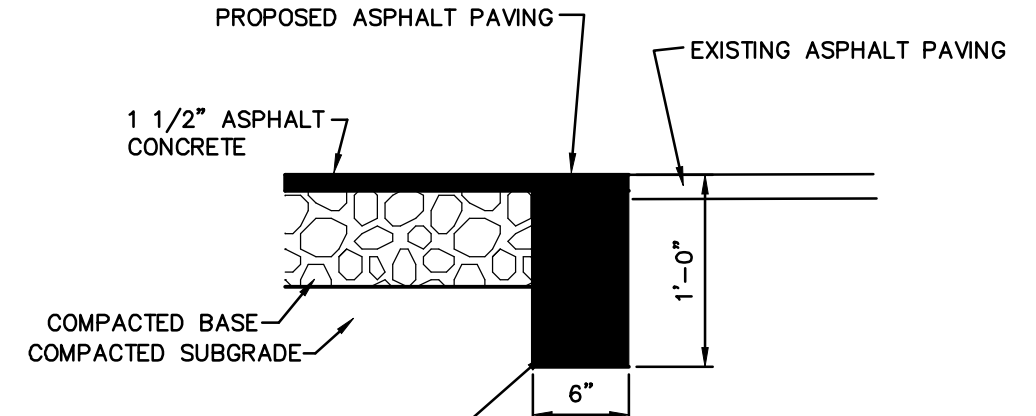
1. NATURAL STONE SHALL BE SOUND AND FREE FROM LOOSE OR FRIABLE INCLUSIONS AND SHALL MEET REQUIRED STRENGTH AND DURABILITY FOR PROPOSED USE.
2. MORTAR SHALL BE ASTM-270 TYPE "S".  
PROPORTION BY VOLUME:  
PORTLAND CEMENT 1 PART  
HYDRATED LIME 1/4 PART  
SAND 3 PARTS
3. CONCRETE F'C = 3000 P.S.I. AT 28 DAYS.
4. REINFORCING STEEL ASTM 615 GRADE 40, F<sub>y</sub>=40,000 P.S.I.
5. ALLOWABLE SOIL BEARING PRESSURE 2000 P.S.I. MIN.
6. WALL FOOTING SHALL BEAR ON COMPACTED OR FIRM UNDISTURBED GROUND.
7. WALL HEIGHT REFERS TO RETAINING PORTION ONLY.

**ROCKWALL NOTES**

1. NATURAL STONE SHALL BE SOUND AND FREE FROM LOOSE OR FRIABLE INCLUSIONS AND SHALL MEET REQUIRED STRENGTH AND DURABILITY FOR PROPOSED USE.
2. MORTAR SHOULD BE ASTM-270 TYPE "S".  
PROPORTION BY VOLUME:  
PORTLAND CEMENT 1 PART  
HYDRATED LIME 1/4 PART  
SAND 3 PARTS
3. CONCRETE F'C = 3000 P.S.I. AT 28 DAYS.
4. REINFORCING STEEL ASTM 615 GRADE 40, F<sub>y</sub>=40,000 P.S.I.
5. WALL FOOTING SHALL BEAR ON COMPACTED OR FIRM UNDISTURBED GROUND.

