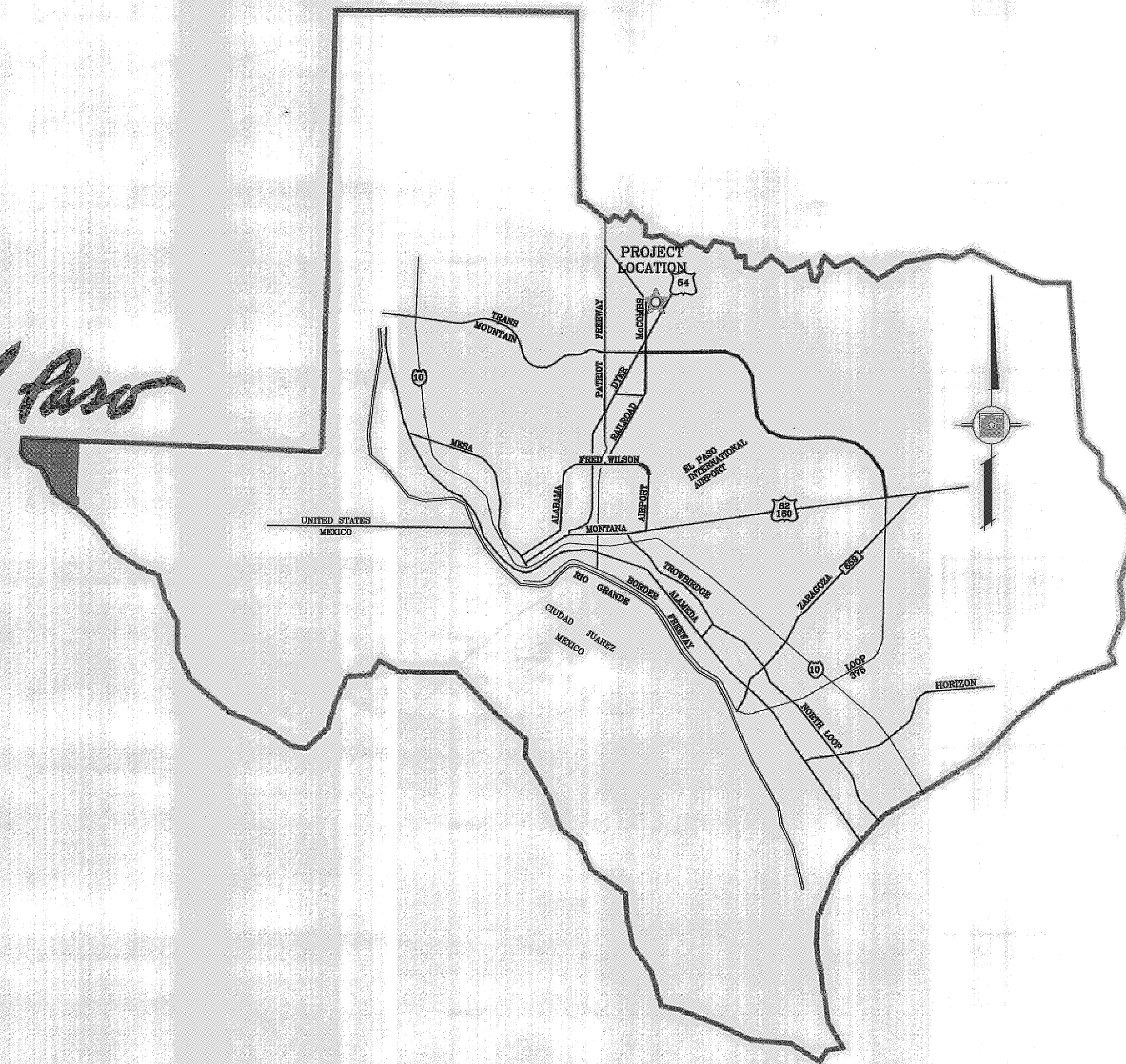
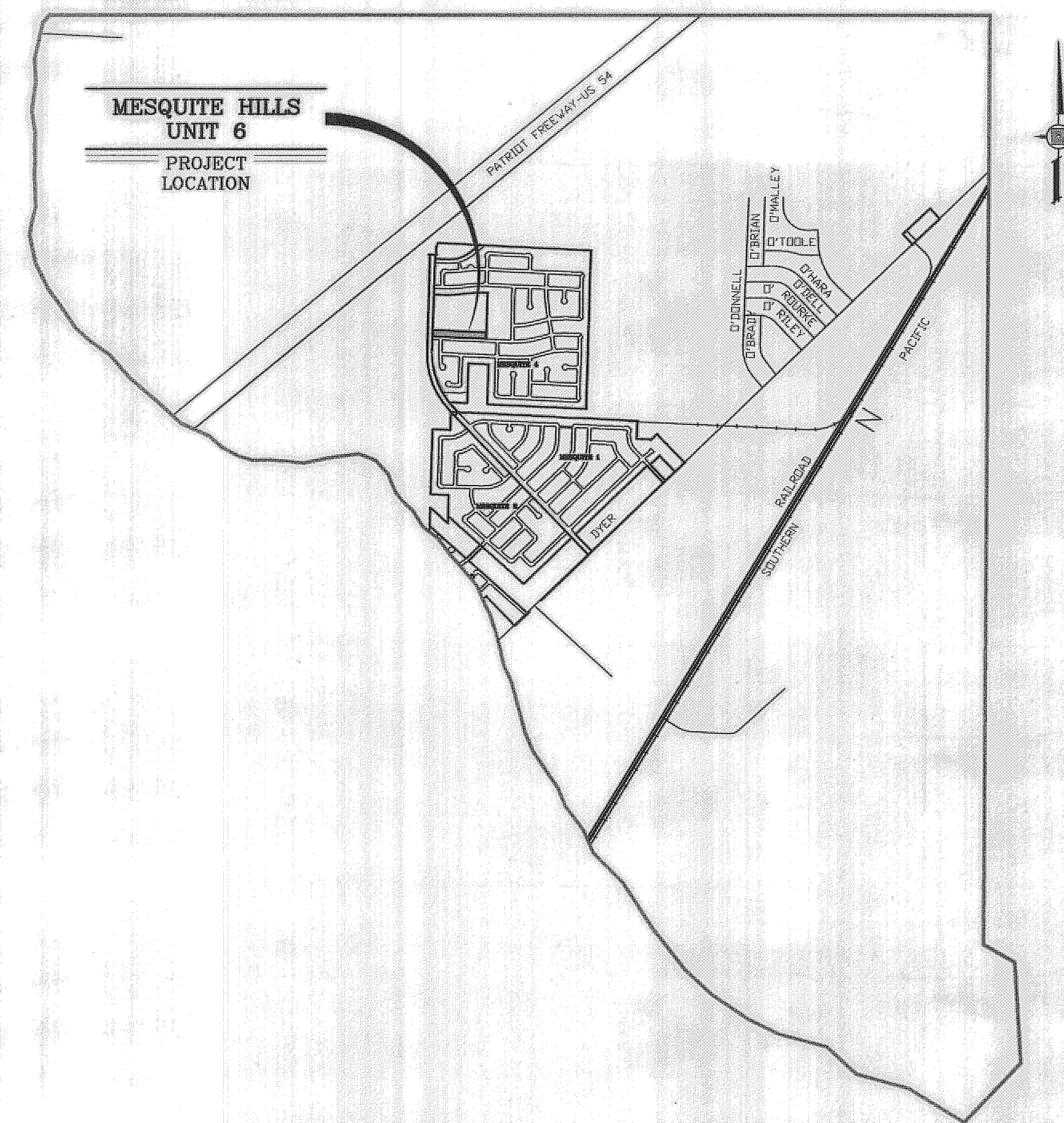


El Paso

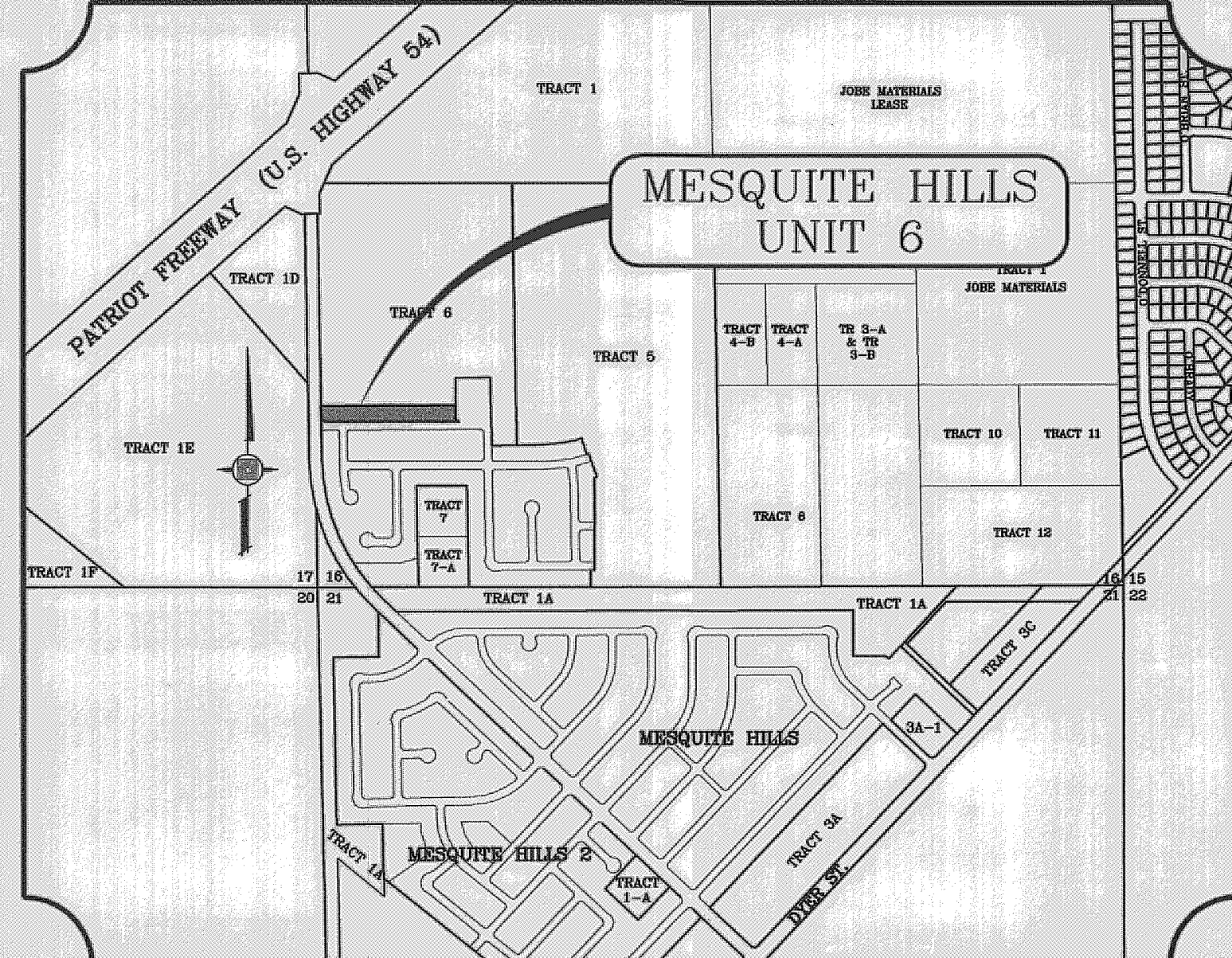


VICINITY MAP



LOCATION MAP

SCALE: 1" = 1000'



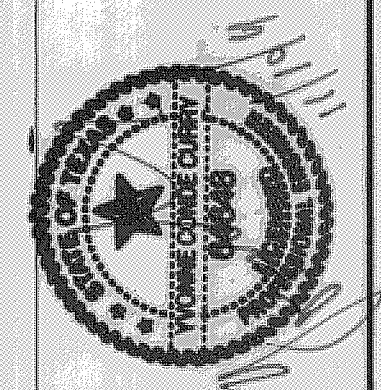
STREET IMPROVEMENTS

I N D E X

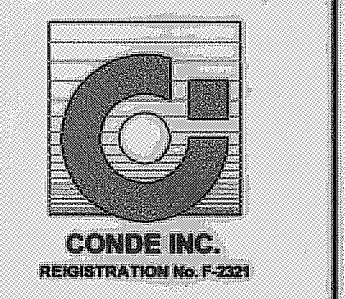
TITLE	SHEET No.		
COVER SHEET	1	OF	7
PLAT	2	OF	7
GRADING, SECTIONS AND DRAINAGE PLAN	3	OF	7
S.W.P.P. AND DETAILS	4	OF	7
COPPER VALLEY LN. & ZAVI PL.	5	OF	7
STANDARD DETAILS	6&7	OF	7
ZAVI PL. PARKWAY LANDSCAPE & IRRIGATION	L1	OF	1

PROJECT NAME
MESQUITE HILLS UNIT 6

BEING A PORTION OF TRACT 6, SECTION 16, BLOCK 80
TOWNSHIP 17 NORTH, RANGE 10 WEST, COUNTY OF EL PASO,
STATE OF TEXAS, AND PACIFIC RAILROAD SURVEYS,
CITY OF EL PASO, EL PASO COUNTY, TEXAS
CONTAINING: 2.1092 ACRES



CONDE INC.
ENGINEERING / PLANNING
SURVEYING / GPS
6080 SURETY DR. STE 100
EL PASO, TEXAS 79905



MESQUITE HILLS UNIT 6

BEING A PORTION OF TRACT 6, SECTION 16, BLOCK 80, TOWNSHIP 1, TEXAS AND PACIFIC RAILWAY Co. SURVEYS, CITY OF EL PASO, EL PASO COUNTY, TEXAS CONTAINING: 2.1092 ACRES

CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C1	20.00	31.43	20.02	28.30	S45°03'42"E	90°03'00"
C2	25.00	38.87	24.61	35.07	N45°32'27"W	89°05'30"
C3	20.00	31.73	20.32	28.51	N44°27'33"E	90°04'30"
C4	20.00	31.10	18.69	28.06	S45°32'27"E	89°05'30"
C5	20.00	31.40	19.98	28.27	N44°36'19"E	89°07'00"

LINE	LENGTH	BEARING
L1	42.01	N89°54'48"E
L2	26.00	N00°59'42"W
L3	26.00	N00°02'12"W

1) That no permits, including grading permits, be issued by the City until full provision for water and sewer are available from either PSB or the Developers and service is available for actual use.

2) At the time the PSB is able to provide water and sewer that the development is required to hook up, at their expense, to the PSB water and sewer and that this be recorded in the plat and that a provision be made for the hook up.

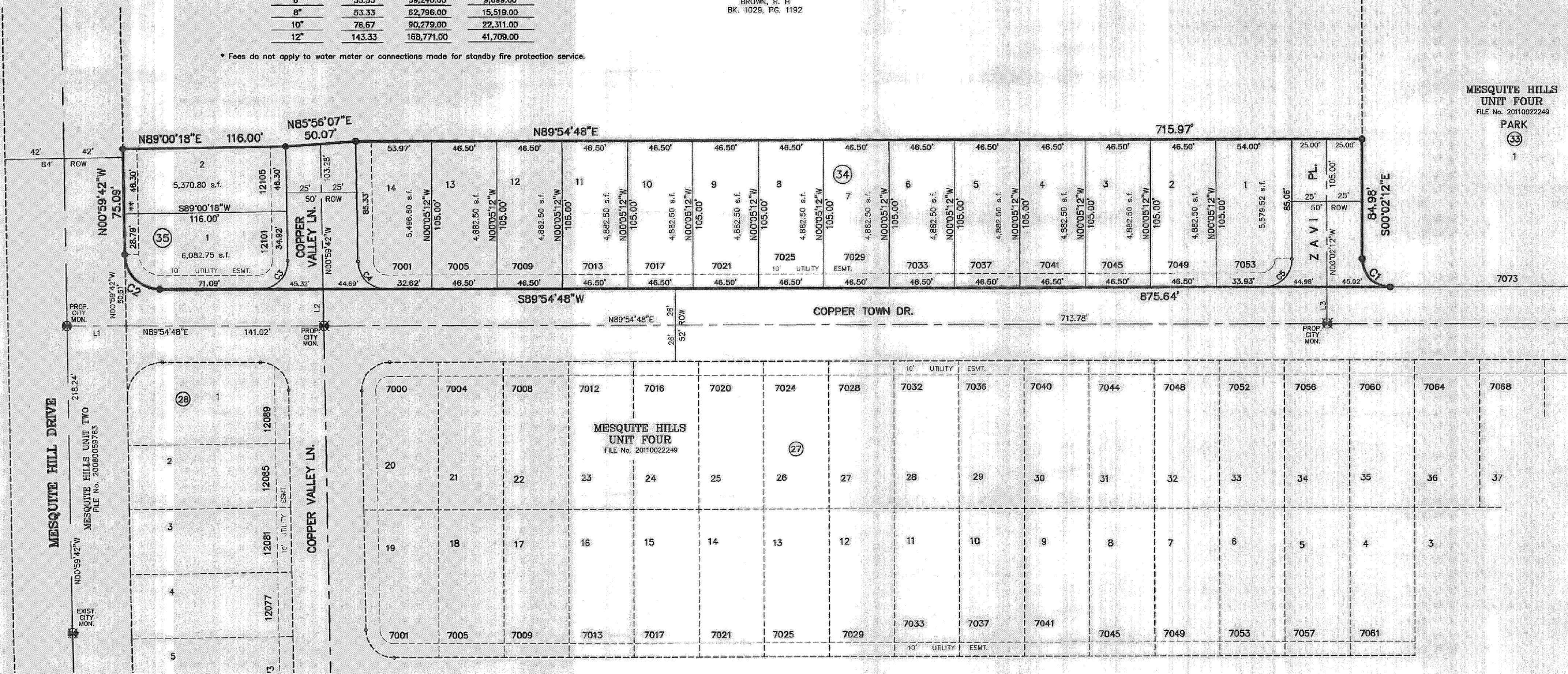
Impact fees shall be calculated based on the table below:

Chapter 395 of the Texas Local Government Code authorizes the City of El Paso to adopt and impose water and wastewater impact fees. This plat note fulfills an obligation mandated by Chapter 395 and sets the assessment of the impact fees in accordance with the impact fee schedule adopted by City Council as set forth below. The collection of the impact fee for this subdivision shall be prior to the time a building permit is issued if development is within the city limits or at the time of the meter connection if development is outside of the city limits.

Meter Size	Meter Capacity Ratio	*Water (\$)	Wastewater (\$)
Less Than 1"	1.00	1,178.00	291.00
1"	1.67	1,967.00	486.00
1 1/2"	3.33	3,921.00	969.00
2"	5.33	6,276.00	1,551.00
3"	10.00	11,775.00	2,910.00
4"	16.67	19,629.00	4,851.00
6"	33.33	39,246.00	9,699.00
8"	53.33	62,796.00	15,519.00
10"	76.67	90,279.00	22,311.00
12"	143.33	188,771.00	41,709.00

* Fees do not apply to water meter or connections made for standby fire protection service.

TRACT 6
MMA PROPERTIES LLC
INS#2005008070
BROWN, R. H
BK. 1029, PG. 1192



MESQUITE HILLS UNIT FOUR
FILE No. 2011002249
PARK 1

NOTES:

WATER AND SEWER SERVICES WILL BE EXTENDED TO THIS SUBDIVISION (MESQUITE HILLS UNIT 6) FROM EXISTING EL PASO WATER UTILITIES/PUBLIC SERVICE BOARD FACILITIES AND WILL BE CONSTRUCTED AND OPERABLE AS OF APRIL 2011.

THE INSTRUMENT ASSURING THE CERTIFICATION THAT WATER AND SEWER SERVICES FACILITIES DESCRIBED BY THIS PLAT ARE IN COMPLIANCE WITH THE MODEL RULES ADOPTED UNDER SECTION 16.543, TEXAS WATER CODE IS FILED IN THE OFFICE OF THE COUNTY CLERK, DEED AND RECORD SECTION.

INSTRUMENT No. _____ DATE _____

TAX CERTIFICATE FOR THIS SUBDIVISION ARE FILED IN THE OFFICE OF THE COUNTY CLERK, DEED AND RECORDS SECTION.

INSTRUMENT No. 20110046704 DATE 7/11/11

VEHICULAR ACCESS TO THOSE RESIDENTIAL LOTS ABUTTING MESQUITE HILL DRIVE SHALL BE FROM OTHER DEDICATED STREETS ONLY. THE INSTRUMENT ASSURING RELEASE OF ACCESS IS FILED IN THE OFFICE OF THE COUNTY CLERK, DEED AND RECORD SECTION.

INSTRUMENT No. 20110046705 DATE 7/11/11

RESTRICTIVE COVENANTS FOR THIS SUBDIVISION ARE FILED IN THE OFFICE OF THE COUNTY CLERK, DEED AND RECORD SECTION.

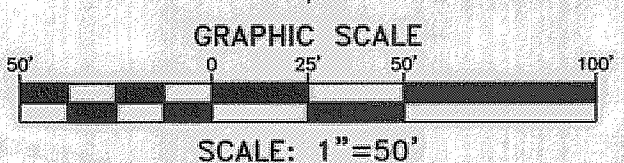
INSTRUMENT No. 20110046706 DATE 7/11/11

LOT CORNERS WILL BE SET UP ON COMPLETION OF CONSTRUCTION OF ROADWAYS AND UTILITIES.

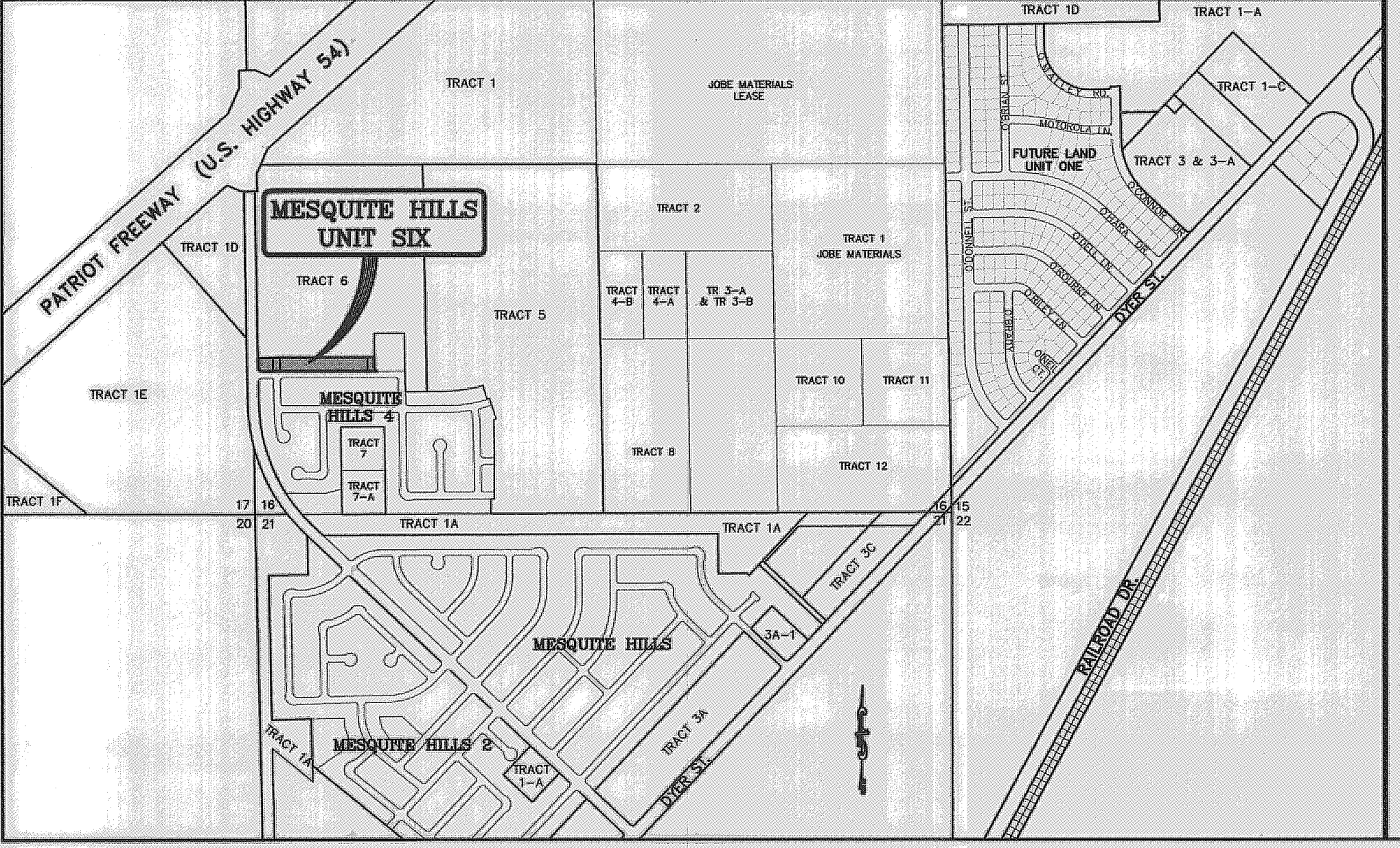
"U.S. POSTAL SERVICE DELIVERY WILL BE PROVIDED THROUGH NEIGHBORHOOD DELIVERY AND COLLECTION BOX UNITS".