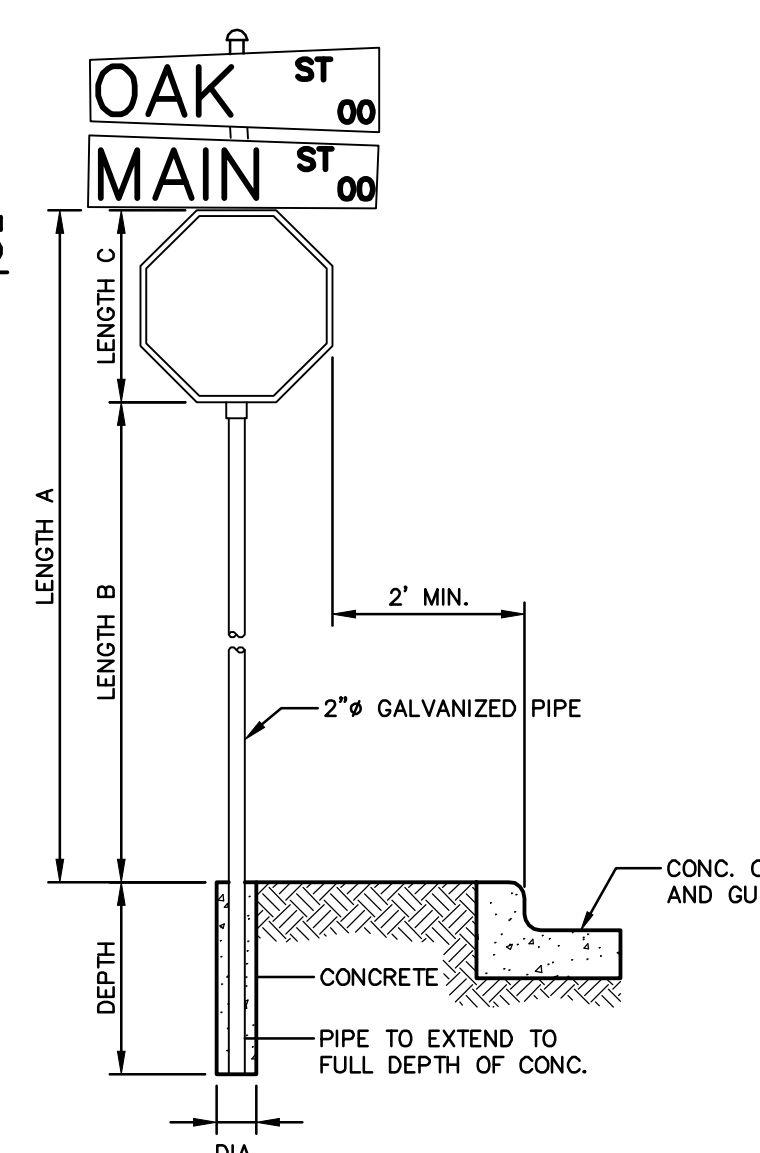
**ROCKWALL DETAIL**

SCALE: 3/8" = 1'-0"



**TYPICAL SECTION PAVEMENT TERMINATION**

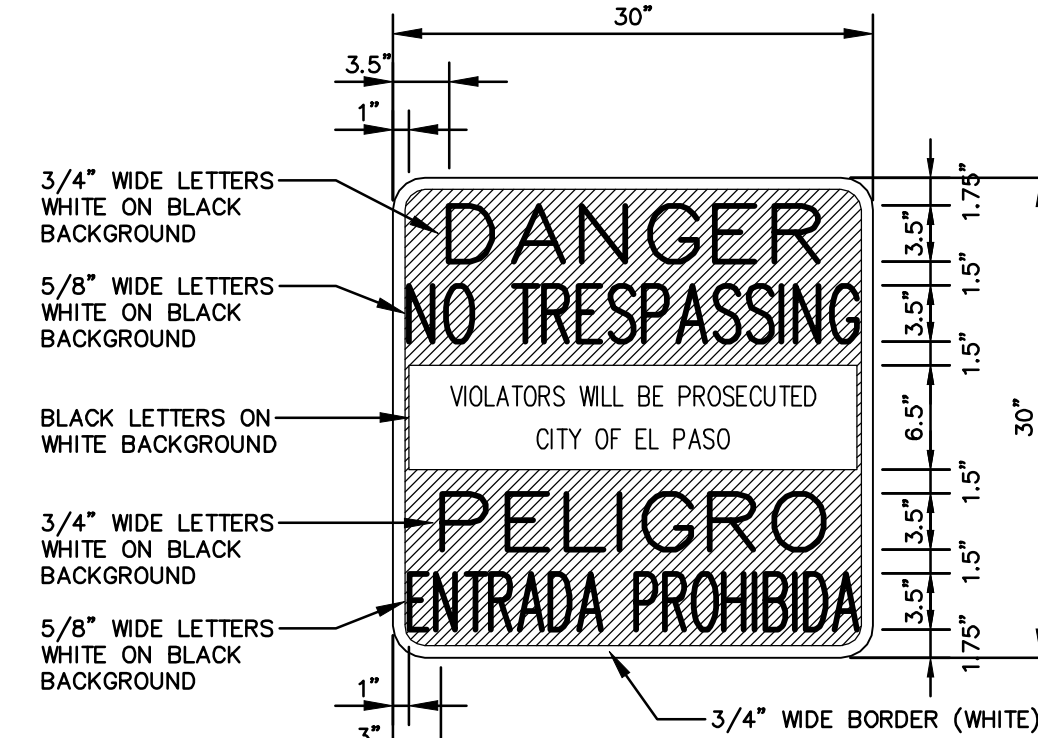
SCALE: 1" = 1'-0"