SET 1/2" REBAR WITH CAP MARKED TX 5152 AT ALL EXTERIOR BOUNDARY CORNERS UNLESS OTHERWISE NOTED.

ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO 480214-0080, DATED JANUARY 3, 1997, PROPERTY IS IN FLOOD HAZARD ZONE C "AREAS OF MINIMAL FLOODING".



LOCATION MAP SCALE: 1" = 1000'



** 10' RESTRICTED ACCESS EASEMENT

DEDICATION

NEWMAN RANCH PARTNERS, L.P., property owner of this land hereby present this plat and dedicate to the use of the public, the streets, and utility easements as hereon laid down and designated, including easements for overhead of service wires for pole type utilities, and buried service wires, conduits and pipes for underground utilities, and the right to ingress and egress for service and construction and the right to trim interfering trees and shrubs.

Witness our signature this 20th day of April, 2011.

NEWMAN RANCH PARTNERS, L.P.
BY: NEWMAN RANCH, L.L.C.
ITS GENERAL PARTNER

By: *Douglas A. Schwartz*
Douglas A. Schwartz, MANAGER

ATTEST: NOT REQUIRED

ACKNOWLEDGEMENT

STATE OF TEXAS
COUNTY OF EL PASO

Before me, the undersigned authority, on this day personally appeared Douglas A. Schwartz, Manager of NEWMAN RANCH, L.L.C., GENERAL PARTNER OF NEWMAN RANCH PARTNERS, L.P., known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same as the act and deed of said partnership for the purpose and considerations herein expressed.

Given under my hand and seal of office this 20th day of April, 2011.

By: *Suzanne McMillan*
Notary Public in and for El Paso County My Commission Expires 3-16-13

CITY PLAN COMMISSION

This subdivision is hereby approved as to the platting and as to the condition of the dedication in accordance with Chapter 212 of the Local Government Code of Texas this 4th day of May, 2011.

By: *Matthew McElroy* Executive Secretary
By: *Kelley Updegraff* Chairperson

Approved for filing this 27th day of April, 2011.

By: *Alan Schubert*
City Engineer

FILING

Filed and recorded in the office of the County Clerk of El Paso County, Texas, this 11th day of July, 2011, A.D. in File No. 20110046703

By: *Delia Briones* County Clerk
By: *Christian Sengulap* Deputy

Prepared by and under the supervision of: YVONNE CONDE CURRY, P.E.
Registered Professional Engineer
Registration No. 64648

By: *Yvonne Conde Curry*
Yvonne Conde Curry, P.E.
By: *Ron R. Conde*
Registered Professional Land Surveyor
Texas License No. 5152

DATE OF PREPARATION: DECEMBER 08, 2010

CONDE INC.
ENGINEERING / PLANNING
GPS / SURVEYING / CAD
6080 SURETY DR. STE 100
EL PASO, TEXAS 79905
PHONE: (915) 682-0289
FAX: (915) 682-0286

GENERAL NOTES:

- IMPROVEMENT WITHIN CITY R.O.W. SHALL COMPLY WITH TITLE 19-SUBDIVISION ORDINANCE - "SUBDIVISION IMPROVEMENT DESIGN STANDARDS".
- CONTRACTOR SHALL PROVIDE TEMPORARY MEASURES FOR THE MANAGEMENT OF STORM WATER RUNOFF ENTERING, EXITING AND ON SITE DURING THE COURSE OF THE CONSTRUCTION. TEMPORARY BERMS, DESILTING BASIN, CHECK DAMS, PIPING ETC. SHALL BE PROVIDED AS NECESSARY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION AND NOTIFICATION WITH ALL APPURTENANT UTILITY COMPANIES WHOSE LINES ARE WITHIN THE CONSTRUCTION CONTRACT AREA. THE CONTRACTOR SHALL NOTIFY UTILITY COMPANIES 48 HOURS PRIOR TO ANY CONSTRUCTION ON SITE. THE CONTRACTOR WILL BE RESPONSIBLE PHYSICALLY AND FINANCIALLY FOR ANY DISRUPTION TO SERVICE EITHER ON SITE OR OFF SITE DUE TO BREAKAGE OF UTILITY LINES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DATA SHOWN ON THE PLANS. IF DISCREPANCIES ARE FOUND THE CONTRACTOR SHALL NOTIFY THE OWNER OR ENGINEER IMMEDIATELY SO THAT PROPER CORRECTIONS CAN BE MADE.
- EQUIPMENT OF A CONDITION AND DESIGN SUFFICIENT TO ENSURE A THOROUGH AND WORKMANLIKE PROSECUTION OF THE PROJECT SHALL BE USED AT ALL TIMES.
- ALL ELEVATIONS ARE TO CITY DATUM UNLESS OTHERWISE NOTED.
- ALL WASTE MATERIALS INCLUDING EXCAVATION, CURBING, PAVEMENT, ETC. SHALL BE DISPOSED OF AS DESIGNATED BY THE OWNER OR HIS REPRESENTATIVE.
- THE CONTRACTOR SHALL NOTIFY THE OWNER, OR HIS REPRESENTATIVE, IN SUFFICIENT TIME IN ADVANCE OF DELIVERY OF MATERIALS TO BE SUPPLIED BY HIM UNDER THIS PROJECT, IN ORDER THAT THE OWNER MAY ARRANGE, IF DESIRED, INSPECTION AND TESTING FOR SAME.
- SAFE AND REASONABLE ACCESS FOR THIS SITE MUST BE MAINTAINED AT ALL TIMES DURING THE LIFE OF THE PROJECT.
- ANY CAVITY REMAINING OPEN DURING NONWORKING HOURS MUST BE GUARDED BY FLASHER TYPE BARRICADES WITH STRINGERS PLACED BETWEEN THE TOPS OF THE BARRICADES.
- DEVELOPER SHALL COMPLY WITH SECTION 13.08.170 "EXCESSIVE PAVING CUTS" AS PER EL PASO MUNICIPAL CODE.

GENERAL EARTHWORK NOTES:

- ALL GRADING SHALL CONFORM TO THE CITY OF EL PASO GRADING ORDINANCE SECTION 18.44.
- THE CONTRACTOR SHALL CARRY ON HIS WORK WITH SPECIAL CARE AT ALL TIMES TO MAINTAIN THE NATURAL SURROUNDINGS AND EXISTING STRUCTURES IN AN UNDAMAGED CONDITION.
- NATURAL SUBGRADE TO SUPPORT STRUCTURAL FILL OR PAVEMENTS SHOULD BE STRIPPED OF ALL VEGETATION OR ORGANIC TOPSOIL. THE EXPOSED SUBGRADE SHOULD BE SCARIFIED JUST PRIOR TO FILL PLACEMENT TO A MINIMUM DEPTH OF 6 INCHES AND RECOMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS PER ASTM D-1557. ALL BACKFILL MATERIAL TO BE PLACED IN HORIZONTAL LAYERS NOT TO EXCEED EIGHT (8) INCH LIFTS AND COMPACTED AS BEFORE.
- TEMPORARY DUST AND EROSION CONTROL MEASURES SHALL BE PROVIDED FOR AT ALL TIMES. SEE SHEET 4.
- ANY EROSION OF THE GRADED SITE DURING THE COURSE OF THE PROJECT SHALL BE CORRECTED PRIOR TO FINALIZATION OF THE PROJECT AT NO COST TO THE OWNER.
- ALL SLOPES AND SWALES WITHIN LOTS SHALL BE MAINTAINED BY LOT OWNER.

CONSTRUCTION NOTES:

- ALL CONCRETE FOR STRUCTURES SHALL BE 3000 P.S.I. UNLESS OTHERWISE NOTED.
- MINIMUM COVER FOR REINFORCING STEEL SHALL BE 2" UNLESS OTHERWISE NOTED.
- 95% COMPACTION REQUIRED FOR STRUCTURES AS PER ASTM D1557.
- REINFORCING SHALL CONFORM TO THE REQUIREMENTS OF ASTM A615 GRADE 80.
- RETAINING WALLS WILL BE REQUIRED WHERE THERE IS A GRADE DIFFERENCE OF 2 OR MORE FEET BETWEEN LOTS AND STREET. RETAINING WALL DESIGN AT TIME OF BUILDING PERMIT.

ROCKWALL NOTES:

- STONE FOR ROCKWALLS SHALL BE AS NEARLY UNIFORM IN SECTIONS AS IS PRACTICABLE. THE STONE SHALL BE DENSE AND RESISTANT TO AIR AND WATER.
- MORTAR MUST BE TYPE "S" 1800 P.S.I. AS PER ASTM C270.
- MASONRY WALLS OVER SIX (6) FEET IN HEIGHT AND THOSE USED FOR EARTH RETENTION OVER TWO (2) FEET MUST BE DESIGNED AS STRUCTURAL WALLS.
- WALLS ADJACENT TO PONDING AREAS OR DRAINAGE DITCHES MAY BE CONSTRUCTED OF BRICK, CINDER BLOCK, OR STONE AND SHALL NOT BE LESS THAN SIX (6) FEET HIGH.
- ROCKWALL MORTAR JOINTS MUST NOT EXCEED TWO (2) INCHES.
- PROVIDE ONE (1) INCH EXPANSION JOINTS AT EVERY 100 FEET.
- ALL STONE SHALL BE THOROUGHLY SOAKED BEFORE BEING PLACED.
- NO RIVER ROCK SHALL BE ALLOWED.

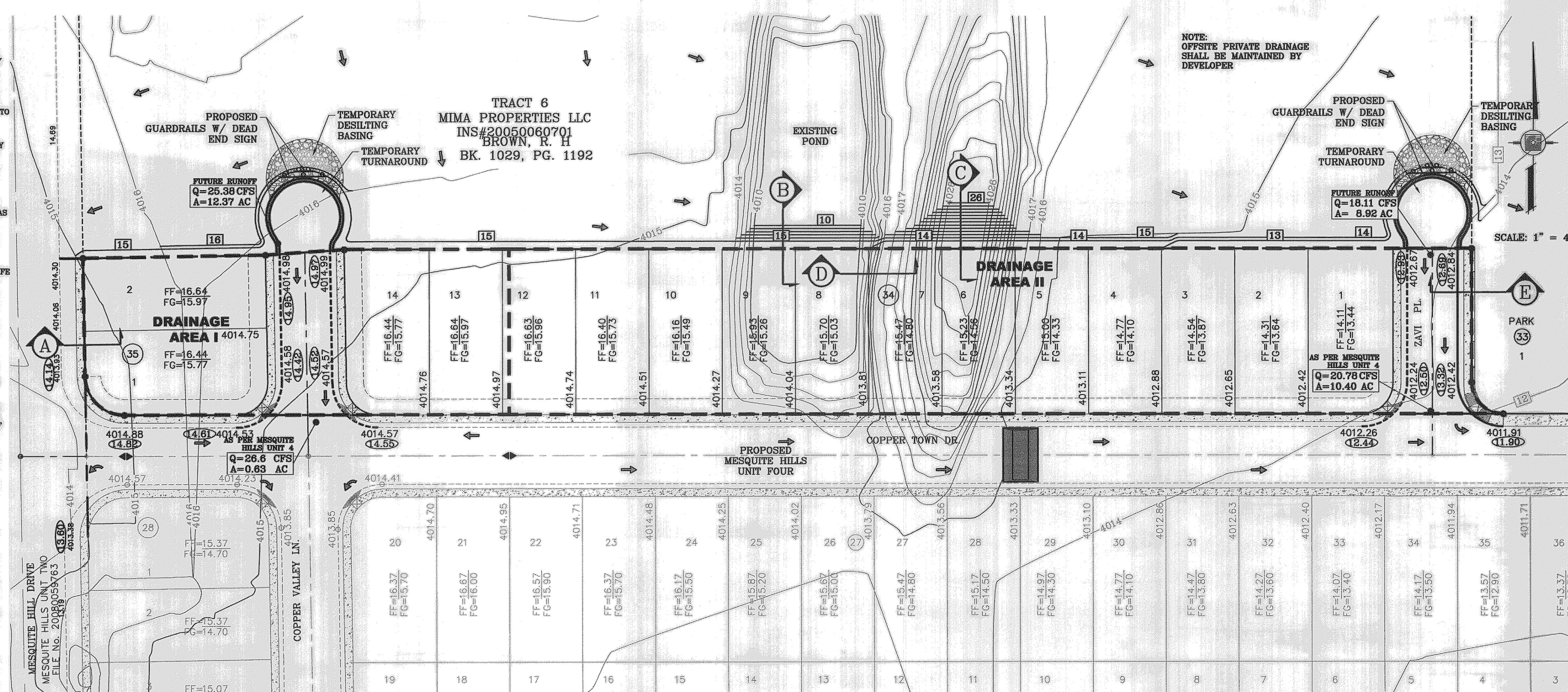
LEGEND

- FF=0.67 PROPOSED FINISH FLOOR
- FG=00.00 PROPOSED FINISH GROUND
- 00.00 PROPOSED SPOT ELEVATION
- 4000 EXISTING CONTOUR
- 4000 EXISTING SPOT ELEVATION
- 4000 PROPOSED CONTOUR
- PROPOSED ROCK WALL
- PROPOSED RETAINING WALL
- HIGH POINT
- LOW POINT
- RUN-OFF QUANTITY (CUBIC Ft./Sec)
- WATERSHED AREA (ACRES)
- DRAINAGE FLOW
- PROPOSED DRAINAGE AREA

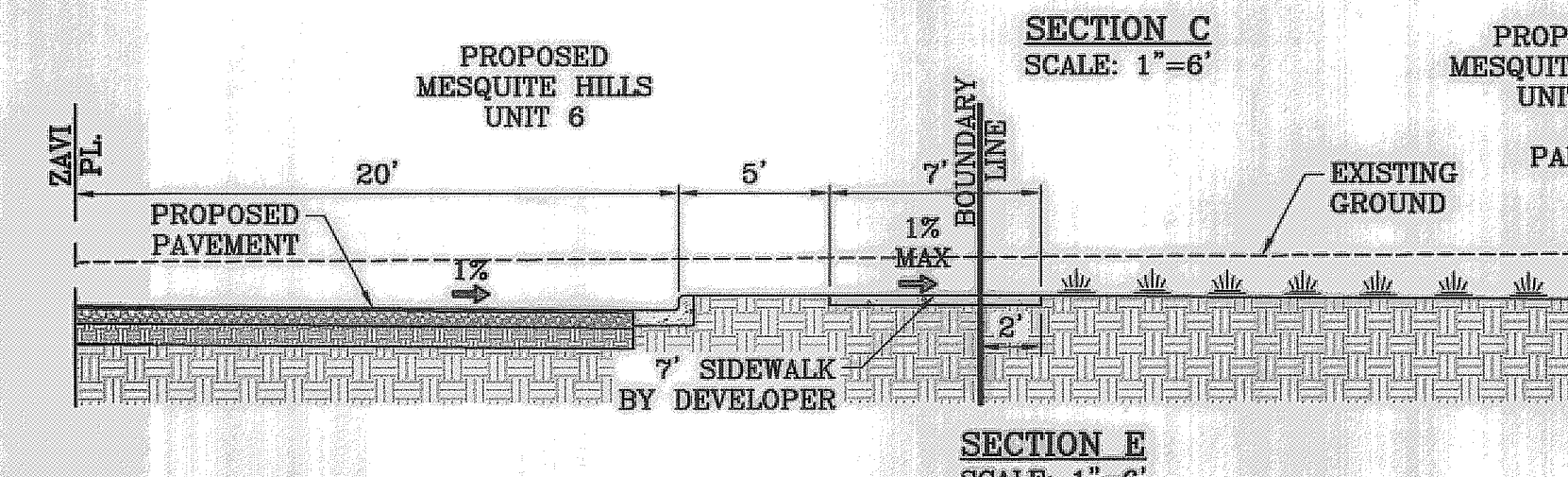
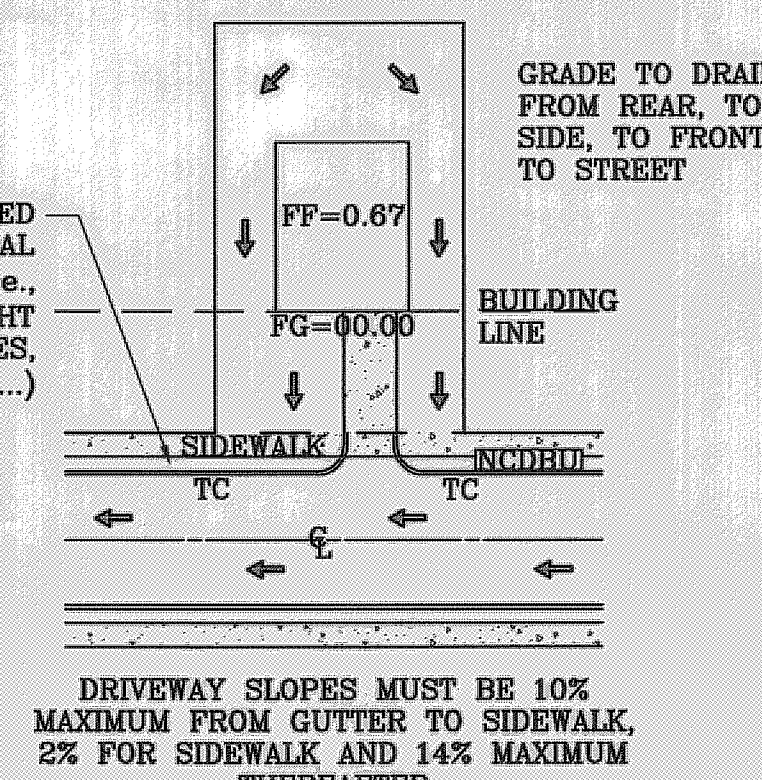
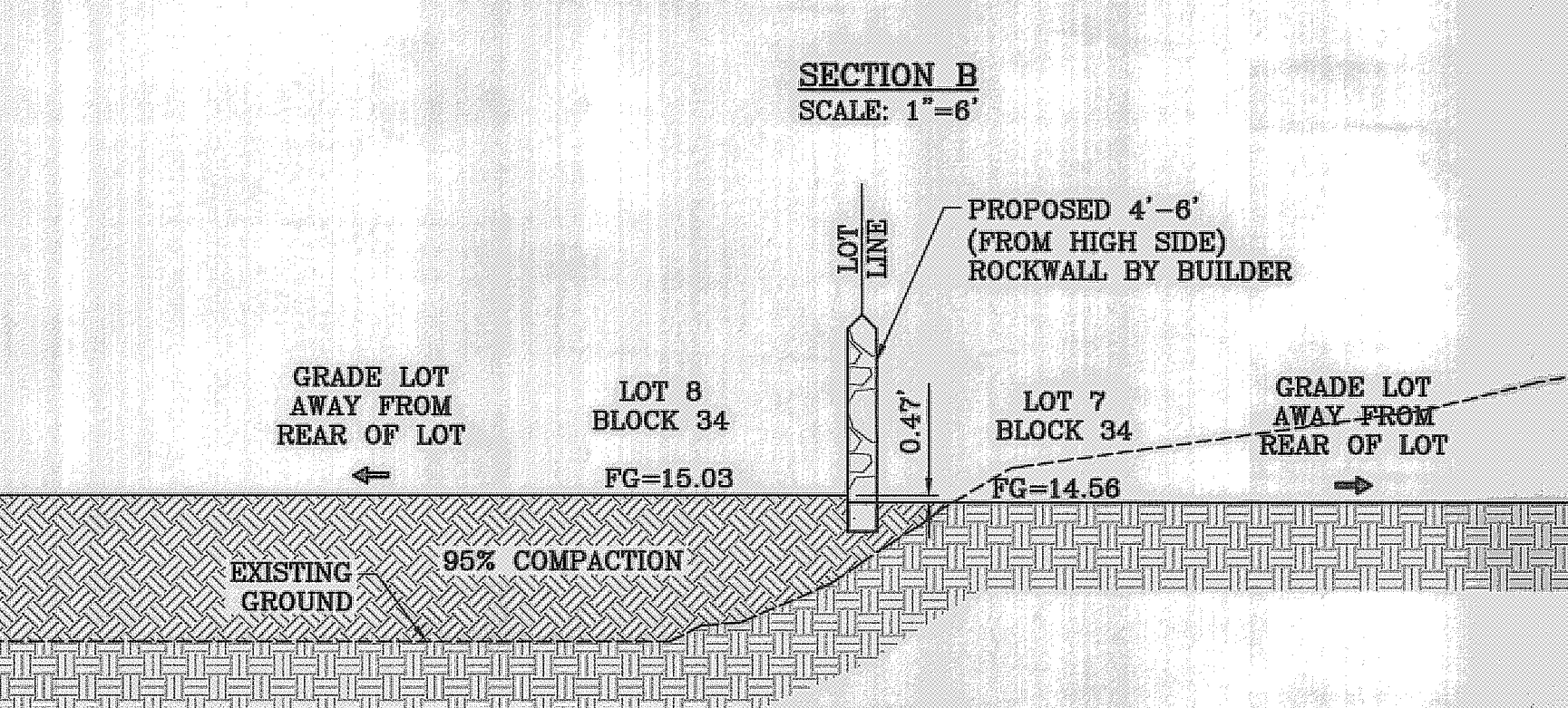
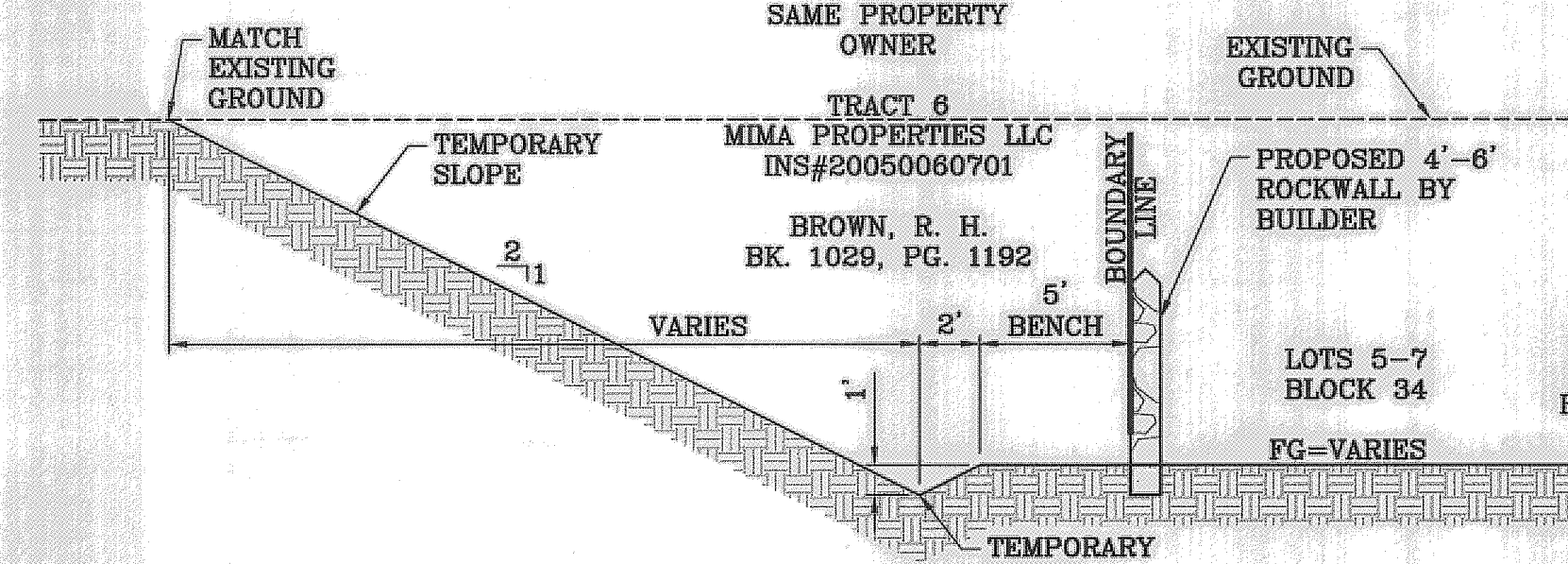
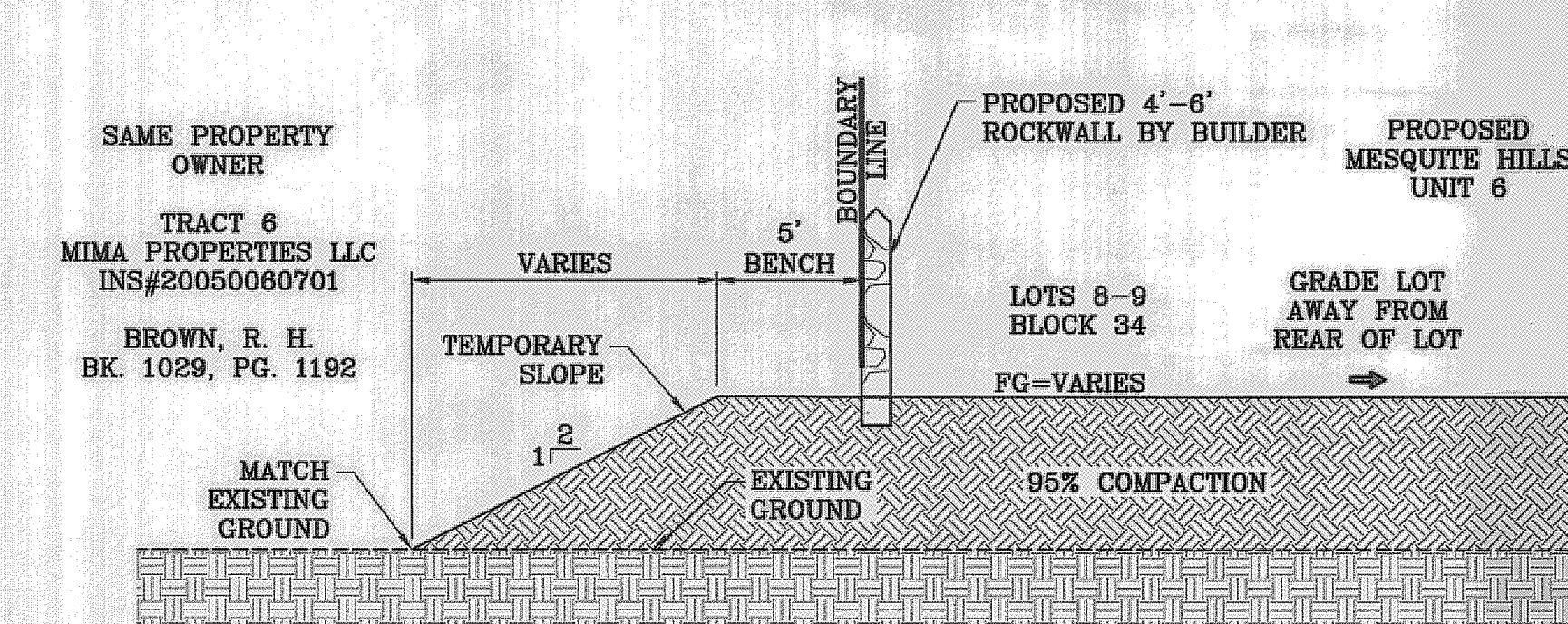
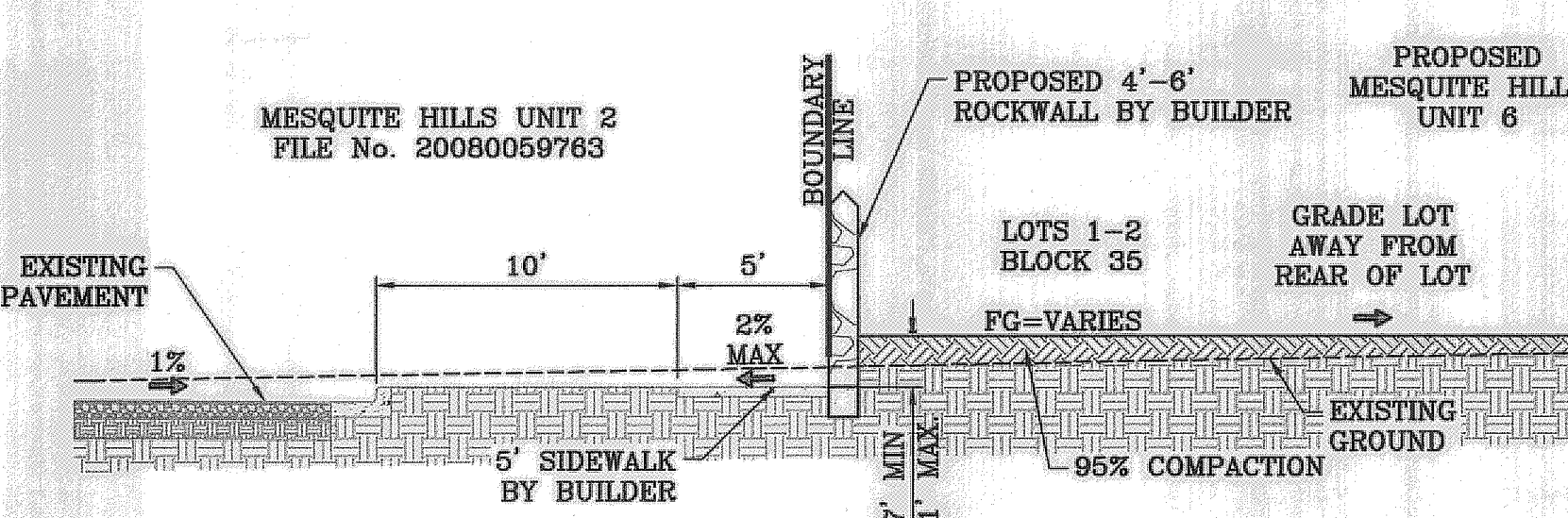
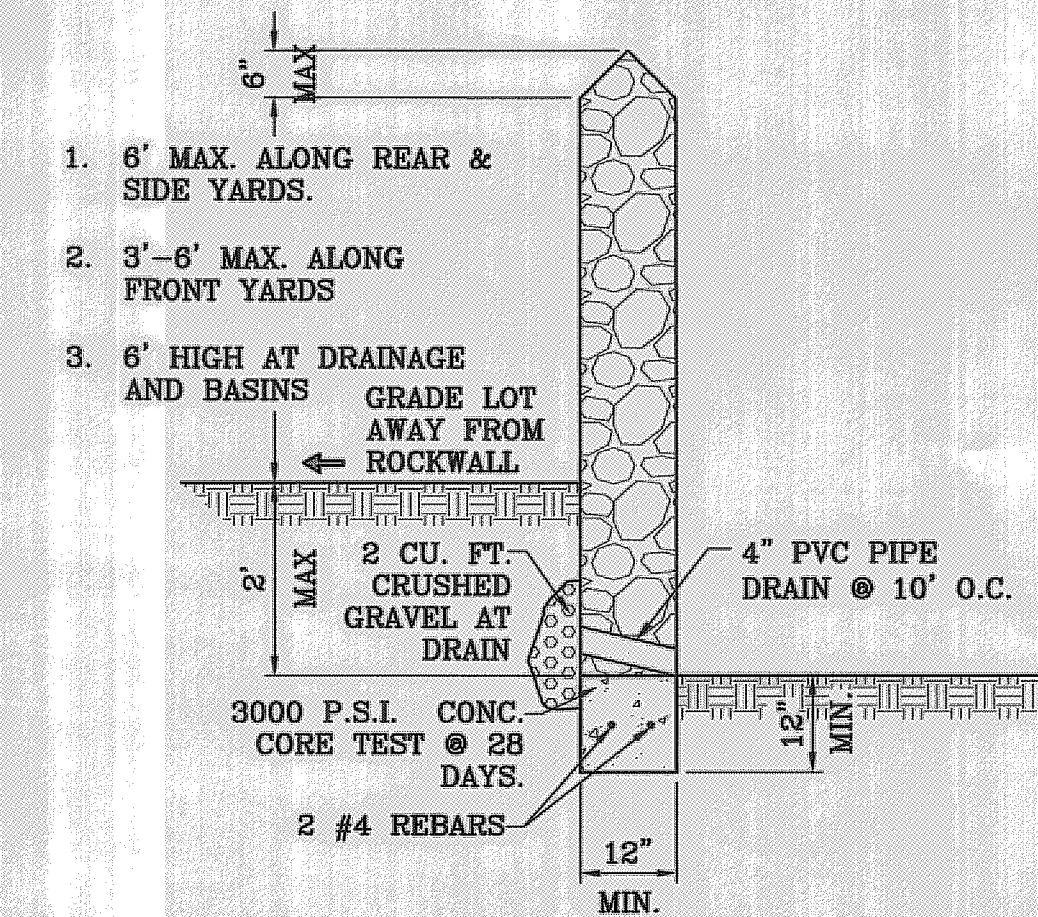
FLOOD ZONE:

HEREON DESCRIBED TRACT LIES IN FLOOD ZONE C. COMMUNITY PANEL NO. 480214 0009D & PANEL NO. 480214 0015D SEPTEMBER 3, 1997

DRAINAGE AREA	AREA (acres)	TC (min)	C	I ₁₀ (in/hr)	Q ₁₀ CFS
I	0.63	21	0.68	2.85	1.22
II	1.48	20	0.62	2.91	2.67



○ DENOTES AS BUILT CONDITION ONLY



BENCHMARK

CITY MONUMENT AT THE CENTERLINE POINT OF CURVE
CENTERLINE ON MESQUITE HILLS DR. AT STATION 1+00.86
ELEVATION 4007.28 CITY DATUM

DATE: 11/08/11

REVISIONS: AS BUILT

BY: F.R.

PROJECT NAME: MESQUITE HILLS UNIT 6

SCALE: 1" = 40'

HORIZ: 1" = 40'

VERT: 1" = 40'

DATE: JANUARY 2011

DESIGN BY: Y.C.

INITIATED BY: O.M.

CHECKED BY: Y.C.

JOB NO.: 1210-18

BEING A PORTION OF TRACT 6, SECTION 16, BLOCK 80,
TOWNSHIP 1, TEXAS AND PACIFIC RAILROAD CO. SURVEYS,
CITY OF EL PASO, EL PASO COUNTY, TEXAS
CONTAINING: 2.1082 ACRES

ENGINEER'S SEAL

Y. C. CONDE
STATE OF TEXAS
LICENSE NO. 44488
ENGINEERING

CONDE INC.

ENGINEERING / PLANNING
SURVEYING / GFS

6080 SURETY DR. STE. 100
EL PASO, TEXAS 79905
PHONE: (915) 592-0283
FAX: (915) 592-0286

CONDE INC.
REGISTRATION NO. F-381

SHEET TITLE: GRADING AND DRAINAGE PLAN

SHT 3 OF 7

SITE DESCRIPTION: SUBDIVISION
 1. NO ASPHALT BATCH PLANTS FOR THIS SITE.

BEST MANAGEMENT PRACTICES

- STRUCTURAL CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT IN EFFECTIVE OPERATING CONDITION.
- DOCUMENTATION OF MAINTENANCE ACTIVITIES INCLUDING FREQUENCY, LOT DESIGNATION, INSPECTION OF: STRUCTURAL CONTROLS, MATERIAL STORAGE AREAS, VEHICLES ENTRANCE AND EXITS; ACTIONS TAKEN AND INSPECTORS NAME.
- CONSTRUCTION SITE NOTICE WILL BE MAINTAINED ON SITE.
- COPY OF SWPPP SHALL BE KEPT ON SITE.
- PERMITTEE MUST RETAIN THE SWPPP AND INSPECTION LOG FOR A MINIMUM OF THREE YEARS FROM TERMINATION AND FINAL STABILIZATION OF PROJECT.

I. WASTE MATERIALS

ALL WASTE MATERIALS, INCLUDING CONSTRUCTION DEBRIS, SHALL BE COLLECTED AND STORED IN A SECURELY LIDDED METAL DUMPSTER. NO CONSTRUCTION MATERIAL SHALL BE BURIED ON SITE. THE DUMPSTER SHALL BE EMPTIED AS NECESSARY OR AS REQUIRED BY ORDINANCE 9.04 (SOLID WASTE MANAGEMENT) AND THE TRASH BE HAULED TO A LICENSED LANDFILL.

II. HAZARDOUS WASTE

AT A MINIMUM, ANY PRODUCTS IN THE FOLLOWING CATEGORIES SHALL BE CONSIDERED HAZARDOUS: PAINT, ACIDS FOR CLEANING MASONRY SURFACES, CLEANING SOLVENTS, ASPHALT PRODUCTS, CHEMICAL ADDITIVES FOR SPILL STABILIZATION, CURING COMPOUNDS AND ADDITIVES. IN THE EVENT OF A SPILL WHICH MAY BE HAZARDOUS, THE CONTRACTOR SHALL TAKE IMMEDIATE ACTION AND CONTACT THE FIRE DEPT. AND NMED.

III. SANITARY WASTE

ALL SANITARY WASTE SHALL BE COLLECTED FROM THE CONSTRUCTION PORTABLE UNITS AS NECESSARY BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR. ALL WASTE MATERIAL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

IV. SPILL PREVENTION

THE FOLLOWING PRACTICES SHALL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURES OF MATERIALS TO STORM WATER RUNOFF.

A. GOOD HOUSEKEEPING

- STORE ONLY ENOUGH PRODUCTS REQUIRED TO DO THE JOB.
- NEATLY STORE MATERIALS ON-SITE IN AN ORDERLY MANNER.
- KEEP PRODUCTS IN THEIR ORIGINAL CONTAINER.
- DO NOT MIX SUBSTANCES WITH ONE ANOTHER, UNLESS OTHERWISE RECOMMENDED BY THE MANUFACTURER.
- USE ENTIRE CONTENTS OF A PRODUCT BEFORE DISPOSING OF THE CONTAINER.
- FOLLOW MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL.

B. HAZARDOUS PRODUCTS:

PRACTICES USED TO REDUCE RISKS:

- KEEP PRODUCTS IN THEIR ORIGINAL CONTAINER IF AT ALL POSSIBLE
- RETAIN ORIGINAL LABELS, PRODUCT INFORMATION AND MATERIAL SAFETY DATA SHEETS (MSDS)
- DISPOSE SURPLUS PRODUCT IN ACCORDANCE WITH MANUFACTURER'S OR LOCAL AND STATE RECOMMENDED METHODS

C. PETROLEUM PRODUCTS:

PRODUCTS SHALL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED. ANY ASPHALT SUBSTANCES USED ON-SITE SHALL BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATION.

V. SPILL CONTROL PRACTICES:

- MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP SHALL BE CLEARLY POSTED AND SITE PERSONNEL SHALL BE MADE AWARE OF THE PROCEDURES.
- MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP SHALL BE KEPT IN THE MATERIAL STORAGE AREA ON-SITE.
- ALL SPILLS SHALL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY.
- SPILL AREA SHALL BE WELL VENTILATED AND APPROPRIATE CLOTHING WILL BE WORN.
- ANY SPILL SHALL BE REPORTED TO THE APPROPRIATE GOVERNMENTAL AGENCY.
- MEASURES SHALL BE TAKEN TO PREVENT A SPILL FROM REOCCURRING.

VI. MAINTENANCE AND INSPECTION PROCEDURES

ALL POLLUTION PREVENTION MEASURES SHALL BE INSPECTED AT LEAST ONCE EVERY 14 DAYS AND FOLLOWING A STORM EVENT OF 0.5 INCHES OR MORE. BEST MANAGEMENT PRACTICES AND POLLUTION CONTROL PROCEDURES SHALL BE INSPECTED FOR ADEQUACY. A RECORD OF THE RESULTS OF THE INSPECTIONS OF THE SITE SHALL BE KEPT ON SITE.

VII. REMARKS

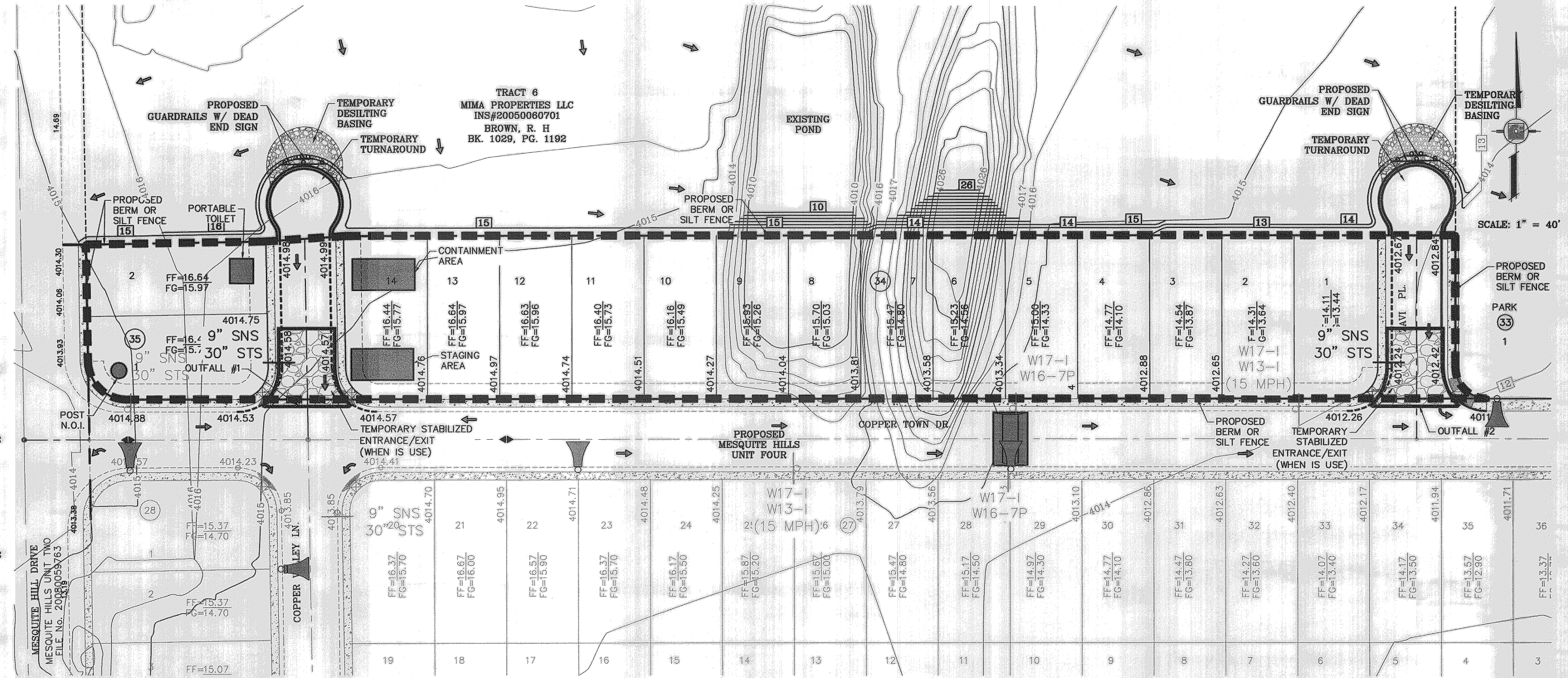
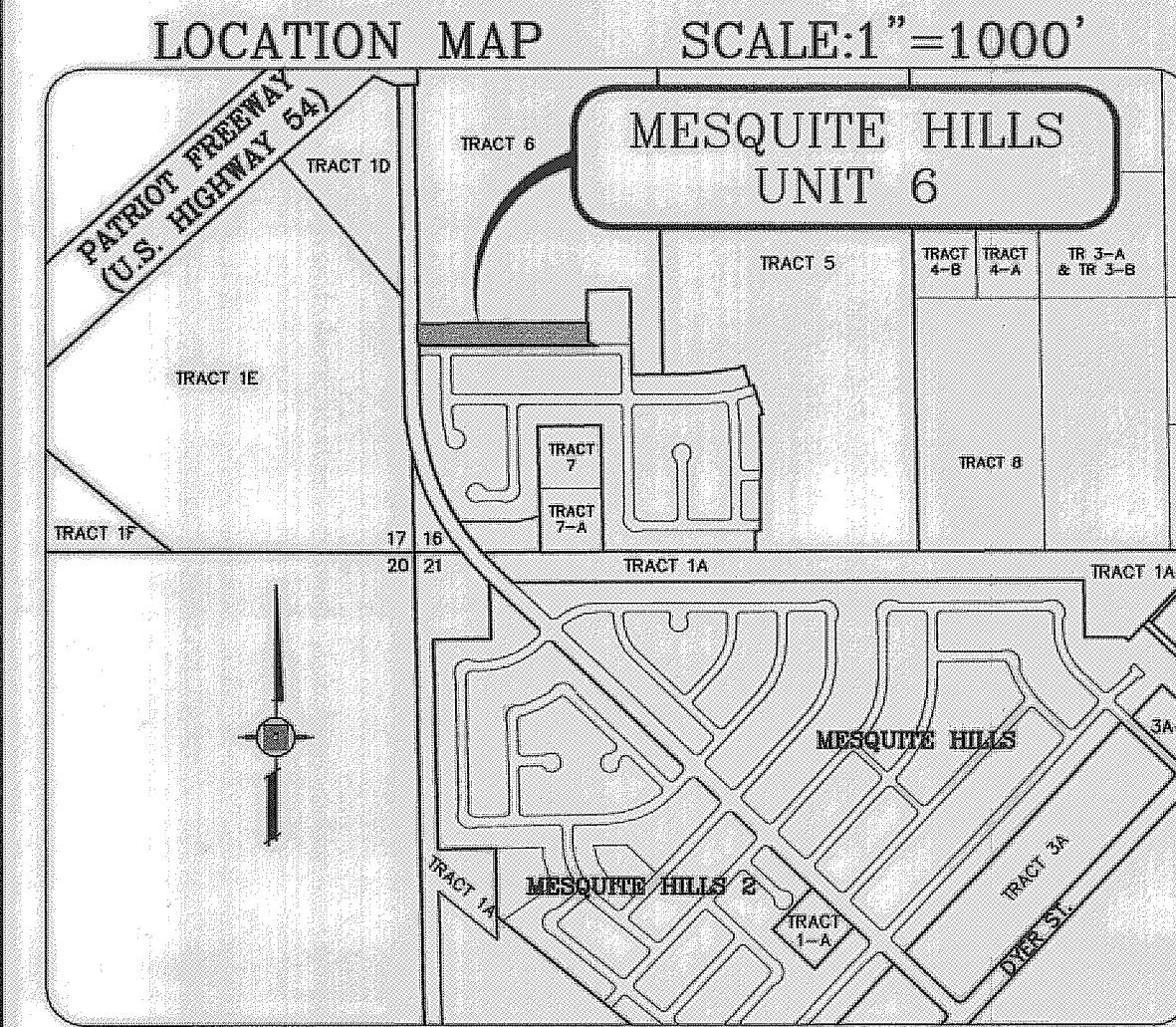
DISPOSAL AREAS, STOCKPILES, AND HAIL ROADS SHALL BE CONSTRUCTED IN A MANNER THAT WILL MINIMIZE AND CONTROL THE AMOUNT OF SEDIMENT THAT MAY ENTER RECEIVING WATERS. CONSTRUCTION STAGING AREAS AND VEHICLE MAINTENANCE AREAS SHALL BE CONSTRUCTED BY THE CONTRACTOR IN A MANNER TO MINIMIZE THE RUNOFF OF POLLUTANTS.

NARRATIVE-SEQUENCE OF CONSTRUCTION (STORM WATER MANAGEMENT) ACTIVITIES:

ESTIMATED BEGINNING CONSTRUCTION DATE: _____

- BEGIN CONSTRUCTION/MOBILIZATION (5 DAYS)
- INSTALL INITIAL STORMWATER POLLUTION PREVENTIONS (SWPP) MEASURES AS INDICATED ON SWPPP PLAN (_____ DAYS)
- CLEAR AND GRUB
- SITE GRADING
- PERFORM PERIODIC INSPECTIONS OF THE SWPP STRUCTURES, PERFORM MAINTENANCE AND REPLACEMENTS AS NEEDED (DURATION OF CONSTRUCTION).
- EXCAVATION FOR SITE UTILITIES AND STORM SEWER
- CONSTRUCTION OF SITE IMPROVEMENTS AND STORM SEWER
- END CONSTRUCTION - FINAL STABILIZATION, DEMOBILIZATION, REMOVAL OF SWPPP CONTROLS, AND SUBMIT NOTICE OF TERMINATION.

ESTIMATED CONSTRUCTION COMPLETION DATE: _____



STORM WATER POLLUTION PREVENTION PLAN

GENERAL CONTRACTOR CERTIFICATION

I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND THE TERMS AND CONDITIONS OF THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) GENERAL PERMIT THAT AUTHORIZES STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY FROM THE CONSTRUCTION SITE IDENTIFIED AS PART OF THIS CERTIFICATION.

SIGNED: _____ COMPANY: _____
 ADDRESS: _____
 TELEPHONE: _____
 DATE: _____

OWNER CERTIFICATION

I CERTIFY UNDER PENALTY OF LAW THAT THIS DOCUMENT AND ALL ATTACHMENTS WERE PREPARED UNDER MY DIRECTION OR SUPERVISION IN ACCORDANCE WITH A SYSTEM DESIGNED TO ASSURE THAT QUALIFIED PERSONNEL PROPERLY GATHERED AND EVALUATED THE INFORMATION SUBMITTED. BASED ON MY INQUIRY OF THE PERSON OR PERSONS WHO MANAGE THE SYSTEM, OR THOSE PERSONS DIRECTLY RESPONSIBLE FOR GATHERING THE INFORMATION, THE INFORMATION SUBMITTED IS, TO THE BEST OF MY KNOWLEDGE AND BELIEF, TRUE, ACCURATE, AND COMPLETE. I AM AWARE THAT THERE ARE SIGNIFICANT PENALTIES FOR SUBMITTING FALSE INFORMATION, INCLUDING THE POSSIBILITY OF FINE AND IMPRISONMENT FOR KNOWING VIOLATIONS.

OWNER: (SIGNED) _____ DATE: _____
 OWNER: (NAME) _____
 PHONE NUMBER: _____

ACTIVITIES	DATE	SIGNATURE

INSPECTION AND MAINTENANCE REPORT

I CERTIFY UNDER PENALTY OF LAW THAT THIS DOCUMENT AND ALL ATTACHMENTS WERE PREPARED UNDER MY DIRECTION OR SUPERVISION IN ACCORDANCE WITH A SYSTEM TO ASSURE THAT QUALIFIED PERSONNEL PROPERLY GATHERED AND EVALUATED THE INFORMATION SUBMITTED. BASED ON MY INQUIRY OF THE PERSON OR PERSONS WHO MANAGE THE SYSTEM, OR THOSE PERSONS DIRECTLY RESPONSIBLE FOR GATHERING THE INFORMATION, THE INFORMATION SUBMITTED IS, TO THE BEST OF MY KNOWLEDGE AND BELIEF, TRUE, ACCURATE, AND COMPLETE. I AM AWARE THAT THERE ARE SIGNIFICANT PENALTIES FOR SUBMITTING FALSE INFORMATION, INCLUDING THE POSSIBILITY OF FINE AND IMPRISONMENT FOR KNOWING VIOLATIONS.