**SIGN POST INSTALLATION**

SCALE: 1/2" = 1'

LENGTH A	LENGTH B	LENGTH C	DEPTH
10 FT	7 FT	LARGER THAN 24"	2 FT
9 FT	7 FT	SMALLER THAN 24"	1-1/2 FT



**NO TRESPASSING WARNING SIGN**

SCALE: 1" = 1'

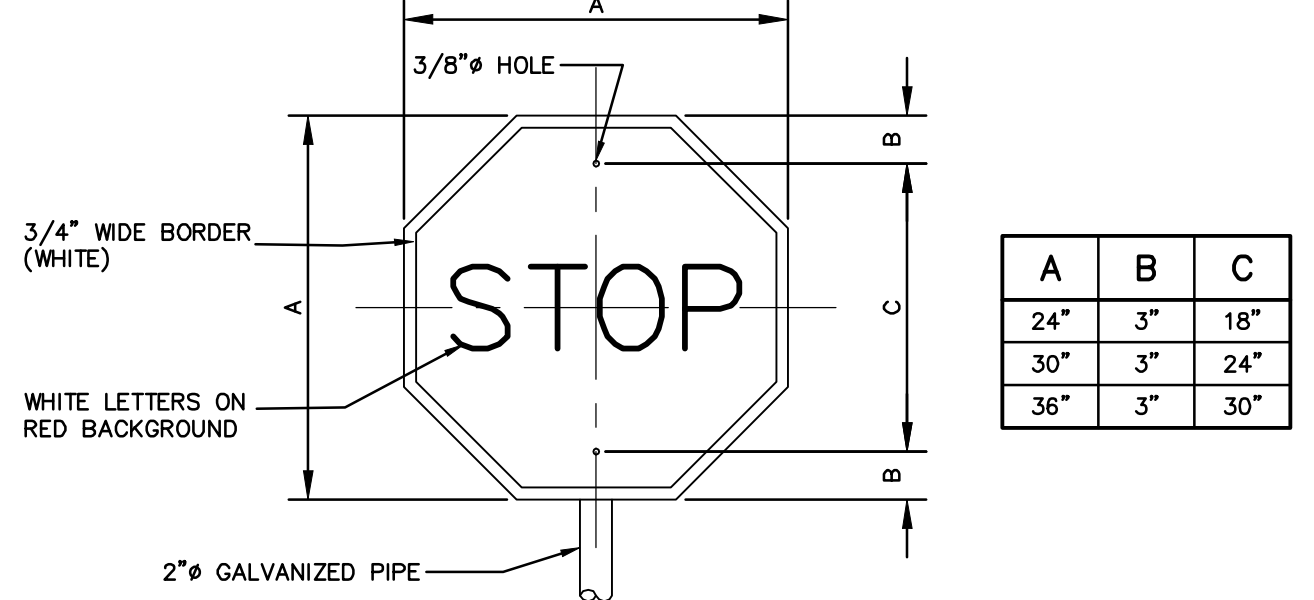
**GENERAL NOTES:**

1. SIGN MATERIAL TO BE 16 GAUGE GALVANIZED SHEET METAL.
2. TOP PART OF SIGN SHALL SHOW BLACK LETTERS ON A WHITE BACKGROUND.
3. BOTTOM PART OF SIGN SHALL SHOW WHITE LETTERS ON A BLACK BACKGROUND.



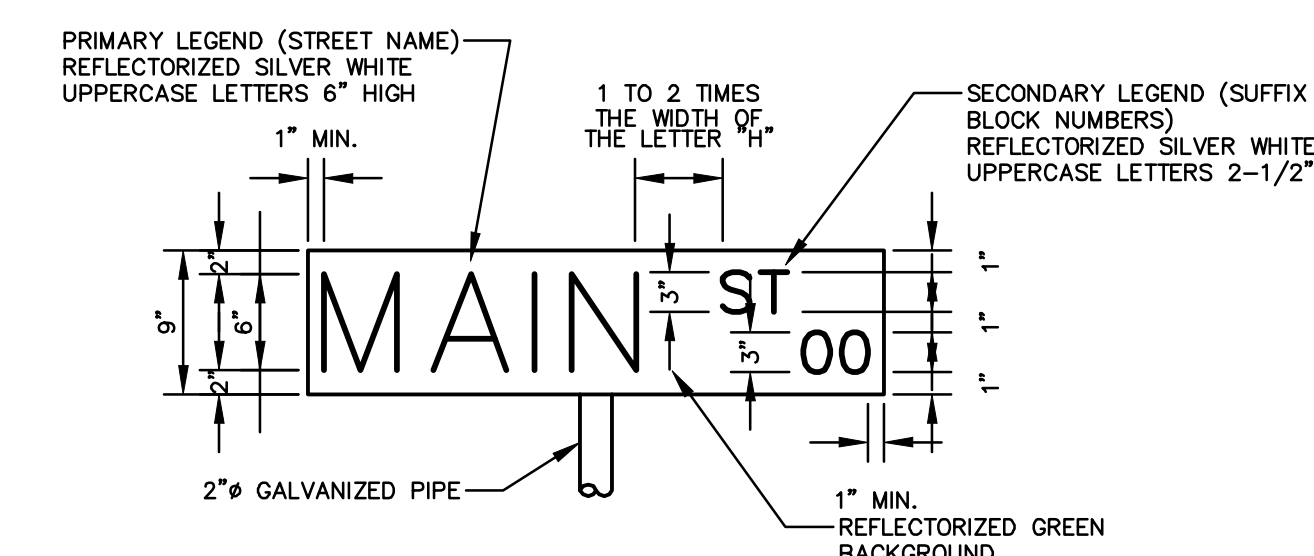
**SITE SIGN- NO TRESPASSING**

NOT TO SCALE



**TYPICAL STOP SIGN**

SCALE: 1" = 1'



**TYPICAL 9" STREET NAME SIGN**

SCALE: 1" = 1'

SIGN CLASS	SIGN LENGTH	PRIMARY LETTERS SIZE & SERIES	SUFFIX & BLOCK NUMBER SIZE & SERIES
ARTERIAL STREETS	36"	6" C,D SERIES	3" C SERIES
	42"	6" C,D SERIES	3" C SERIES
	48"	6" A,B,C,D SERIES	3" C SERIES



DATE	REVISION DESCRIPTION
11/14/07	RHT
7/8/08	RHT
7/29/08	RHT
3/29/10	RHT
9/24/13	RHT

**MISCELLANEOUS DETAILS**

MONTOYA VISTA

CITY OF EL PASO EL PASO COUNTY TEXAS

DATE: SEPTEMBER 5, 2007 SCALE: AS SHOWN FILE NUMBER: MV-DETAILS DATA FILE: DRAWN BY: FIELD BOOK:

KISTENMACHER ENGINEERING COMPANY, INC. RHT

CHECKED BY: SHEET 14 OF 14

REVISED: 11/6/13



# MONTOYA VISTA

PARK WHITEFIELD SUBDIVISION UNIT TWO  
LOT 2, BLOCK 1

BEING ALL OF TRACT 19,  
S.A. & M.G. RAILROAD COMPANY SURVEY No.286  
& A PORTION OF VACATED VALDEZ ROAD  
CITY OF EL PASO, EL PASO COUNTY, TEXAS  
CONTAINING 8.361 ACRES OR 364,189 SQUARE FEET