SIGNED: _____ DATE: _____
 SWPPP COORDINATOR NAME: _____
 PHONE NUMBER: _____
 LOG OF ACTIVITIES AVAILABLE: SWPPP COORDINATOR.
 INSPECTION LOG AVAILABLE: SWPPP COORDINATOR.
 SCHEDULE OF ACTIVITIES AVAILABLE: SWPPP COORDINATOR.

SITE DESCRIPTION: SUBDIVISION
 THE EXISTING SITE IS UNDEVELOPED DESERT. THERE ARE NO SURFACE WATERS ON THE SITE ITSELF OR ADJACENT TO THE SITE. THE SITE DISTURBANCE AREA IS 2.108 ACRES.

THE SITE MAP SHOWS THE PROPERTY BOUNDARIES WITH THE PROPOSED LOCATION OF THE ROADWAYS, AND LOTS. THIS SITE WILL BE GRADED, AND ROADWAYS PAVED. THE GRADED LOTS WILL DRAIN TO THE GRADED STREETS AND THEN TO THE STORM INLETS WHICH WILL CONDUCT THE STORM RUNOFF VIA UNDERGROUND STRUCTURES TO A RETENTION BASIN IN MESQUITE HILLS UNIT 4.

INTERIM STABILIZATION MEASURES ARE AS FOLLOWS: PERIMETER TEMPORARY EARTHEN BERMS, TEMPORARY STABILIZED CONSTRUCTION SITE EXIT, TEMPORARY DESILTING BASINS.

FINAL STABILIZATION WILL BE PERFORMED BY THE HOME BUILDERS WHICH WILL CONSTRUCT A SINGLE BUILDING ON EACH LOT AND PLACE LANDSCAPING ON EXPOSED SURFACES.

THE RECEIVING WATERS ARE PONDING AREA AT LOT 39 BLOCK 2B
 STORM WATER SAMPLING DATA IS NOT AVAILABLE FOR THIS SITE.

NO CONCRETE OR BATCH PLANTS ON THIS SITE.
 NO APPARENT ENDANGERED SPECIES ON SITE. NO HISTORIC PROPERTIES ON SITE.

STORM WATER CONTAMINANTS ON SITE
 THE FOLLOWING ARE THE POTENTIAL STORM WATER POLLUTANTS (CHECKED ITEMS ONLY):

CLEANING SOLVENTS	EQUIP. CLEANING WASTEWATER
ASPHALT	HYDRAULIC OIL/FLUIDS
CONCRETE	GASOLINE
PAINTS	DIESEL FUEL
CURING COMPOUNDS	ANTIFREEZE/COOLANT

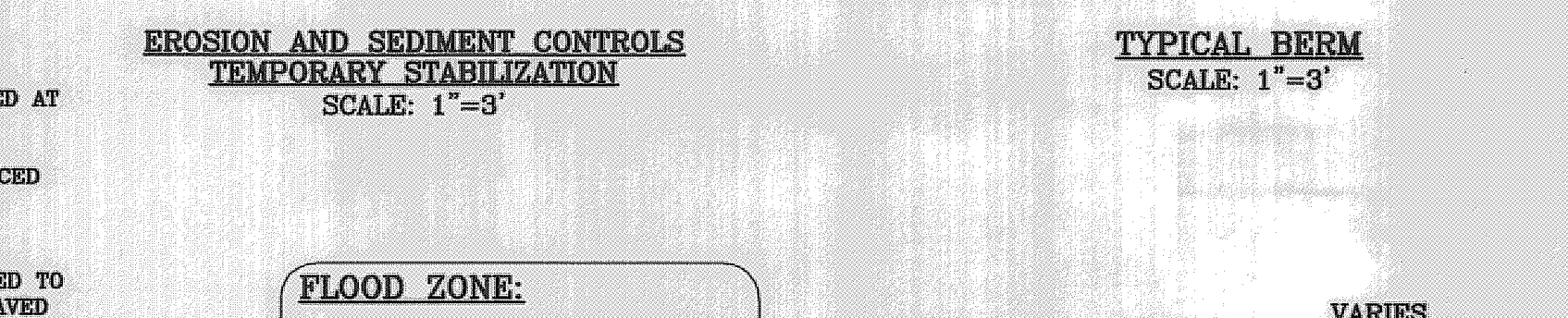
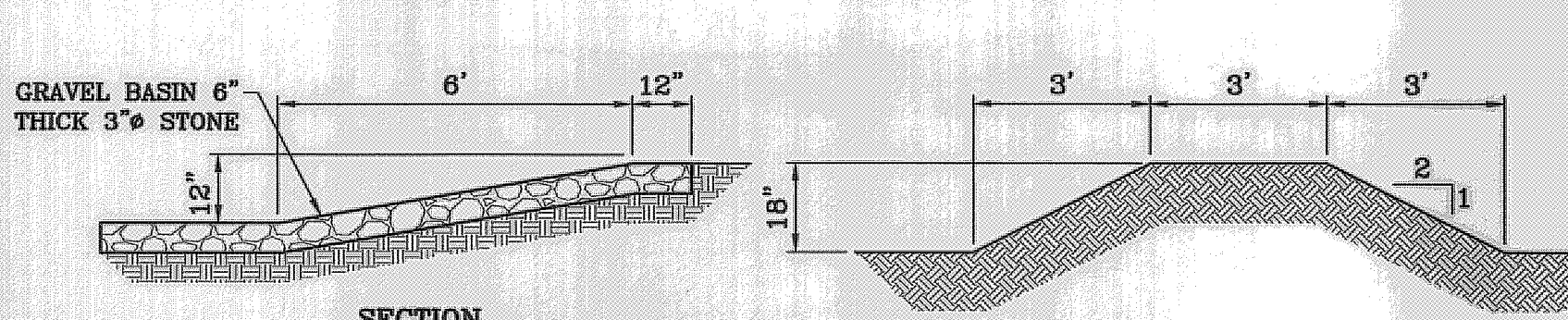
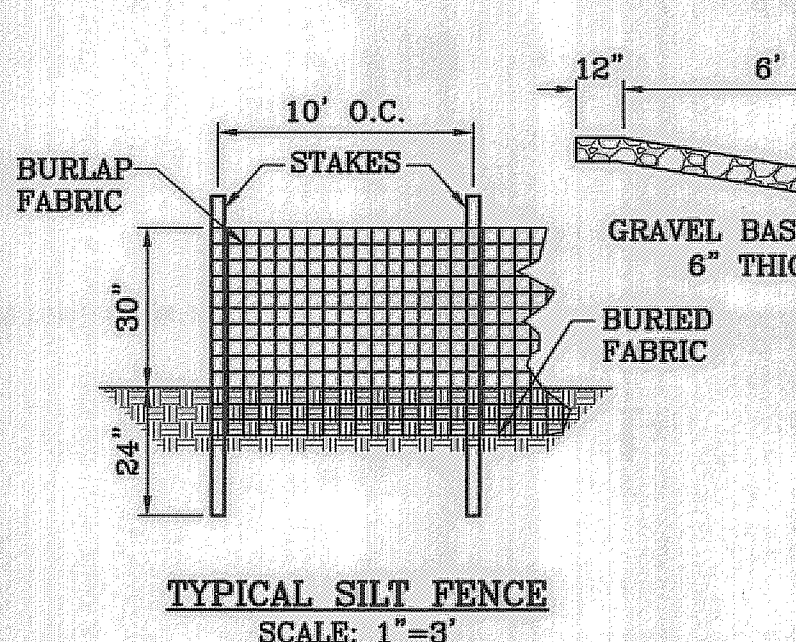
THE CONTAINMENT AREA FOR THESE ITEMS IS LOCATED: AS SHOWN ON PLAN
 THE STAGING AREA FOR THIS SITE IS LOCATED: AS SHOWN ON PLAN
 THE PORTABLE TOILET FOR THIS SITE IS LOCATED: AS SHOWN ON PLAN

NON STORM WATER DISCHARGES ON SITE (CHECKED ITEMS ONLY):

FIRE HYDRANT FLUSHING	WATER LINE FLUSHING WATER
VEHICLE WASH WATER	LANDSCAPE IRRIGATION
DUST CONTROL WATER	PAVEMENT WASH WATERS

ALL STAGING AREAS, PORTABLE TOILETS AND POLLUTANT AREAS WILL INCORPORATE SECONDARY CONTAINMENT MEASURES SUCH AS BERMS OR SEDIMENT TRAPS/BARRIERS.

- LEGEND**
- FF=0.67 FG=00.00 PROPOSED FINISH FLOOR
 - 00.00 PROPOSED FINISH ELEVATION
 - 4000 EXISTING CONTOUR
 - 4000 EXISTING SPOT ELEVATION
 - 4000 PROPOSED CONTOUR
 - PROPOSED ROCK WALL
 - PROPOSED RETAINING WALL
 - HIGH POINT
 - LOW POINT
 - Q RUN-OFF QUANTITY (CUBIC Ft/Sec)
 - A WATERSHED AREA (ACRES)
 - DRAINAGE FLOW
 - PROPOSED SILT FENCE



STABILIZED ENTRANCE EROSION CONTROL NOTES

- SILT FENCING OR TEMPORARY BERMS SHALL BE INSTALLED AT TIME OF CONSTRUCTION.
- TEMPORARY WALES AND DESILTING BASINS WILL BE PLACED WHERE NECESSARY IN ORDER TO CONVEY STORM WATER RUN-OFF.
- A STABILIZED CONSTRUCTION ENTRANCE WILL BE PROVIDED TO HELP REDUCE VEHICLE TRACKING OF SEDIMENTS. THE PAVED STREET ADJACENT TO THE SITE ENTRANCE WILL BE SWEEP WEEKLY TO REMOVE ANY EXCESS MUD, DIRT OR ROCK TRACKED FROM THE SITE.
- THE OWNER SHALL BE RESPONSIBLE FOR INSURING THAT ALL EROSION CONTROL METHODS ARE INSPECTED ON A MONTHLY BASIS OR AFTER EVERY ERODIBLE RAINFALL (1/2" OR MORE). ANY NECESSARY REPAIRS OR CLEANUP TO MAINTAIN THE EFFECTIVENESS OF THE EROSION CONTROL SHALL BE MADE AT THE TIME.
- A TEMPORARY BERM SHALL BE PROVIDED AT THE TOE OF SLOPE AND LOT LINE AT TIME OF GRADING PRIOR TO ROCKWALL CONSTRUCTION.
- SILT FENCE TO BE INSTALLED AND MAINTAINED ALONG THE PERIMETER OF THE PARK SITE UNTIL ALL ABUTTING RESIDENCES ARE DEVELOPED.

FLOOD ZONE:
 HERSON DESCRIBED TRACT LIES IN FLOOD ZONE C.
 COMMUNITY PANEL NO. 480214
 0009D & PANEL NO. 480214
 0015D SEPTEMBER 3, 1997

NOTES:

- T.P.D.E.S. PERMIT- AS REQUIRED BY CONTRACTOR
- STORM WATER AS PER N.P.D.E.S. PERMIT

MESQUITE HILLS UNIT 6

PROJECT NAME: _____

CITY MONUMENT AT THE CENTERLINE POINT OF CURVE
 CENTERLINE ON MESQUITE HILLS DR. AT STATION 1+00.86
 ELEVATION 4007.28 CITY DATUM

DATE: _____

REVISIONS: _____

BY: _____

SCALE: 1" = 40'

ENGINEER'S SEAL: _____

DATE: JANUARY 2011

DESIGN BY: Y.C.

INITIATED BY: O.M.

CHECKED BY: Y.C.

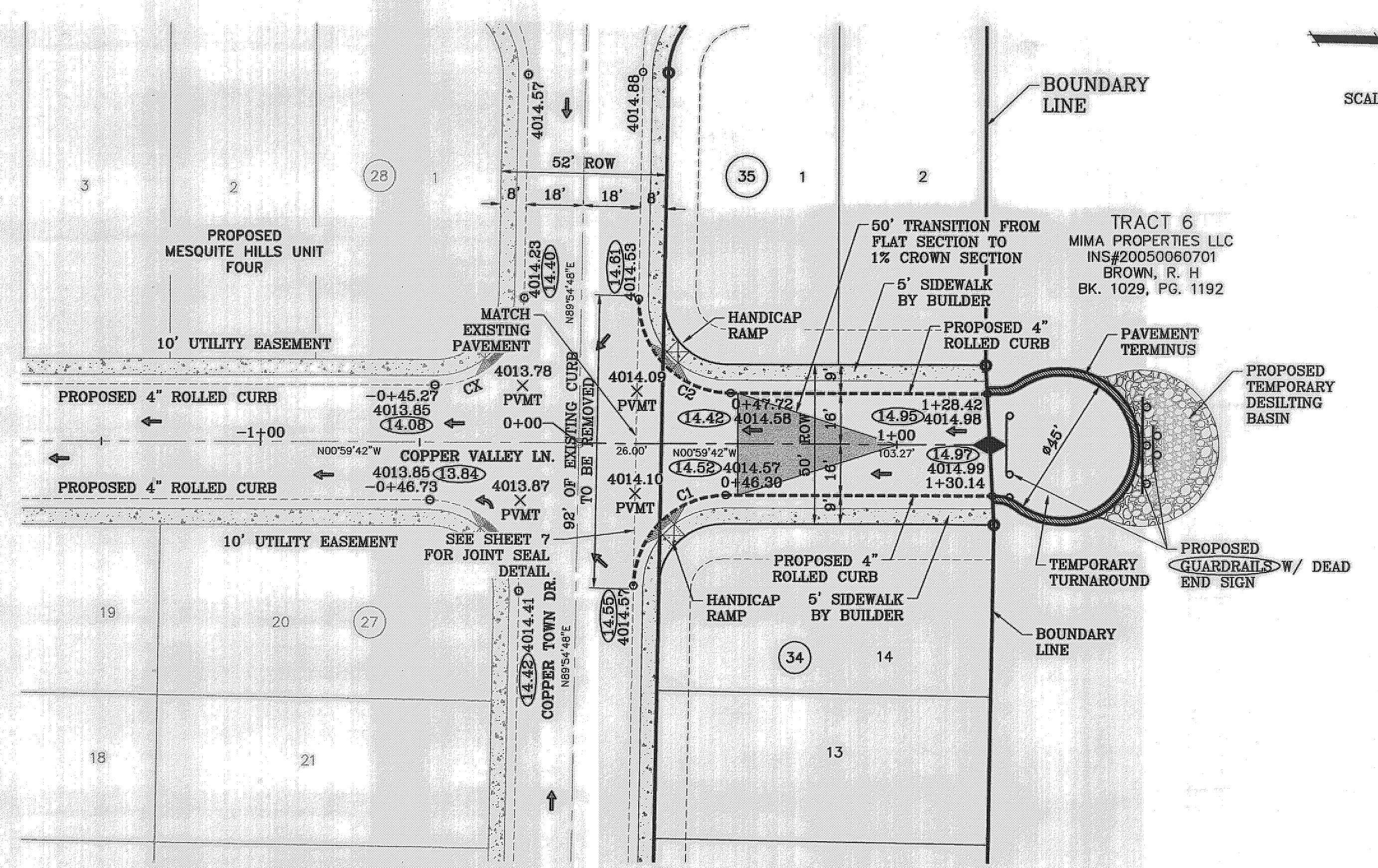
JOB NO.: 1210-18

CONDE INC.
 ENGINEERING / PLANNING
 SURVEYING / GPS
 6080 SURETY DR. STE 100
 EL PASO, TEXAS 79905
 PHONE: (915) 582-0283
 FAX: (915) 582-0286

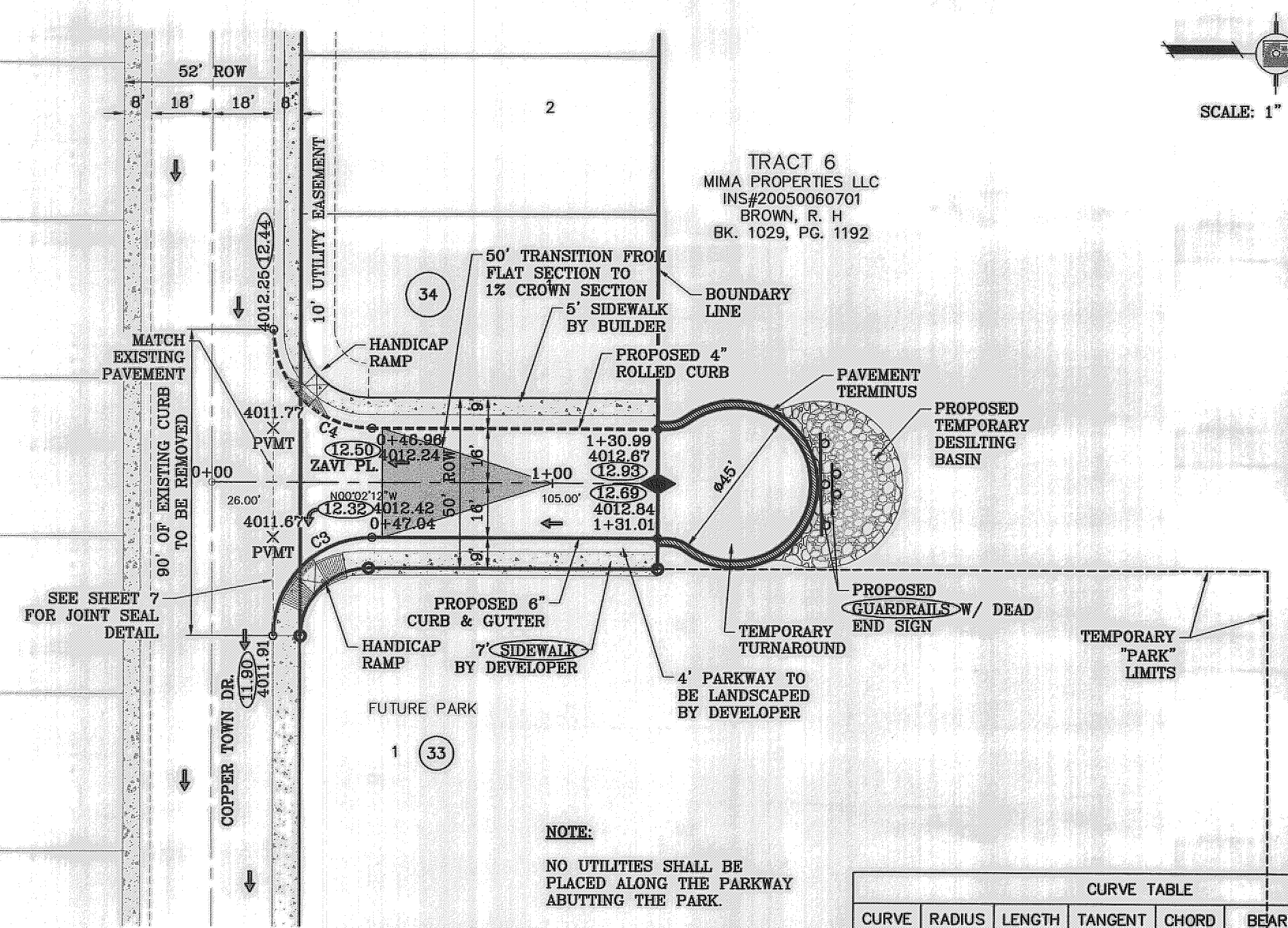
SHEET TITLE

STORM WATER POLLUTION PREVENTION PLAN

SHT 4 OF 7



SCALE: 1" = 30'

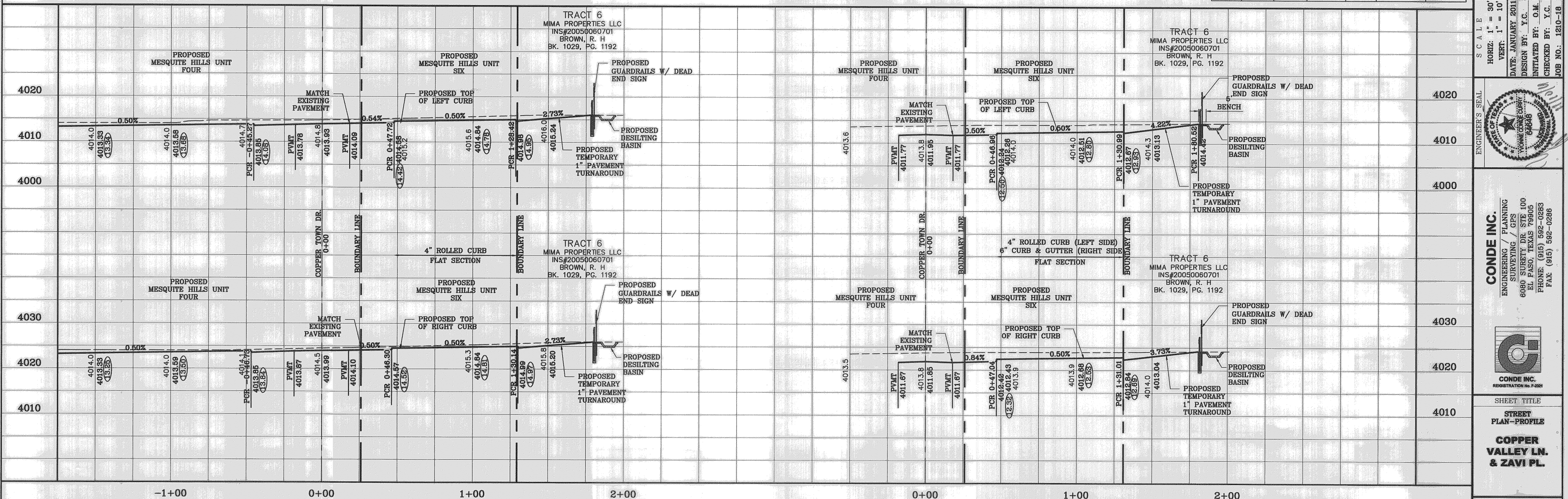


SCALE: 1" = 30'

○ DENOTES AS BUILT CONDITION ONLY

NOTE:
NO UTILITIES SHALL BE PLACED ALONG THE PARKWAY ABUTTING THE PARK.