## DEDICATION

STATE OF TEXAS  
COUNTY OF EL PASO

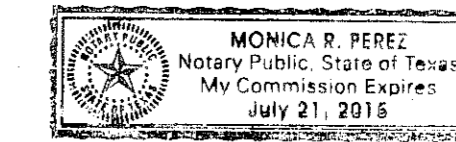
Hansen Ventures, LLC, owner of this land, hereby presents this plat and dedicates to the use of the public the streets, utility easements, and ponding area as hereon laid down and designated, including easements for overhead of service wires for pole type utilities, and buried service wires, conduits and pipes for underground utilities, and the right to ingress and egress for service and construction and the right to trim interfering trees and shrubs.

*Lester P. Hansen*  
LESTER P. HANSEN, MANAGER

## ACKNOWLEDGMENT

STATE OF TEXAS  
COUNTY OF EL PASO

This instrument was acknowledged before me this 25<sup>th</sup> day of June, 2015  
by Lester P. Hansen, manager.



*Monica R. Perez*  
Notary Public in and for El Paso County, Texas  
My commission expires:

## DEDICATION

STATE OF TEXAS  
COUNTY OF EL PASO

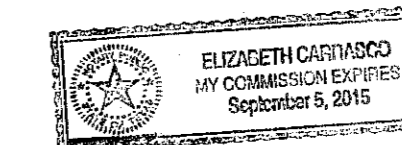
El Paso Independent School District, owner of this land, hereby presents this plat and dedicates to the use of the public the streets, utility easements, and ponding area as hereon laid down and designated, including easements for overhead of service wires for pole type utilities, and buried service wires, conduits and pipes for underground utilities, and the right to ingress and egress for service and construction and the right to trim interfering trees and shrubs.

*Dori Femenbach*

## ACKNOWLEDGMENT

STATE OF TEXAS  
COUNTY OF EL PASO

This instrument was acknowledged before me this 27<sup>th</sup> day of July, 2015  
by *Dori Femenbach*



*Elizabeth Castiblanco*  
Notary Public in and for El Paso County, Texas  
My commission expires:

## CITY PLAN COMMISSION

This subdivision is hereby approved as to the platting and as to the conditions of the dedication in accordance with Chapter 212 of the Local Government Code of Texas this 13 day of August, 2015 A.D.

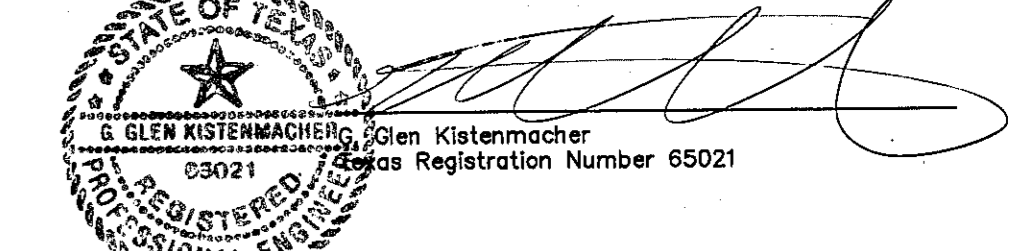
Executive Secretary: *Clayton*  
Chairperson: *[Signature]*  
Approved for filing this 18 day of August, 2015 A.D.  
Planning and Inspections Director: *[Signature]*

## FILING

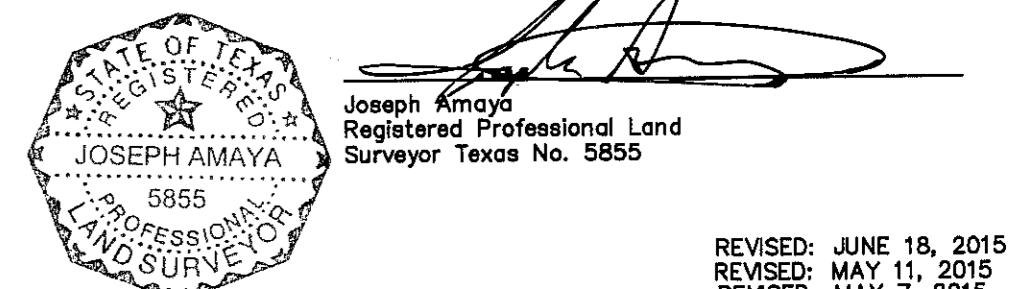
Filed and recorded in the office of the County Clerk of El Paso County, Texas, this 19<sup>th</sup> day of August, 2015 A.D., in Volume \_\_\_\_\_ of the Plat Records, Page \_\_\_\_\_, File No. 20150058490

FOR RECORDING PURPOSES ONLY  
*Debra Brimmer*  
County Clerk  
*Dejicia Kraft*  
Deputy

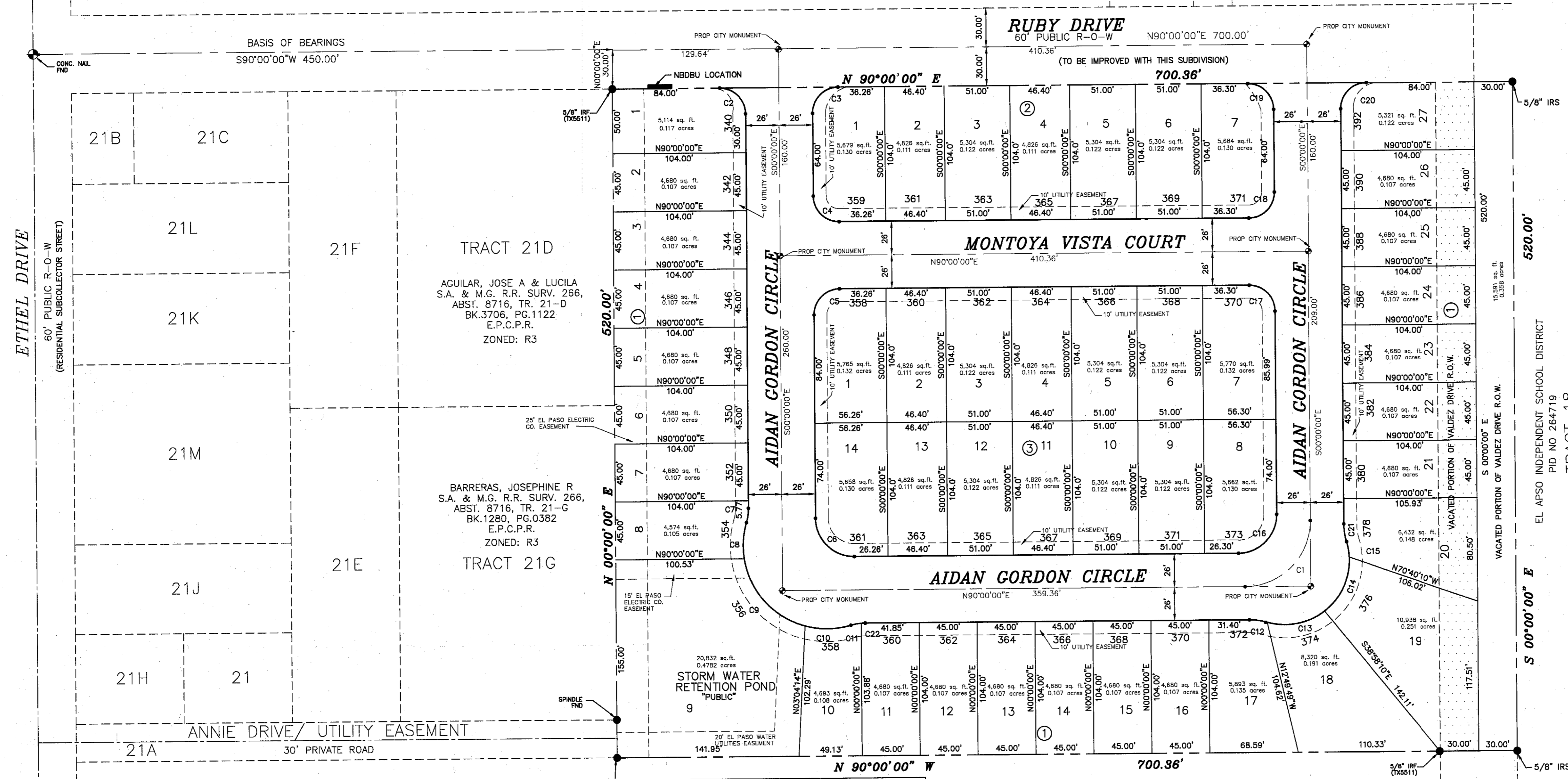
Prepared by and under the supervision of G. GLEN KISTENMACHER, Registered Professional Engineer, Texas No. 65021.