CURVE TABLE						
CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C1	29.00'	45.09'	28.54'	40.69'	S45°32'27"E	89°05'30"
C2	29.00'	46.01'	29.46'	41.34'	N44°27'33"E	90°54'30"
C3	29.00'	45.58'	29.03'	41.03'	S45°03'42"E	90°03'00"
C4	29.00'	45.53'	28.97'	40.99'	N44°56'18"E	89°57'00"



BENCHMARK	CITY MONUMENT AT THE CENTERLINE POINT OF CURVE	BY	
DATE	CENTERLINE ON MESQUITE HILLS DR. AT STATION 1+00.86	REVISIONS	
DATE	ELEVATION 4007.28	AS BUILT	
DATE	CITY DATUM		
DATE	4007.28		
DATE			

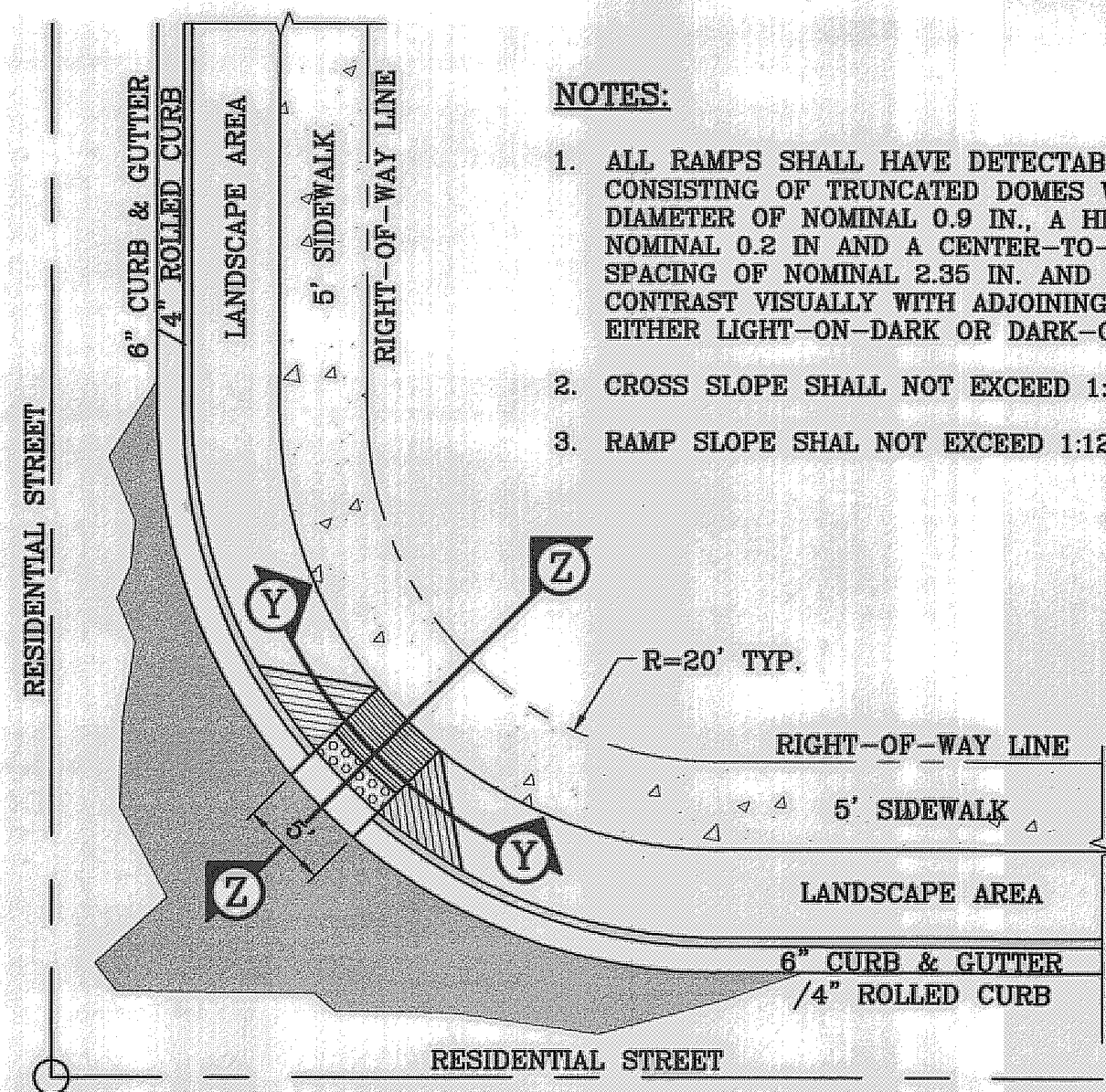
MESQUITE HILLS UNIT 6
BRING A PORTION OF TRACT 6, SECTION 16, BLOCK 80, TOWNSHIP 1, TEXAS AND PACIFIC RAILROAD Co. SURVEYS, CITY OF EL PASO, EL PASO COUNTY, TEXAS CONTAINING: 2.1092 ACRES

SCALE
HORIZ: 1" = 30'
VERT: 1" = 10'
DATE: JANUARY 2011
DESIGN BY: Y.C.
INITIATED BY: O.M.
CHECKED BY: Y.C.
JOB NO.: 1210-18

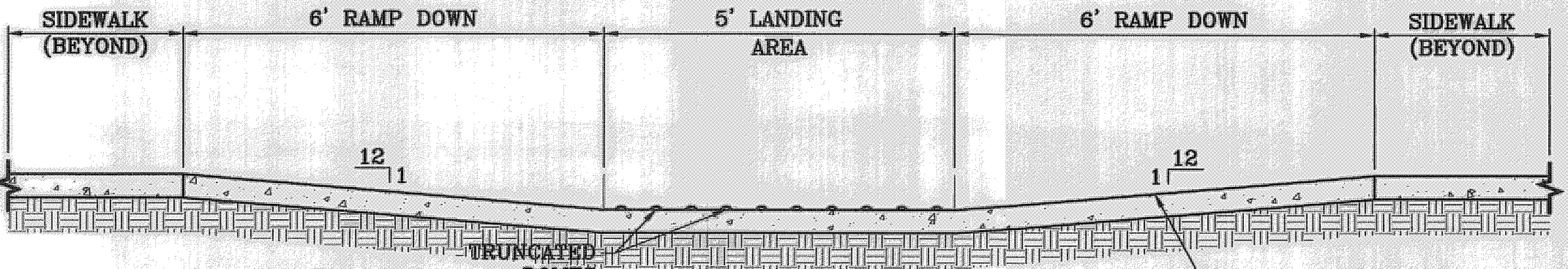
ENGINEER'S SEAL

CONDE INC.
ENGINEERING / PLANNING
SURVEYING / GPS
6080 SURETY DR. STE 100
EL PASO, TEXAS 79905
PHONE: (915) 592-0283
FAX: (915) 592-0286

SHEET TITLE
STREET PLAN-PROFILE
COPPER VALLEY LN. & ZAVI PL.

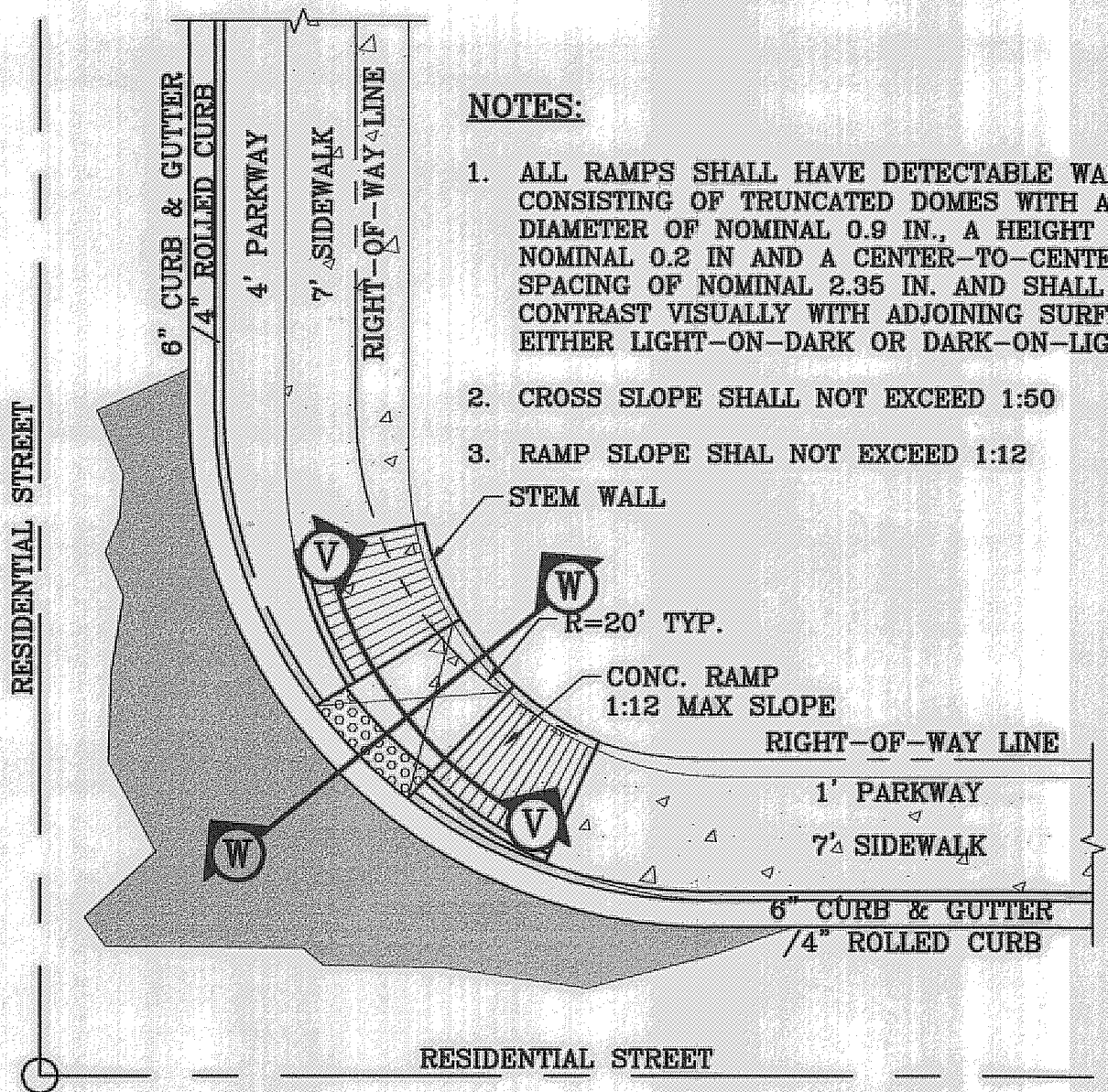


RAMP ON SIDEWALK AT CURB & GUTTER/ROLLED CURB
SCALE: 1"=10'

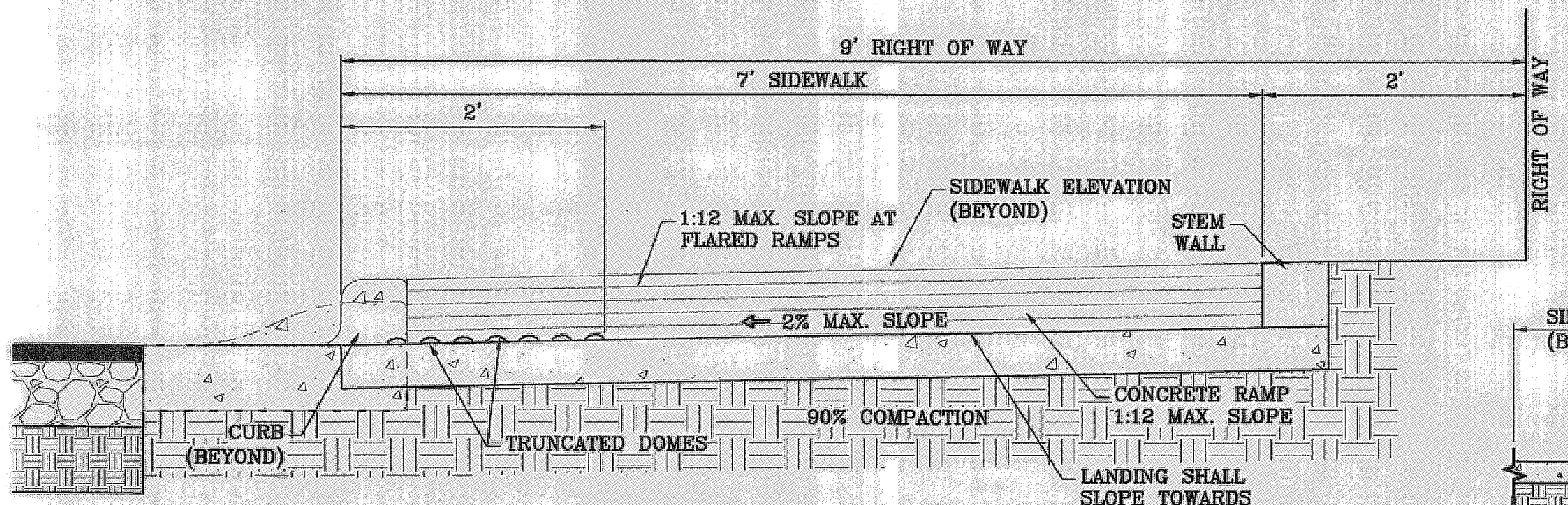


RAMP ON 5' SIDEWALK SECTION Y
SCALE: 1"=2'

CONCRETE RAMP
1:12 MAX. SLOPE

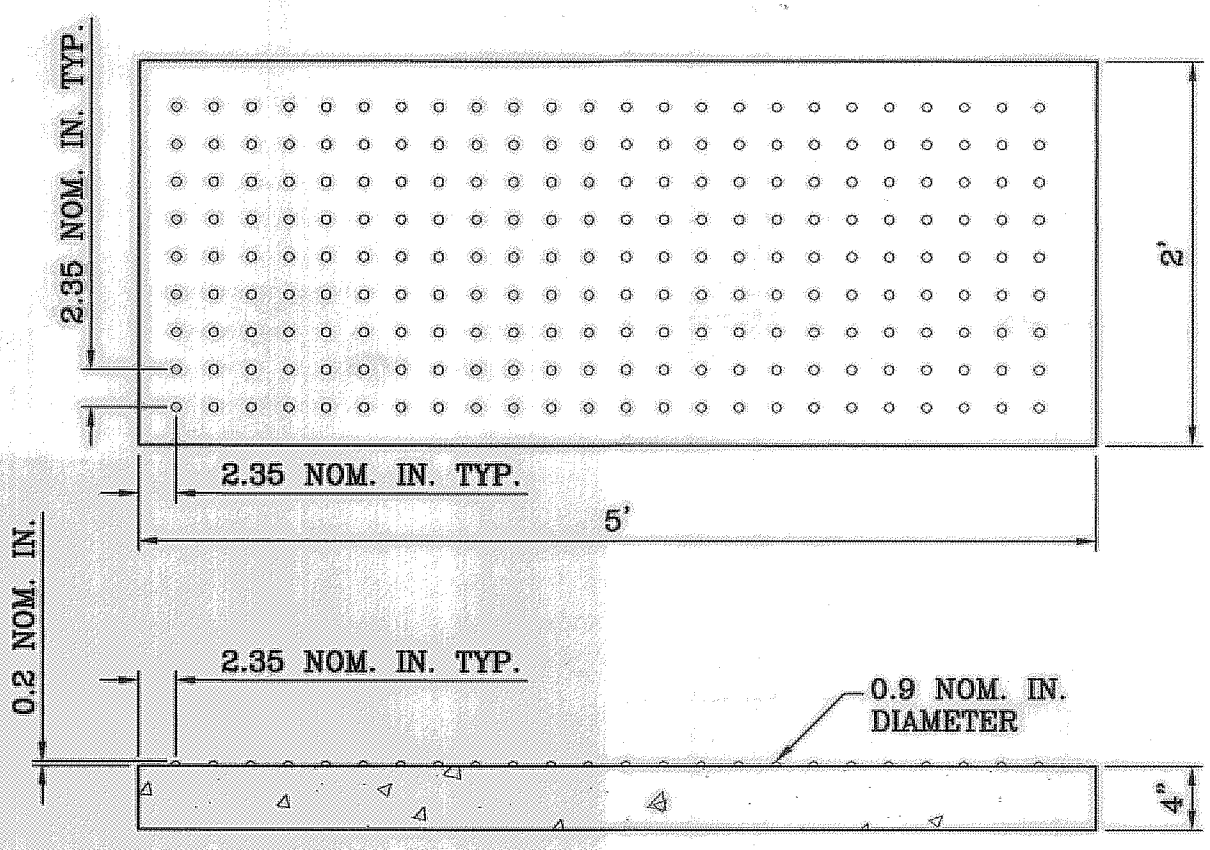


RAMP ON 7' SIDEWALK AT CURB & GUTTER/ROLLED CURB
SCALE: 1"=10'

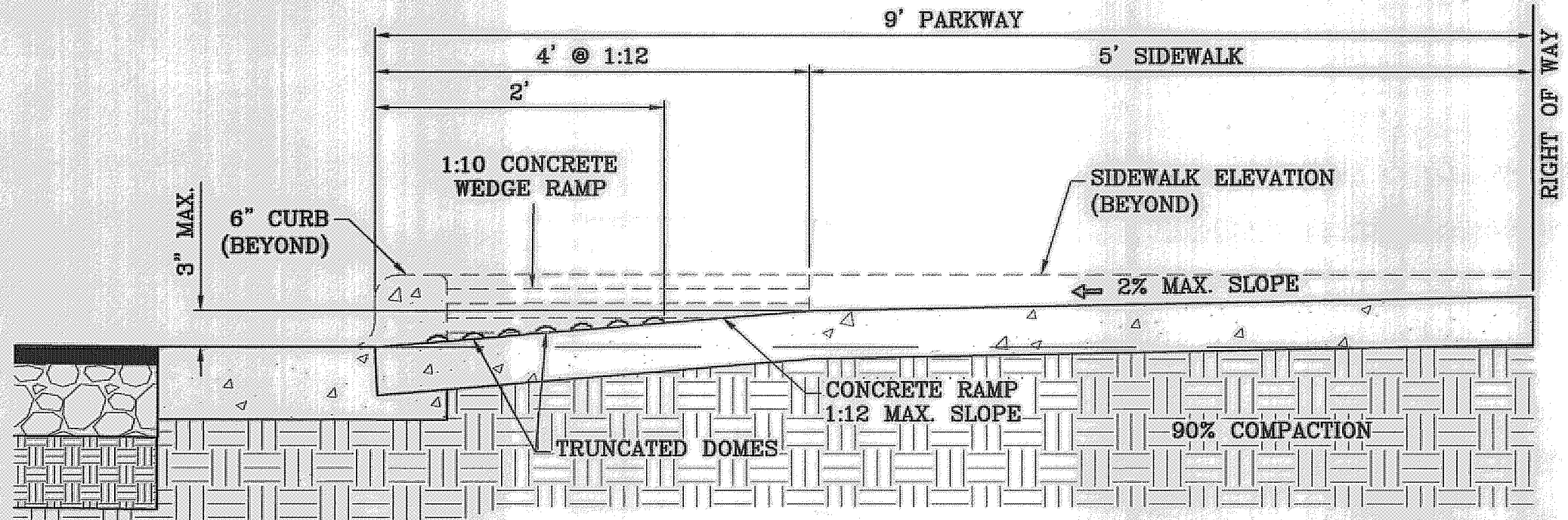


TYPICAL WHEELCHAIR RAMP AT 4" ROLLED CURB/6" CURB & GUTTER
SECTION Y
SCALE: 1"=1'

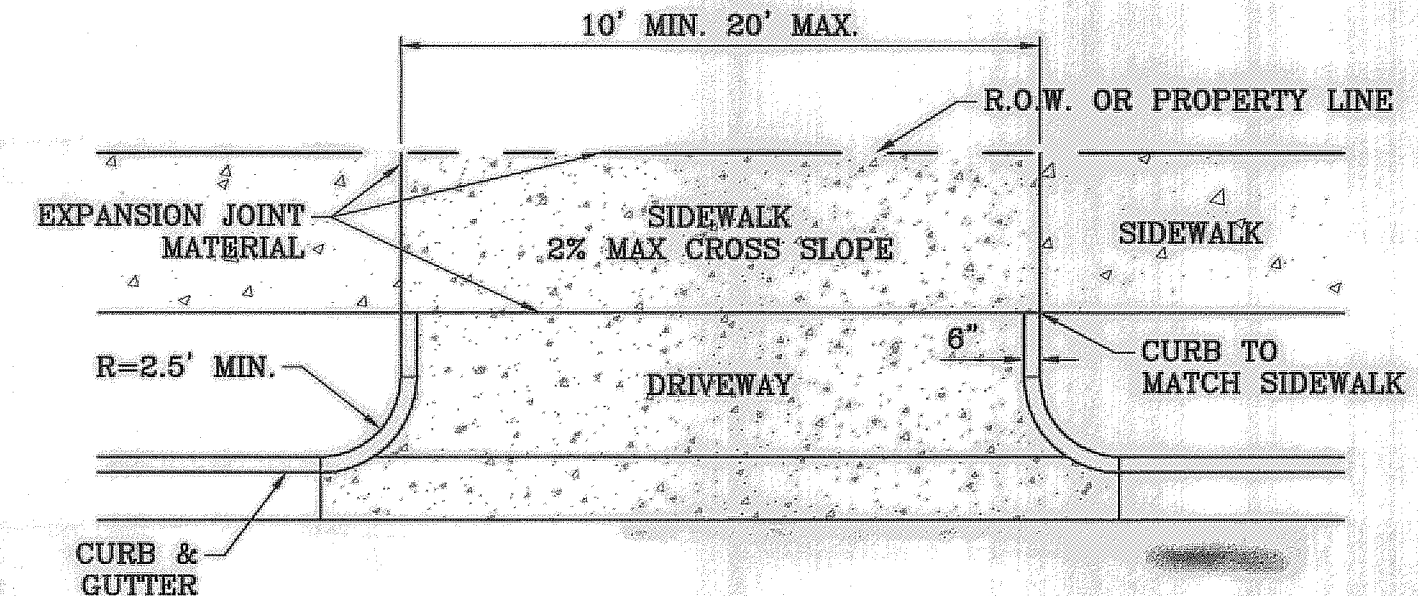
LANDING SHALL SLOPE TOWARDS STREET



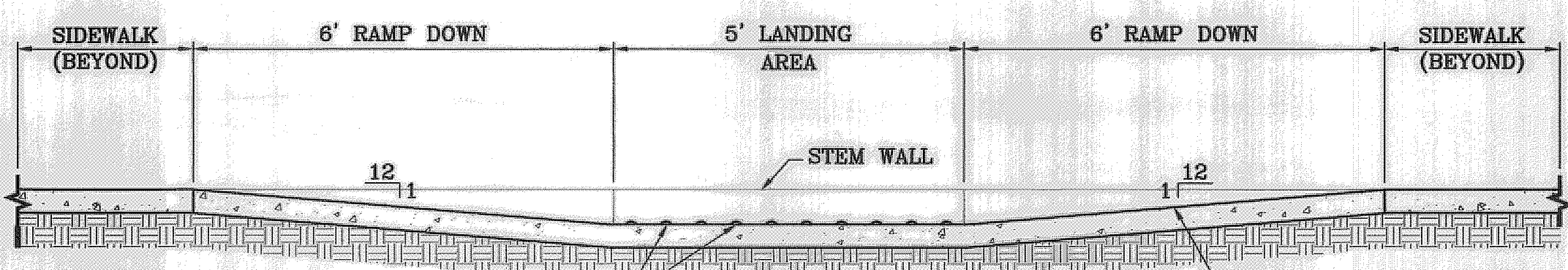
TRUNCATED DOMES
SCALE: 1"=1'



TYPICAL WHEELCHAIR RAMP AT 6" CURB & GUTTER
SECTION Z
SCALE: 1"=1'



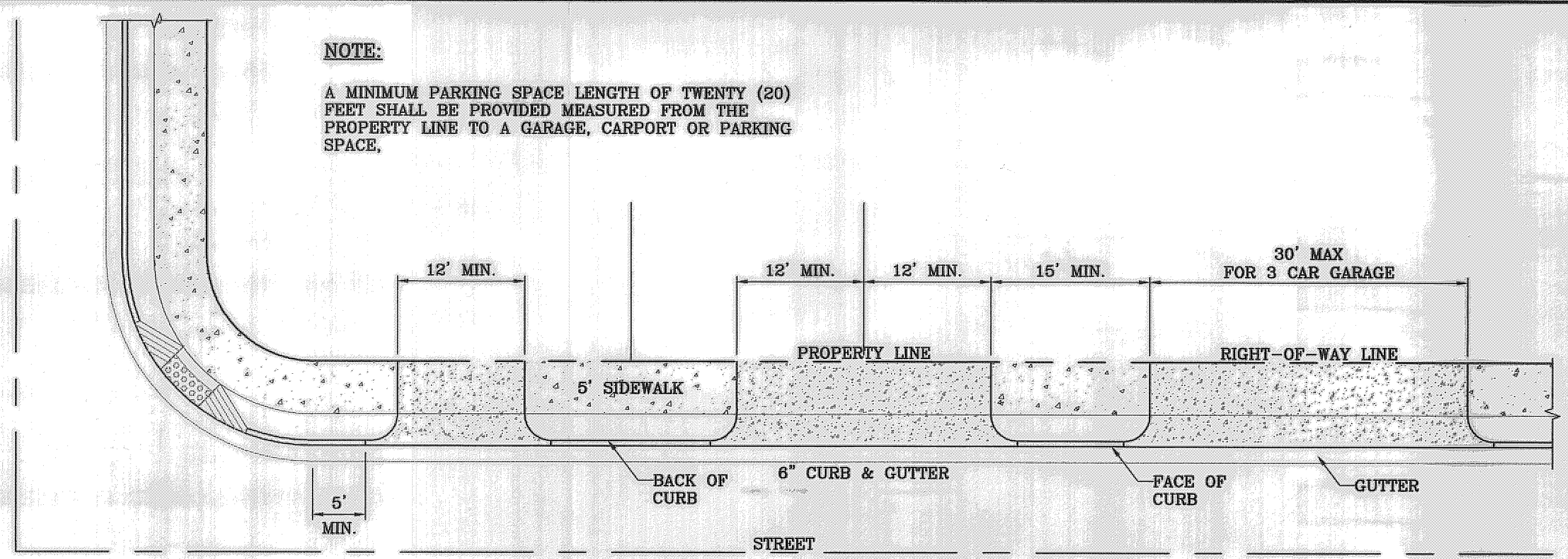
RESIDENTIAL DRIVEWAY DETAIL
SCALE: 1"=6'



RAMP ON 7' SIDEWALK SECTION V
SCALE: 1"=2'

NOTE:

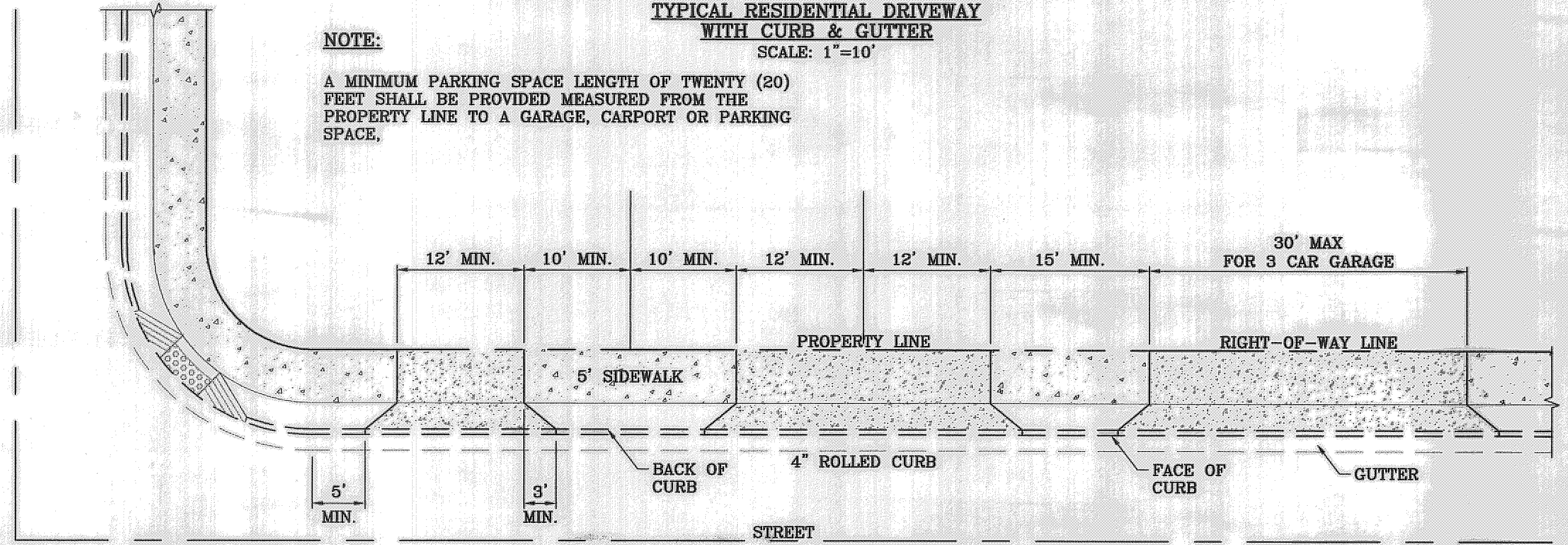
A MINIMUM PARKING SPACE LENGTH OF TWENTY (20) FEET SHALL BE PROVIDED MEASURED FROM THE PROPERTY LINE TO A GARAGE, CARPORT OR PARKING SPACE.



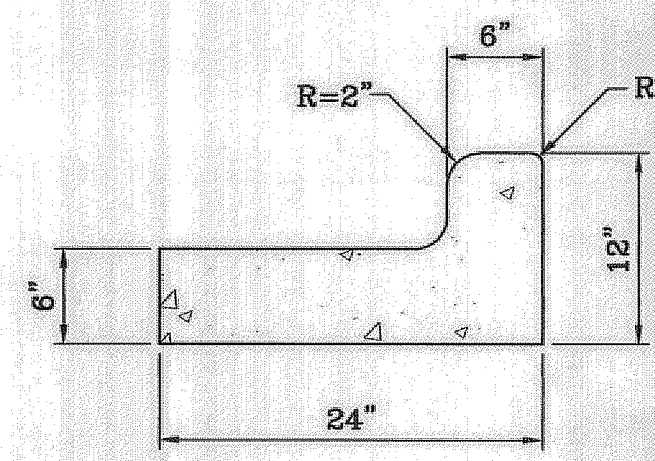
TYPICAL RESIDENTIAL DRIVEWAY WITH CURB & GUTTER
SCALE: 1"=10'

NOTE:

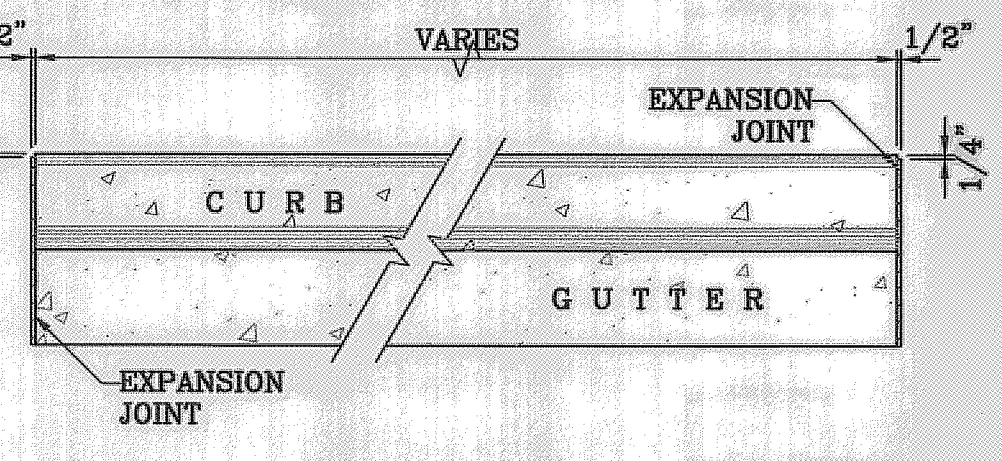
A MINIMUM PARKING SPACE LENGTH OF TWENTY (20) FEET SHALL BE PROVIDED MEASURED FROM THE PROPERTY LINE TO A GARAGE, CARPORT OR PARKING SPACE.



TYPICAL RESIDENTIAL DRIVEWAY WITH ROLLED CURB
SCALE: 1"=10'



END SECTION

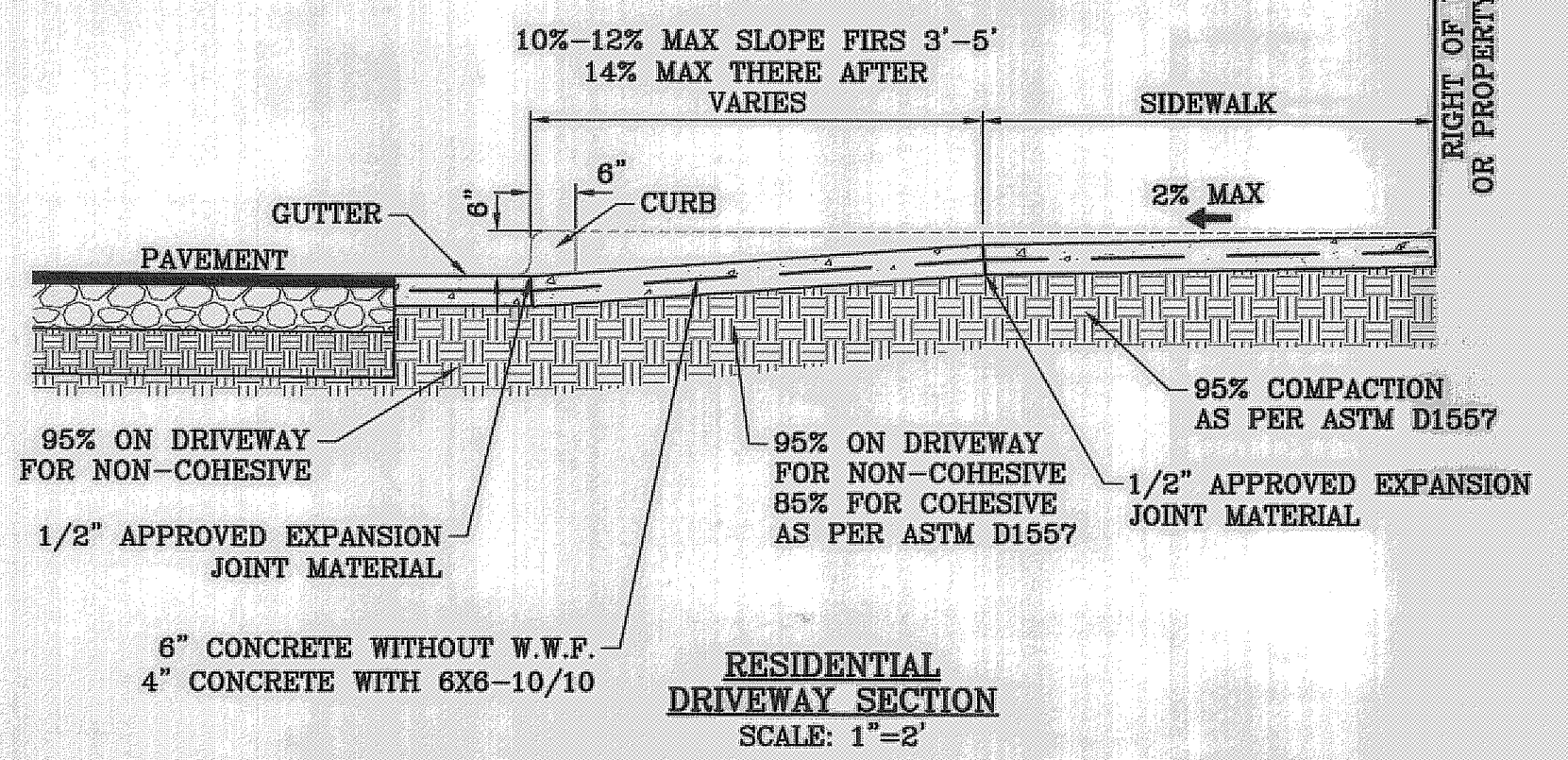


PLAN VIEW

NOTES:

- NO EXPANSION JOINT WILL BE REQUIRED EXCEPT AT THE END OF CURB RETURNS. (POINT OF TANGENCY WITH STRAIGHT LINE).
- CONTRACTION JOINTS (1/2" INCH MIN.) MUST BE SCORD EVERY 10 FEET IN CURB AND GUTTER.
- ALL EXPANSION JOINTS WILL BE OF PREFORMED BITUMINOUS FIBER 1/2" INCH THICK.
- CONCRETE: CLASS "A" 3000 PSI.
- EXPANSION JOINTS REQUIRED AT 5' O.C. WHEN FORMING FOR CURBS.

CURB & GUTTER DETAIL
SCALE: 1"=1'



RESIDENTIAL DRIVEWAY SECTION
SCALE: 1"=2'

BENCHMARK

CITY MONUMENT AT THE CENTERLINE POINT OF CURVE
CENTERLINE ON MESQUITE HILLS DR. AT STATION 1+00.86
ELEVATION 4007.28 CITY DATUM

DATE	REVISIONS	BY

PROJECT NAME

MESQUITE HILLS UNIT 6

BEING A PORTION OF TRACT 6, SECTION 16, BLOCK 80,
TOWNSHIP 1, TEXAS AND PACIFIC RAILROAD CO. SURVEYS,
CITY OF EL PASO, EL PASO COUNTY, TEXAS
CONTAINING: 2.1082 ACRES

SCALE

HORIZ: AS NOTED
VERT: ---

DATE: JANUARY 2011
DESIGN BY: Y.C.
INITIATED BY: O.M.
CHECKED BY: Y.C.
JOB NO.: 1210-18

ENGINEER'S SEAL

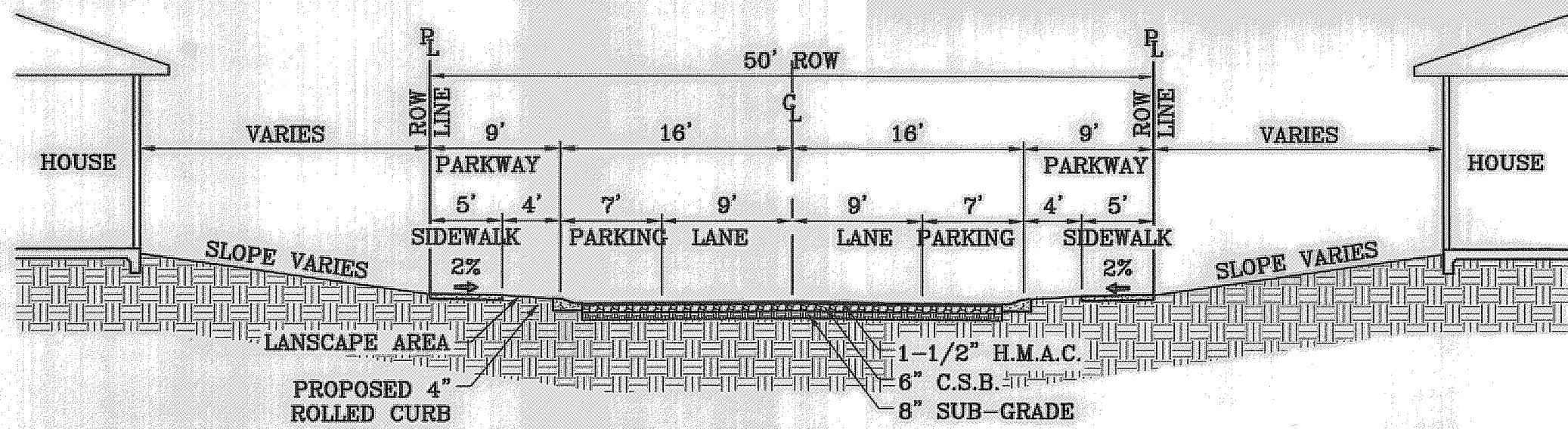
ENGINEER'S SEAL NOT REQUIRED. THIS SHEET IS PRODUCED FROM CITY SURVEYING DESIGN STANDARDS

CONDE INC.
ENGINEERING / PLANNING
SURVEYING / GPS
6080 SURETY DR. STE 100
EL PASO, TEXAS 79905
PHONE: (915) 592-0283
FAX: (915) 592-0286

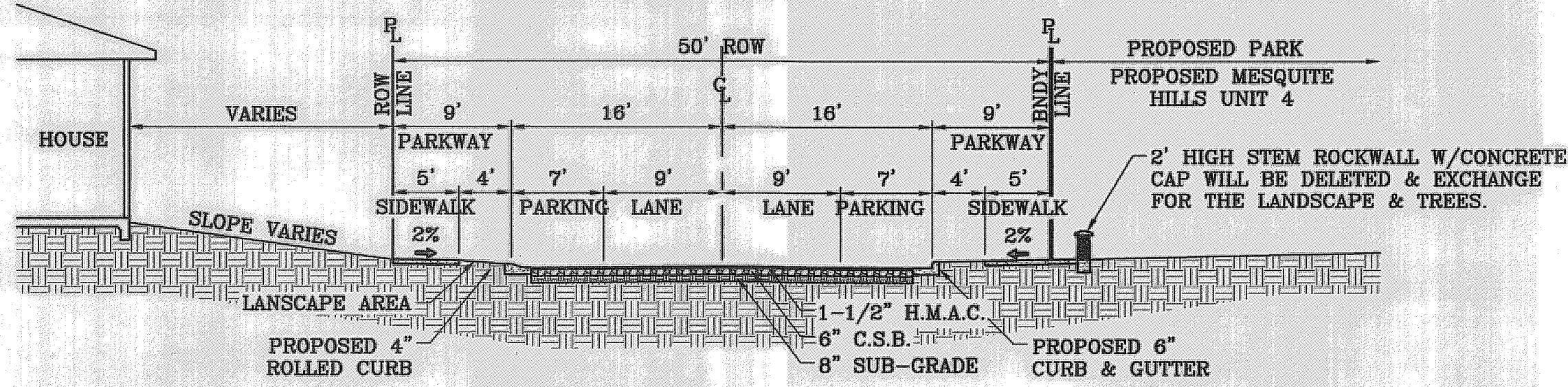
SHEET TITLE

STANDARD DETAILS

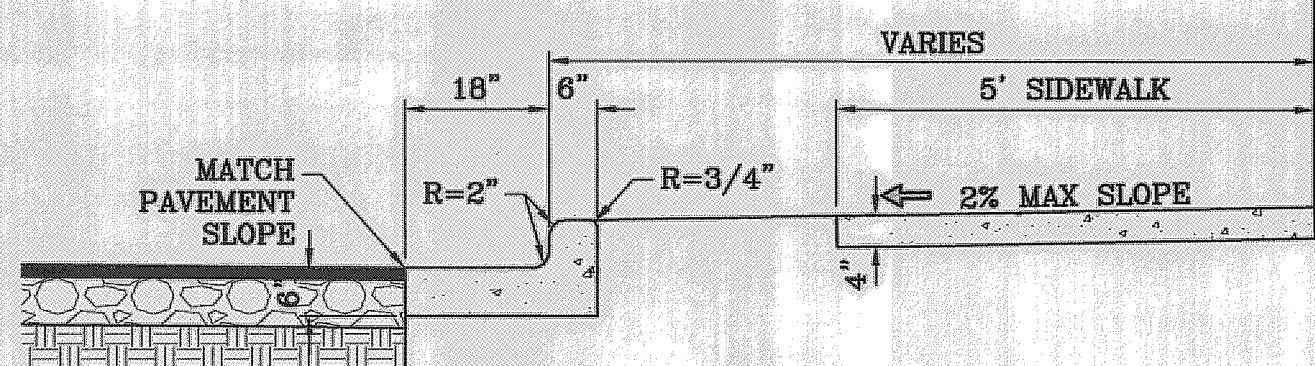
SHT 6 OF 7



50' R.O.W.
COPPER VALLEY LN.
SCALE: 1"=10'



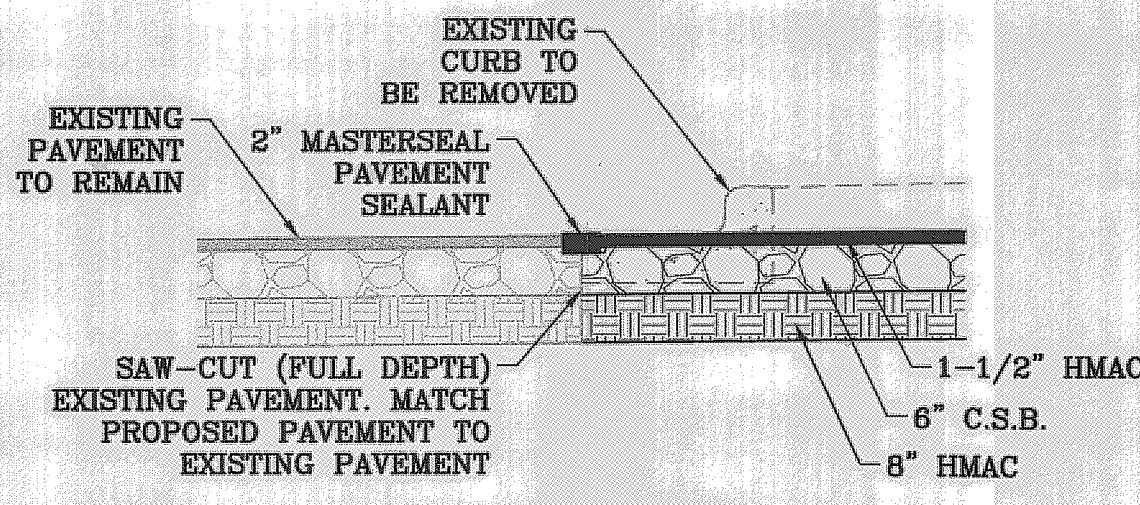
50' R.O.W.
ZAVI PL.
SCALE: 1"=10'



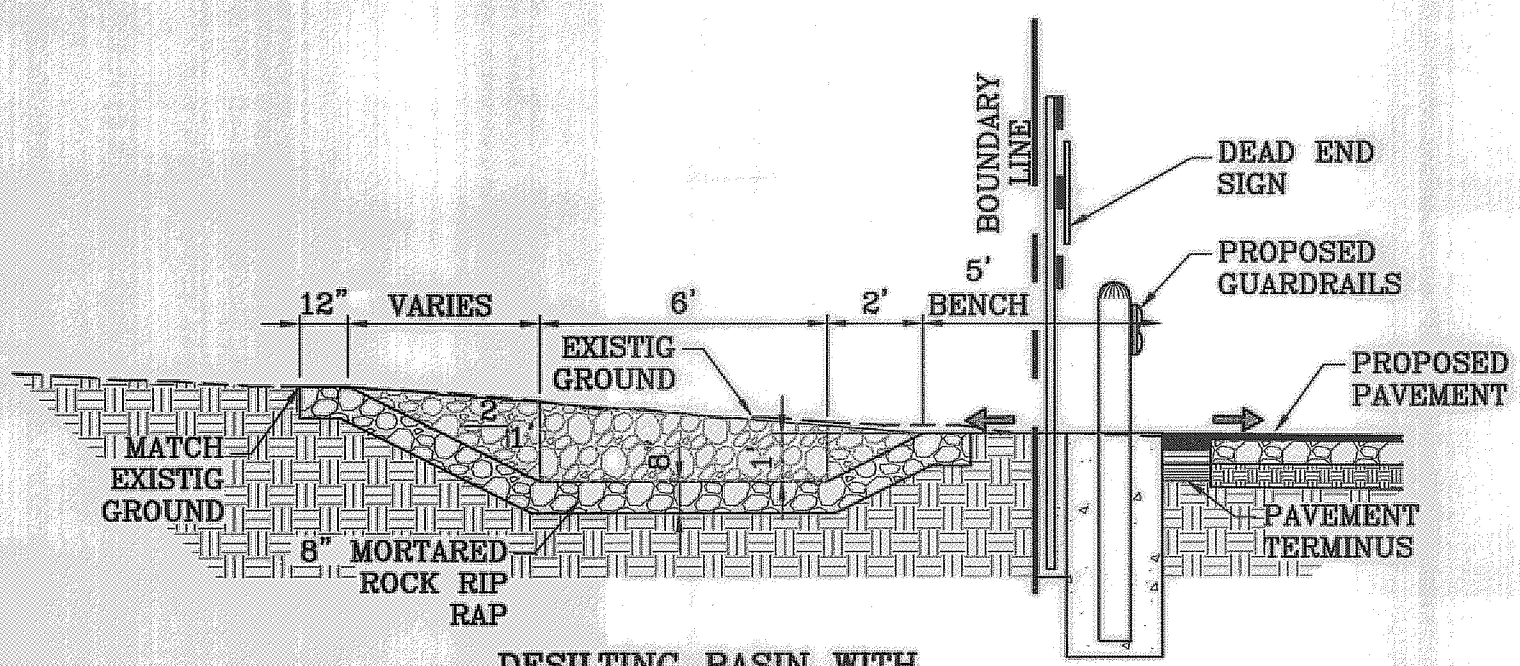
NOTES:

1. CONCRETE SHALL BE 3000 P.S.I. MINIMUM.
2. DUMMY JOINTS REQUIRED AT 10' O.C. FOR CURB/GUTTER AND 5' O.C. FOR SIDEWALK.
3. EXPANSION MATERIAL REQUIRED AT CURB RETURNS WITH 1/2" PREMOLDED ASPHALT IMPREGNATED EXPANSION MATERIAL OR EQUAL.
4. EXPANSION JOINTS REQUIRED AT 50' O.C. WHEN FORMING FOR CURBS.
5. WHENEVER SIDEWALK ABUTS ROCK OR MASONRY STRUCTURES SUCH AS CURBS OR BUILDINGS, EXPANSION JOINT FILLER SHALL BE USED IN ACCORDANCE WITH STANDARD SPECIFICATIONS.