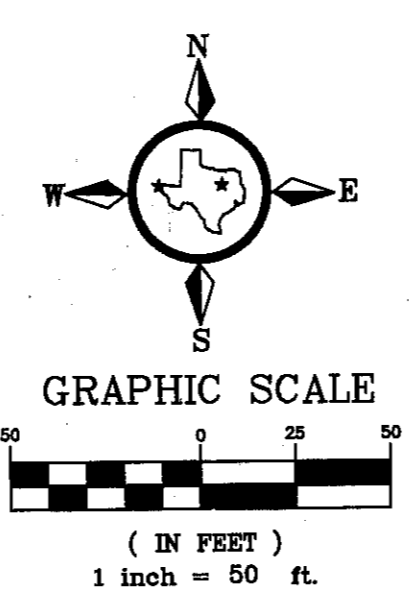
I certify that this survey was made on the ground or under my direct supervision and that it is in compliance with current Texas Board of Professional Land Surveying Professional and Technical Standards.



REVISED: JUNE 18, 2015  
REVISED: MAY 11, 2015  
REVISED: MAY 7, 2015  
REVISED: MAY 5, 2015  
REVISED: APRIL 30, 2015  
REVISED: JANUARY 28, 2015  
REVISED: JANUARY 28, 2015  
REVISED: APRIL 3, 2007  
PREPARED: APRIL 3, 2007



CURVE	LENGTH	RADIUS	TANGENT	CHORD	BEARING	DELTA
C1	80.11	51.00	72.12	41.85	N45°00'00"E	90°00'00"
C2	31.42	20.00	20.00	28.28	N45°00'00"W	90°00'00"
C3	31.42	20.00	20.00	28.28	S45°00'00"W	90°00'00"
C4	31.42	20.00	20.00	28.28	S45°00'00"W	90°00'00"
C5	31.42	20.00	20.00	28.28	S45°00'00"W	90°00'00"
C6	47.12	30.00	30.00	42.43	S45°00'00"E	90°00'00"
C7	11.37	40.00	5.72	11.33	N08°08'35"E	161°7'09"
C8	28.30	65.00	14.38	28.08	S03°48'47"W	24°56'44"
C9	74.71	65.00	42.10	70.67	S41°31'15"E	65°12'20"
C10	36.04	65.00	18.60	33.58	N89°33'58"E	31°48'14"
C11	8.22	40.00	4.12	8.20	S79°53'53"W	11°46'04"
C12	14.14	50.00	7.12	14.10	N81°53'45"W	161°2'30"
C13	47.08	50.00	25.45	45.38	N79°14'08"E	53°56'45"
C14	48.18	50.00	26.15	46.34	N24°39'21"E	55°12'48"
C15	11.86	50.00	5.86	11.84	N09°37'59"W	132°15'31"
C16	47.12	30.00	30.00	42.43	N45°00'00"E	90°00'00"
C17	31.42	20.00	20.00	28.28	N45°00'00"W	90°00'00"
C18	31.42	20.00	20.00	28.28	N45°00'00"E	90°00'00"
C19	31.42	20.00	20.00	28.28	N45°00'00"W	90°00'00"
C20	31.42	20.00	20.00	28.28	S45°00'00"W	90°00'00"
C21	14.24	50.00	7.12	14.78	S08°09'28"E	90°00'00"
C22	3.15	40.00	1.38	3.15	S87°44'28"W	4°31'05"