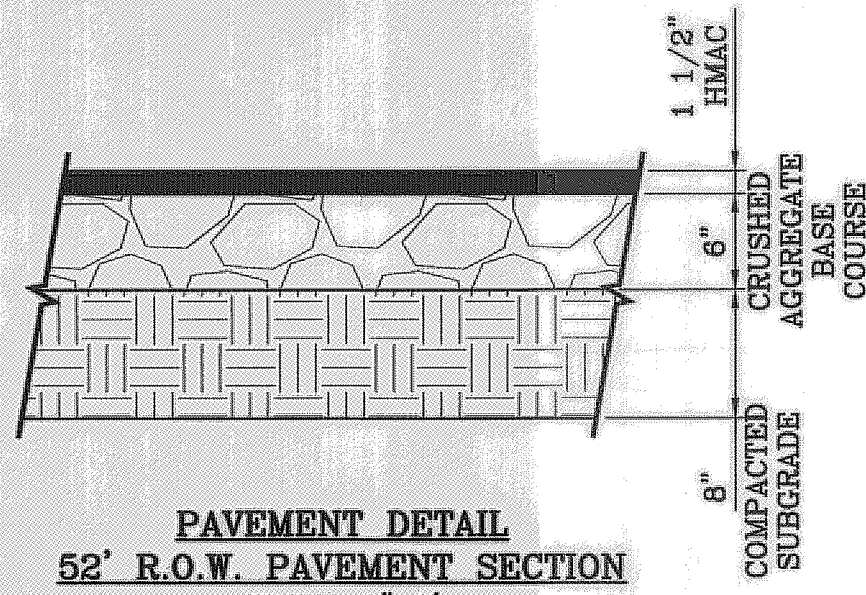
CURB & GUTTER AND SIDEWALK DETAIL
SCALE: 1"=2'



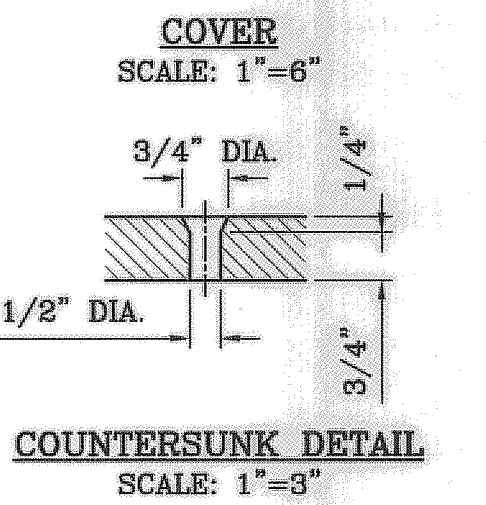
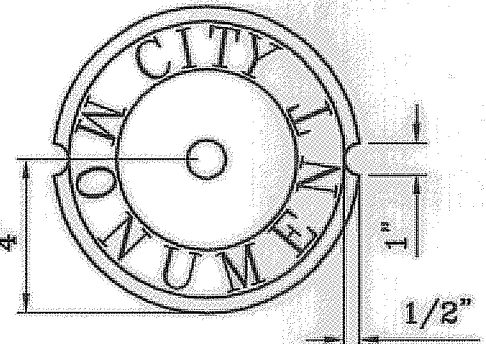
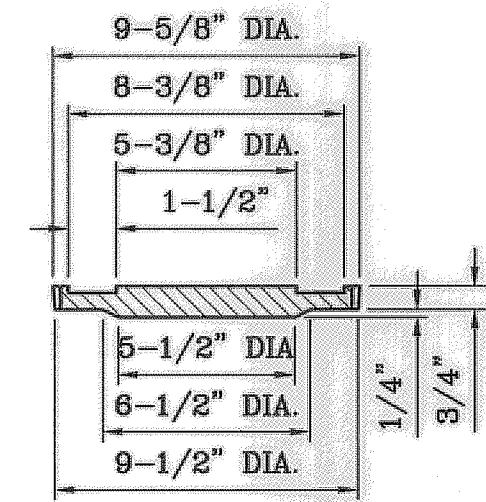
PAVEMENT JOINT SEAL DETAIL
SCALE: 1"=2'



DESILTING BASIN WITH GUARD RAIL DETAIL
SCALE: 1"=4'



PAVEMENT TERMINUS
52' R.O.W. PAVEMENT SECTION
SCALE: 1"=1'



COUNTERSUNK DETAIL
SCALE: 1"=3"

SIZE AND CONSTRUCTION:

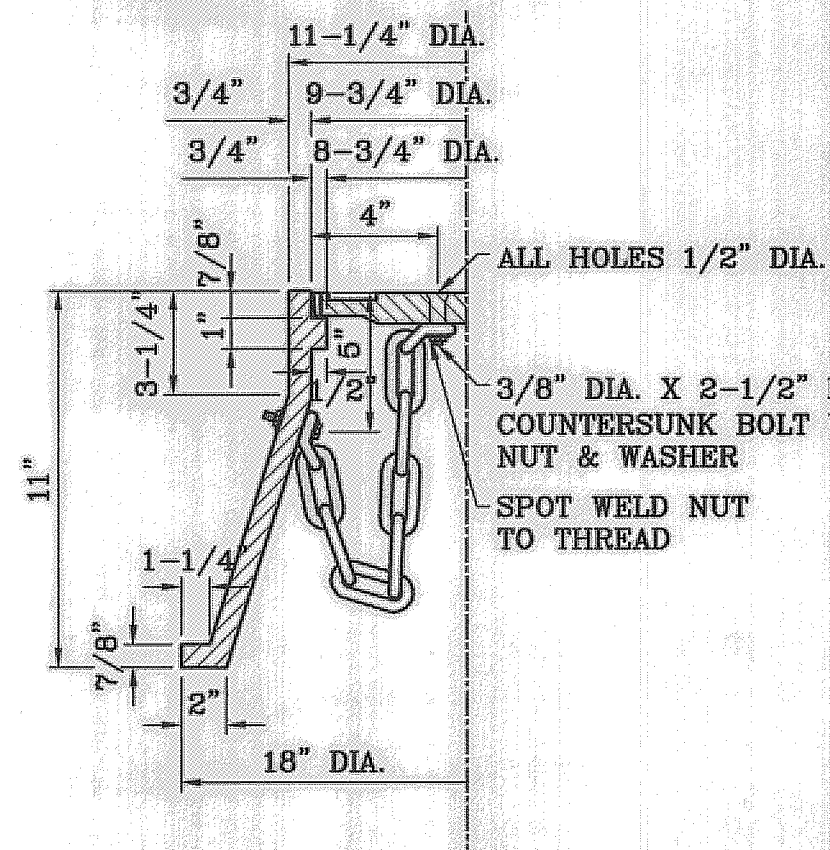
THE STANDARD CITY MONUMENT SHALL BE POURED-IN-PLACE CONCRETE CONE. EIGHT (8) INCHES MINIMUM DIAMETER AT THE TOP, EIGHTEEN (18) INCHES MINIMUM DIAMETER AT THE BOTTOM, THIRTY-SIX (36) INCHES MINIMUM IN DEPTH WITH THE MONUMENT CAP IN PLACE ON TOP.

THE MONUMENT SHALL BE COVERED WITH A CAST IRON BOX AND COVER.

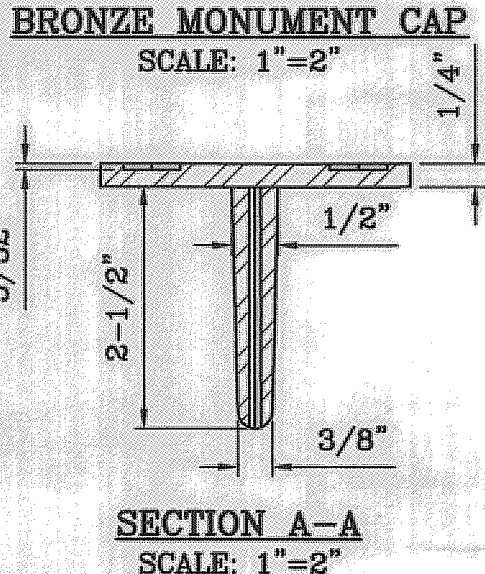
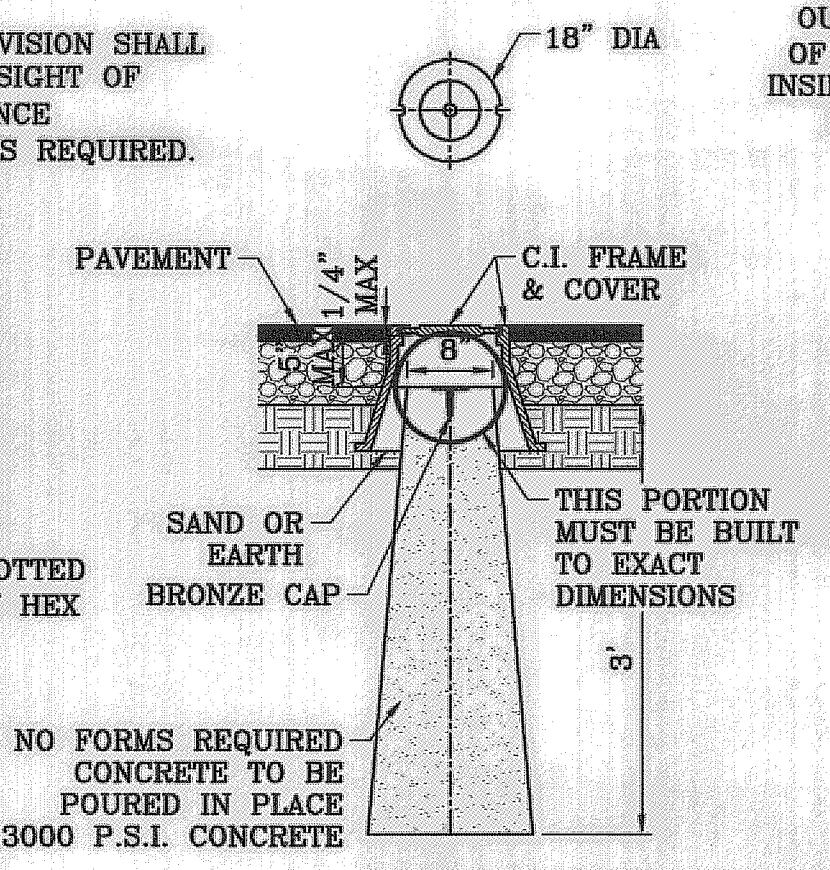
NUMBER AND LOCATIONS:

THE MONUMENTS SHALL BE INSTALLED WHERE SHOWN ON THE SUBDIVISION PLAT AS APPROVED BY THE CITY ENGINEER.

THE SIZE, TOPOGRAPHY AND LAYOUT OF THE SUBDIVISION SHALL GOVERN MONUMENT MUST BE WITHIN THE LINE OF SIGHT OF ANY OTHER MONUMENT (2000 FEET MAXIMUM DISTANCE BETWEEN MONUMENTS). THE NUMBER OF MONUMENTS REQUIRED.



CITY MONUMENT DETAIL
SCALE: 1"=2"



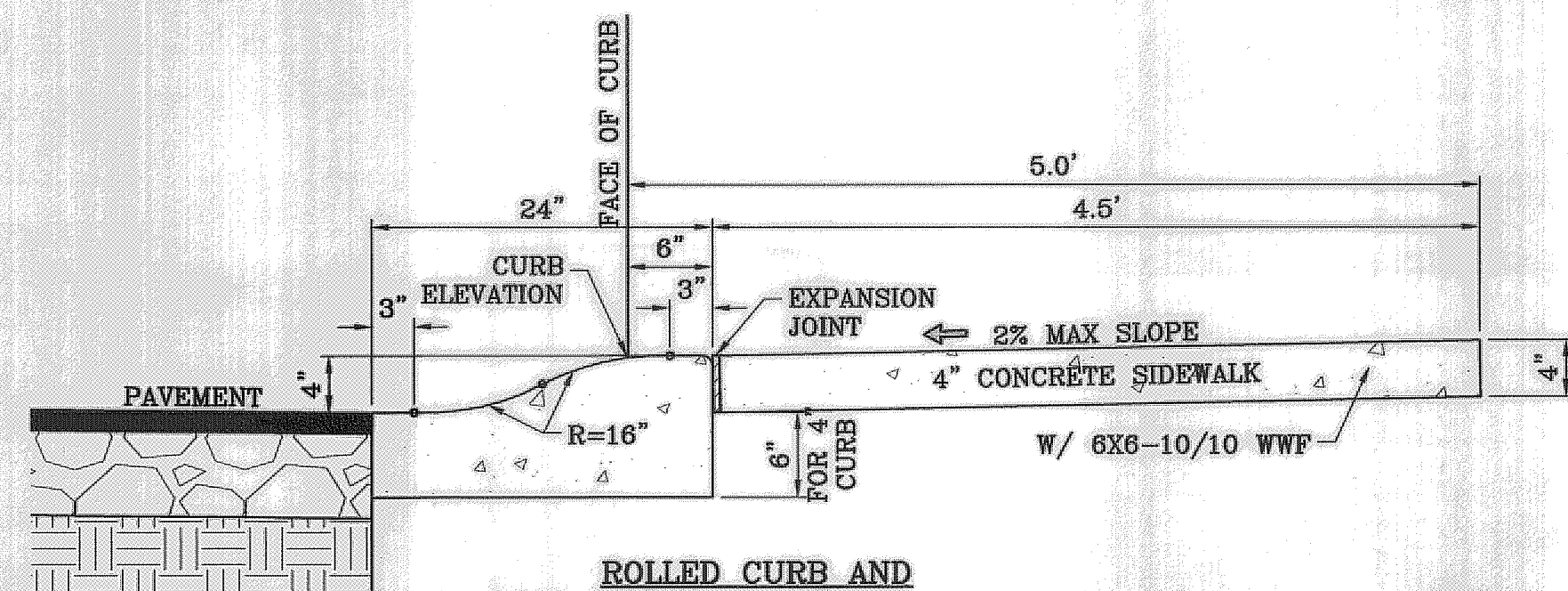
SECTION A-A
SCALE: 1"=2"

NO FEWER THAN TWO MONUMENTS SHALL BE PLACED IN A ONE STREET SUB-DIVISION.

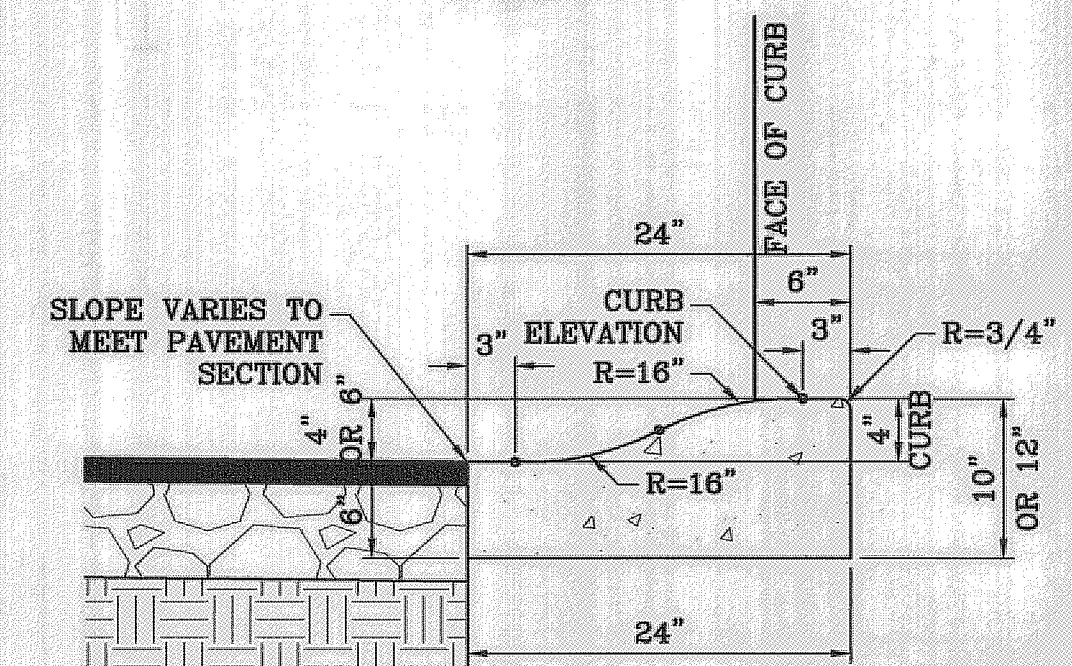
AT LEAST ONE (1) MONUMENT SHALL BE PLACED ON EACH HORIZONTAL CURVE. TWO SHALL BE PLACED IF THE POINT OF INTERSECTION (P.I.) OF THE TANGENTS LEADING INTO THE CURVE FALLS OUTSIDE OF CITY RIGHT-OF-WAY. MONUMENTS SHALL BE INSTALLED SO THAT ALL FRONT PROPERTY CORNERS OF ALL LOTS IN THE SUBDIVISION ARE WITHIN LINE OF SIGHT OF A MONUMENT, OR WITHIN SIGHT OF LINE BETWEEN TWO ADJACENT MONUMENTS.

HEIGHT OF LETTERS = 7/16"
WIDTH OF LETTER BODY = 3/16" RADI FOR POSITION OF LETTERING = 13/16" AND 1-1/4"

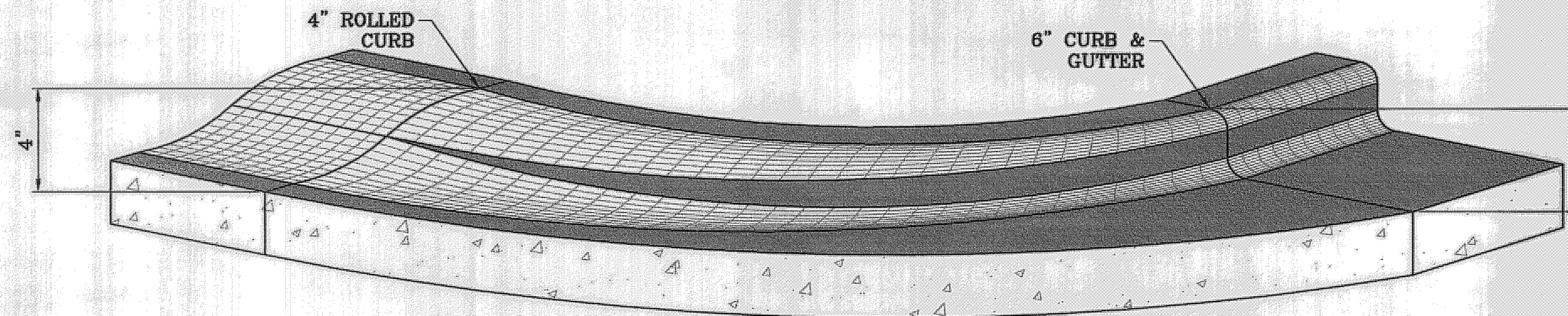
EMBOSSE STAR, RING AND LETTERS TO HEIGHT OF 3/32"



ROLLED CURB AND SIDEWALK DETAIL
SCALE: 1"=1'



ROLLED CURB DETAIL
SCALE: 1"=1'



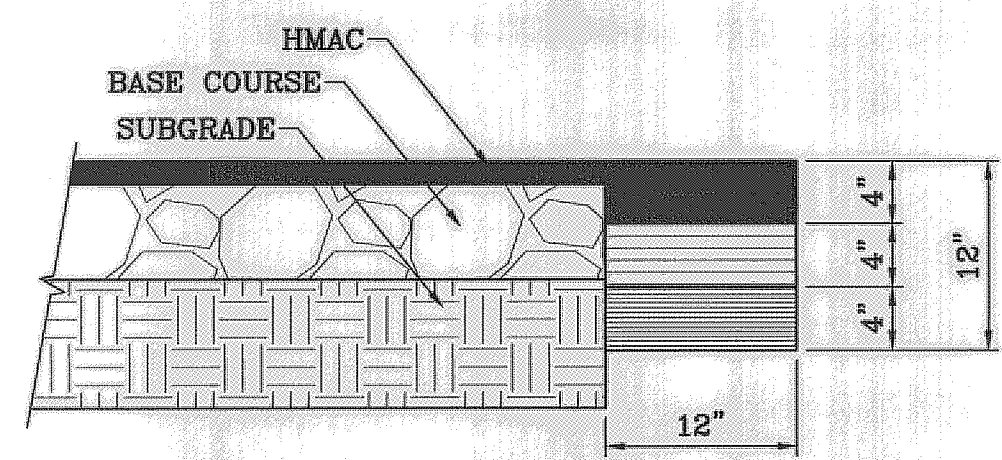
CURB TRANSITION AT RETURNS
SCALE: 1"=1'

PAVEMENT NOTES

1. SUBGRADE TO BE COMPACTED TO 95% OF MAXIMUM DENSITY AS PER ASTM D1557.
2. BASE TO BE COMPACTED TO NOT LESS THAN 100% DENSITY IN ACCORDANCE WITH ASTM D1557. TYPE A, GRADE 1 OR 2.
3. BITUMINOUS MATERIAL SHALL CONFORM TO AC-10 OR AC-20, TYPE "C" IN ACCORDANCE WITH ASTM D3318.
4. PRIME COAT TO BE 0.25 GAL. PER SQUARE YARD (MINIMUM COVERAGE) MC-70.
5. COMPACTION TESTS WHERE REQUIRED BY THE CITY ENGINEER MUST BE PAID FOR BY THE DEVELOPER.
6. C.B.R. TESTS WILL BE REQUIRED AT 500 FOOT INTERVALS AFTER SUBGRADE IS PLACED AND/OR A MINIMUM OF TWO TESTS IF STREET IS LESS THAN 500 FEET.
7. STRICT VERTICAL CONTROL OF ALL CURB AND GUTTER ELEVATIONS WILL BE MAINTAINED. BLUE TOPPING WILL BE REQUIRED THROUGHOUT.
8. ALL PLANS MUST BE IN ACCORDANCE WITH THE LATEST EDITION OF THE CITY OF EL PASO SUBDIVISION DESIGN AND IMPROVEMENT STANDARDS.
9. H.M.A.C. BASE, SUB BASE WILL BE IN ACCORDANCE WITH THE LATEST CITY OF EL PASO SPECIFICATIONS.
10. MINIMUM PAVEMENT DESIGN DETAILS ARE SHOWN. ACTUAL PAVEMENT DESIGN WILL BE DETERMINED BY: C.B.R.

TRENCHING

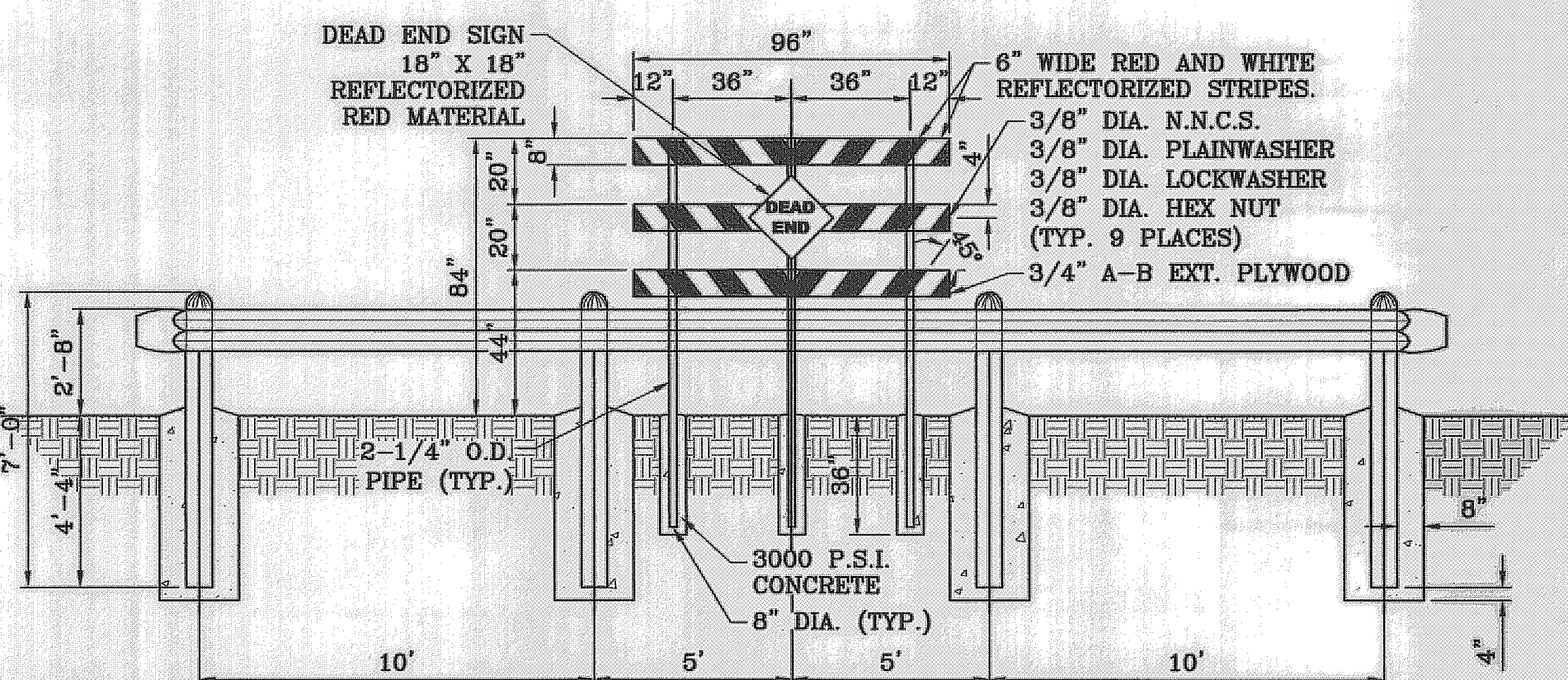
ALL TRENCHING SHALL BE DONE IN STRICT ACCORDANCE WITH OSHA-2226.



PAVEMENT TERMINUS
SCALE: 1"=1'

NOTE:

THICKENED EDGE SHALL BE CONSTRUCTED IN COURSED NOT OVER 4" IN THICKNESS, EACH COURSE THOROUGHLY COMPACTED BEFORE PLACING NEXT COURSE, FINAL COURSE. FINAL COURSE TO BE PLACED MONOLITHIC WITH PAVEMENT.



GUARD RAIL DETAIL
SCALE: 1"=4'

NOTE: DEAD END SIGN TO BE USED WITH GUARDRAILS. RED AND WHITE PORTIONS TO BE REFLECTIVE SHEETING. DEAD END SIGN MUST COMPLY WITH THE CITY OF EL PASO SUBDIVISION DESIGN STANDARDS.