RAFAEL JORDAN  
S.A. & M.G. R.P. SURV. 266,  
ABST. 8716, TR. 22  
BK.1758, PG.0878  
E.P.C.P.R.  
ZONED: C4  
TRACT 22

- NOTES
- ALL EASEMENTS ARE 10' WIDE AND UNDERGROUND ONLY UNLESS SPECIFICALLY NOTE OTHERWISE.
  - THIS SUBDIVISION IS BEING PLATTED UNDER CHAPTER 19.36 OF THE CITY (HIERARCHY OF RESIDENTIAL STREET) ALLOWING 47 RESIDENTIAL LOTS.
  - RESTRICTIVE COVENANTS FOR THIS SUBDIVISION ARE FILED IN THE OFFICE OF THE COUNTY CLERK, DEED AND RECORDS SECTION, INSTRUMENT NO. 20150058472 DATE 8-19-15
  - PROPOSED CITY MONUMENT.
  - THIS SUBDIVISION IS LOCATED WITHIN THE EL PASO INDEPENDENT SCHOOL DISTRICT
  - SUBDIVISION TO BE SERVICED BY THE U.S. POSTAL SERVICE, ANY ALTERNATE AND/OR ADDITIONAL NDBBU LOCATION IS TO BE COORDINATED WITH THE GROWTH MANAGEMENT DIVISION OF THE U.S. POSTAL SERVICE.
  - VEHICULAR ACCESS TO LOTS 1 AND 27, BLOCK 1; LOTS 1 THROUGH 7, BLOCK 2 ABUTTING RUBY DRIVE SHALL BE FROM OTHER DEDICATED STREETS ONLY. THE INSTRUMENT ASSURING RELEASE OF ACCESS IS FILED IN THE OFFICE OF THE COUNTY CLERK, DEED AND RECORDS SECTION, INSTRUMENT NO. \_\_\_\_\_ DATE \_\_\_\_\_
  - SIDEWALKS ADJACENT TO LOT 9, BLOCK 1 WILL BE CONSTRUCTED BY DEVELOPER. ALL OTHER SIDEWALKS WILL BE CONSTRUCTED BY THE INDIVIDUAL LOT BUILDERS.
  - THIS IS TO CERTIFY THAT WATER AND SEWER SERVICES WILL BE PROVIDED TO MONTOYA VISTA BY THE EL PASO WATER UTILITIES/PUBLIC SERVICE BOARD IN ACCORDANCE WITH THEIR RULES AND REGULATIONS AND WITH SECTION 16.343 OF THE TEXAS WATER CODE. WATER AND SEWER SERVICES WILL BE EXTENDED TO THE SUBDIVISION FROM EXISTING FACILITIES LOCATED ON RUBY DRIVE AND ETHEL DRIVE, AND WILL BE CONSTRUCTED TO SERVE THE SUBDIVISION ON \_\_\_\_\_ 2015.
  - TAX CERTIFICATE(S) FOR THIS SUBDIVISION ARE FILED IN THE OFFICE OF THE COUNTY CLERK, DEED AND RECORDS SECTION, INSTRUMENT NO. 20150058471 DATE 8-19-15
  - THIS PROPERTY IS LOCATED IN ZONE C AS SHOWN ON FIRM FLOOD INSURANCE RATE MAPS PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY COMMUNITY PANEL NO. 480214 0021 D, DATED: JANUARY 3, 1997
  - FINAL PERCOLATION TEST WITH GEOTECHNICAL RECOMMENDATION, SOIL TEST AND BORING LOG WITH WATER TABLE ELEVATION INFORMATION SHALL BE SUBMITTED PRIOR TO STREET ACCEPTANCE AND / OR BUILDING PERMITS SUBMITTAL.

**KISTENMACHER ENGINEERING COMPANY**  
CONSULTING ENGINEERING • LAND PLANNING • SURVEYING  
6044 GATEWAY EAST BLVD., SUITE 800 • EL PASO, TEXAS 79905 • (915) 778-4476  
6336 GREENVILLE AVE, SUITE C • DALLAS, TEXAS 75206 • (214) 234-0011