BENCHMARK	REVISIONS	BY
CITY MONUMENT AT THE CENTERLINE POINT OF CURVE CENTERLINE ON MESQUITE HILLS DR. AT STATION 1+00.86 ELEVATION 4007.28	DATE	

PROJECT NAME
MESQUITE HILLS UNIT 6

BEING A PORTION OF TRACT 6, SECTION 16, BLOCK 80, TOWNSHIP 1, TEXAS AND PACIFIC RAILROAD CO. SURVEYS, CITY OF EL PASO, EL PASO COUNTY, TEXAS CONTAINING: 2.1082 ACRES

SCALE
HORIZ: AS NOTED
VERT: ---

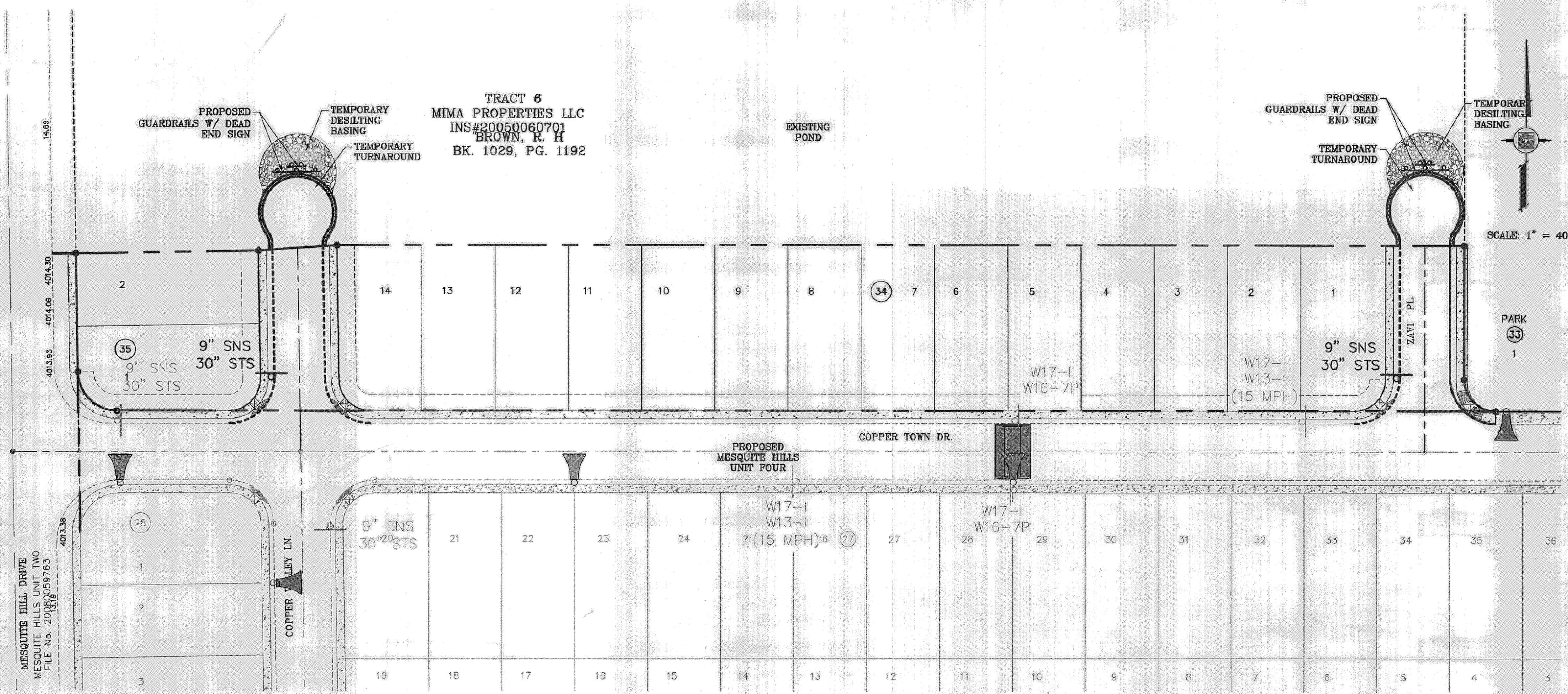
ENGINEER'S SEAL
ENGINEER'S SEAL NOT REQUIRED. THIS SHEET IS PRODUCED FROM CITY SURVEYING DESIGN STANDARDS

CONDE INC.
ENGINEERING / PLANNING SURVEYING / GPS
6080 SURETY DR. SITE 100 EL PASO, TEXAS 79905
PHONE (915) 592-0283 FAX (915) 592-0286

CONDE INC.
REGISTERED PROFESSIONAL ENGINEER

SHEET TITLE
STANDARD DETAILS

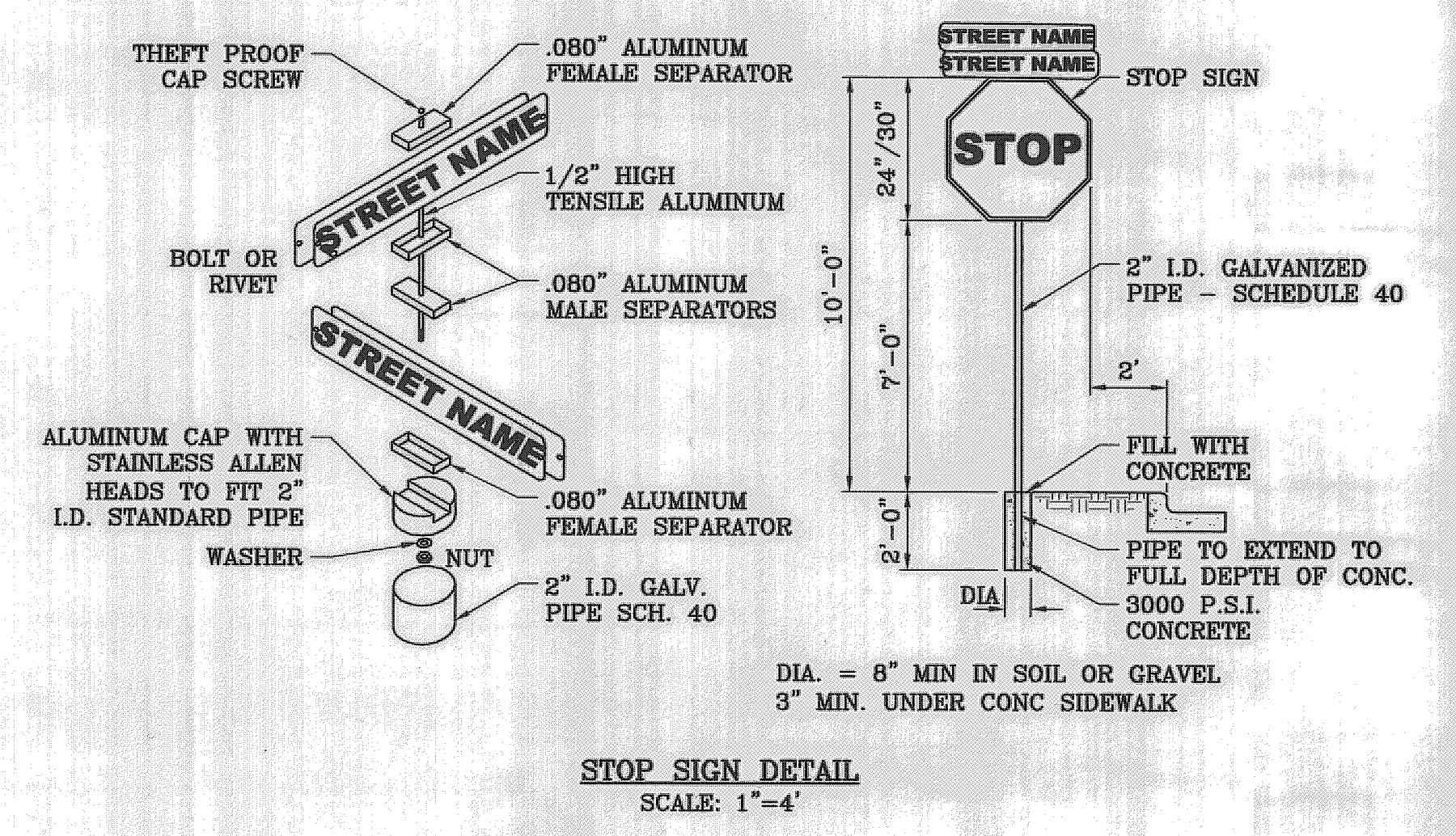
SHT 7 OF 7



LEGEND

▲ PROPOSED LIGHT FROM MESQUITE HILLS UNIT 4

⊥ STOP SIGN WITH STREET NAME



BENCHMARK

CITY MONUMENT AT THE CENTERLINE POINT OF CURVE
CENTERLINE ON MESQUITE HILLS DR. AT STATION 1+40.86
ELEVATION 4007.28

DATE

REVISIONS

BY

PROJECT NAME

MESQUITE HILLS UNIT 6

BEING A PORTION OF TRACT 6, SECTION 16, BLOCK 80,
TOWNSHIP 11S AND RANGE 10E,
CITY OF EL PASO, EL PASO COUNTY, TEXAS
CONTAINING: 2.1092 ACRES

SCALE

HORIZ: 1" = 40'

VERT: ---

DATE: JANUARY 2011

DESIGN BY: Y.C.

INITIATED BY: O.M.

CHECKED BY: Y.C.

JOB NO.: 1210-18

ENGINEER'S SEAL

STATE OF TEXAS
ENGINEER
YOUNG & RUBICAM
00886

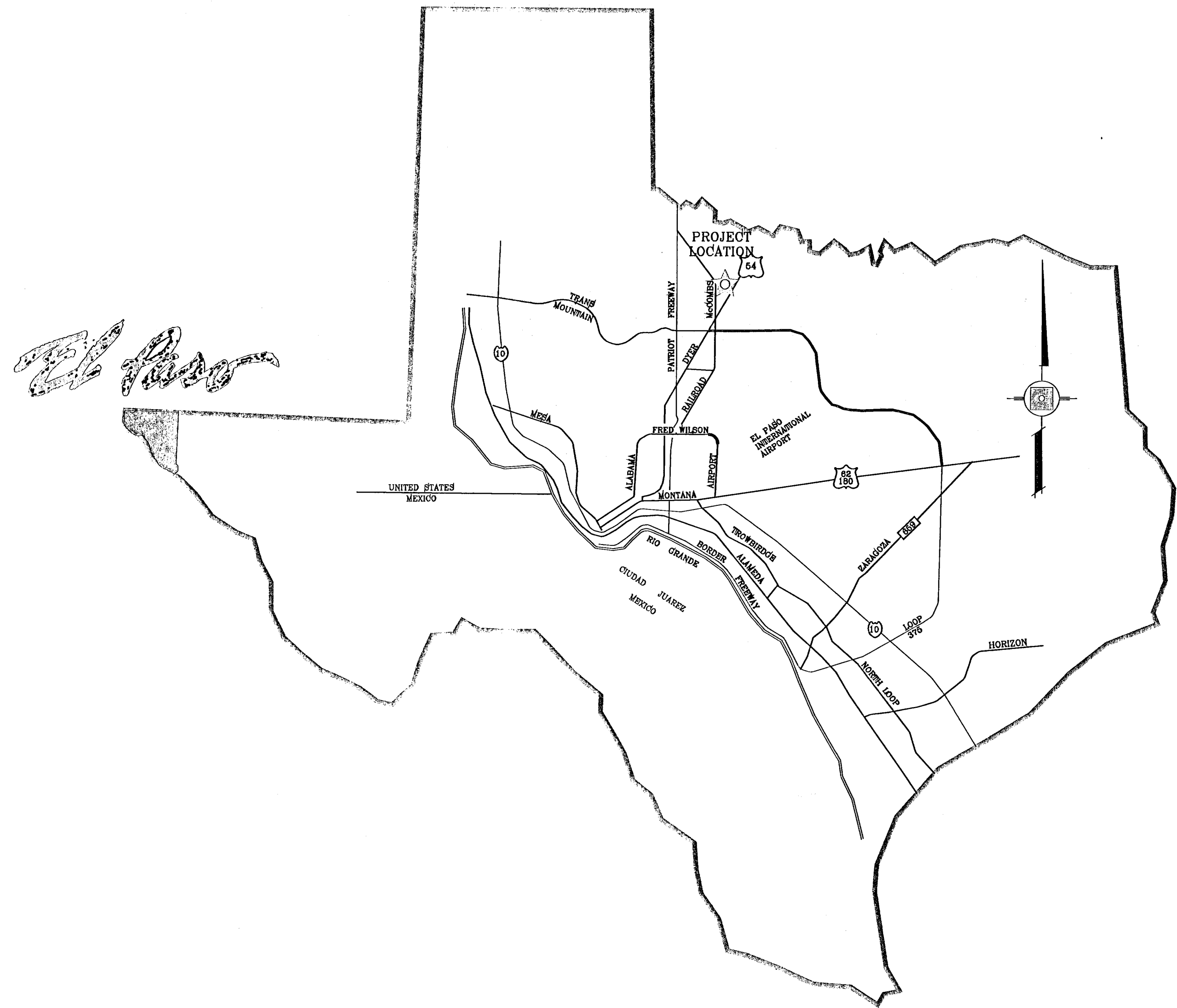
CONDE INC.
ENGINEERING / PLANNING
SURVEYING / GPS
6080 SURETY DR. STE 100
EL PASO, TEXAS 79905
PHONE: (915) 592-0283
FAX: (915) 592-0286

CONDE INC.
REGISTRATION No. F-221

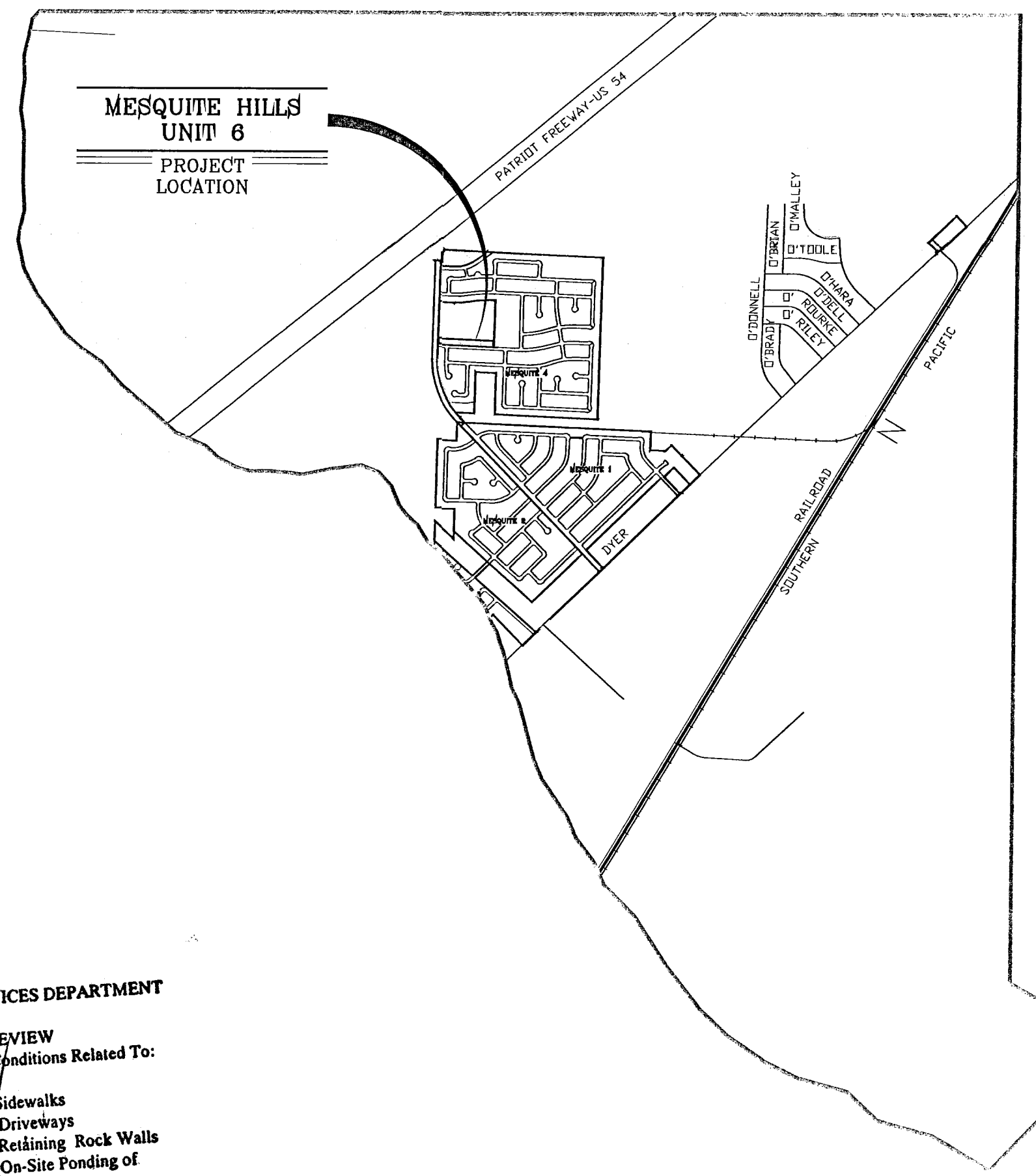
SHEET TITLE

TRAFFIC CONTROL PLAN

SHT 7A OF 7

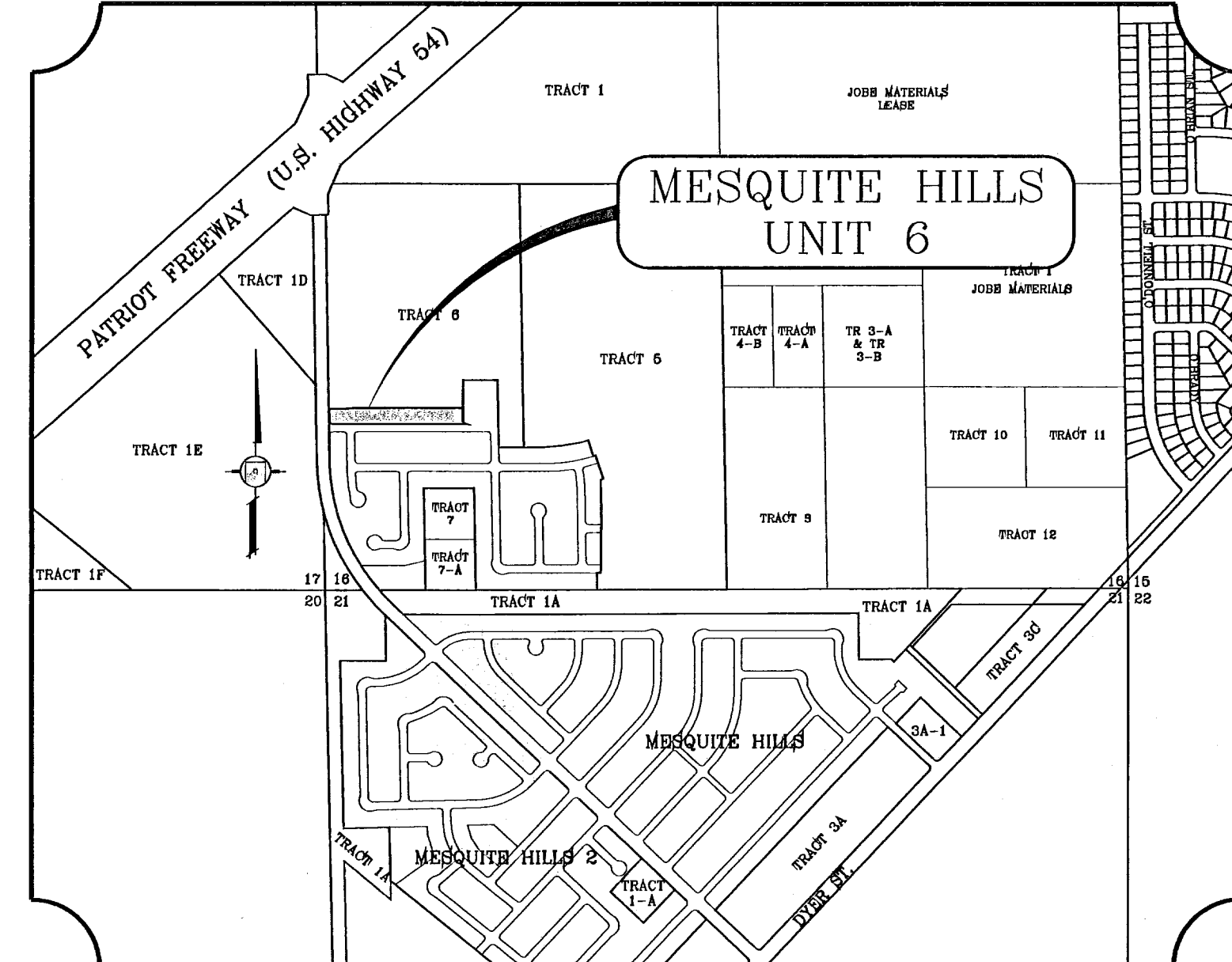


VICINITY MAP



DEVELOPMENT SERVICES DEPARTMENT
 SITE PLAN REVIEW
 Reviewed For Conformance For Conditions Related To:
 Demolition Only / Sidewalks
 Grading & Drains / Driveways
 Wheelchair Ramps / Retaining Rock Walls
 On Site Parking Layout / On-Site Ponding of Storm Waters
 Contractor Must Call 24 Hours Prior To Construction For Inspection
 BY *Opal Vignita* DATE 3-07-11

LOCATION MAP SCALE: 1" = 1000'



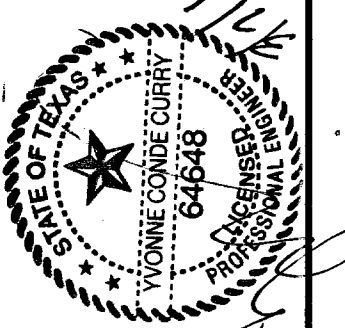
STREET IMPROVEMENTS

I N D E X

TITLE	SHEET No.		
COVER SHEET	1	OF	7
PLAT	2	OF	7
GRADING, SECTIONS AND DRAINAGE PLAN	3	OF	7
S.W.P.P. AND DETAILS	4	OF	7
COPPER VALLEY LN. & ZAVI PL.	5	OF	7
STANDARD DETAILS	6&7	OF	7
ZAVI PL. PARKWAY LANDSCAPE & IRRIGATION	L1	OF	1

PROJECT NAME
MESQUITE HILLS UNIT 6

BEING A PORTION OF TRACT 6, SECTION 16, BLOCK 80, TOWNSHIP 1, TEXAS AND PACIFIC RAILROAD CO. SURVEYS, CITY OF EL PASO, EL PASO COUNTY, TEXAS CONTAINING: 2.1092 ACRES



CONDE INC.
 ENGINEERING / PLANNING
 SURVEYING / GPS
 6080 SURETY DR. SITE 100
 EL PASO, TEXAS 79905

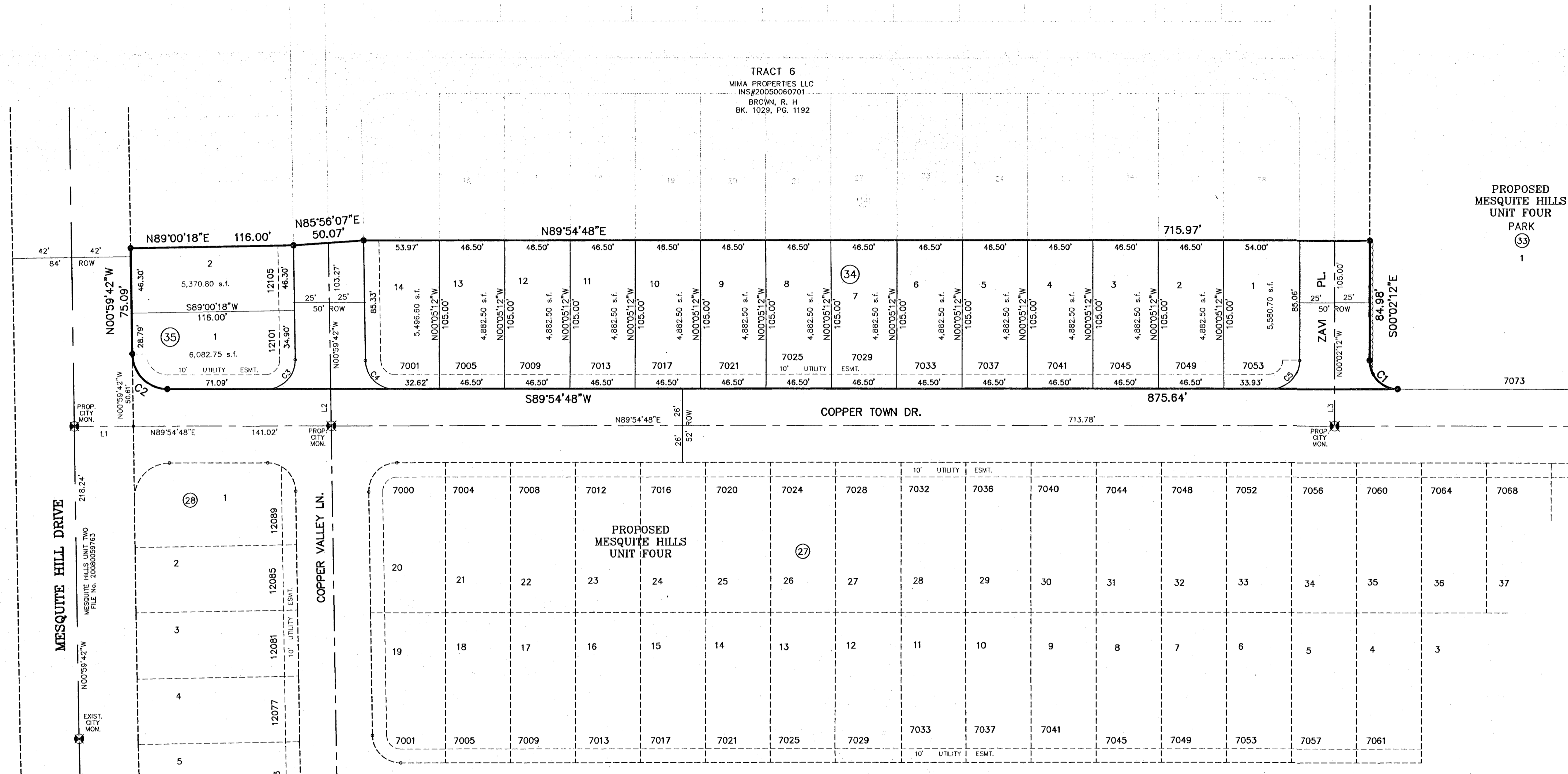
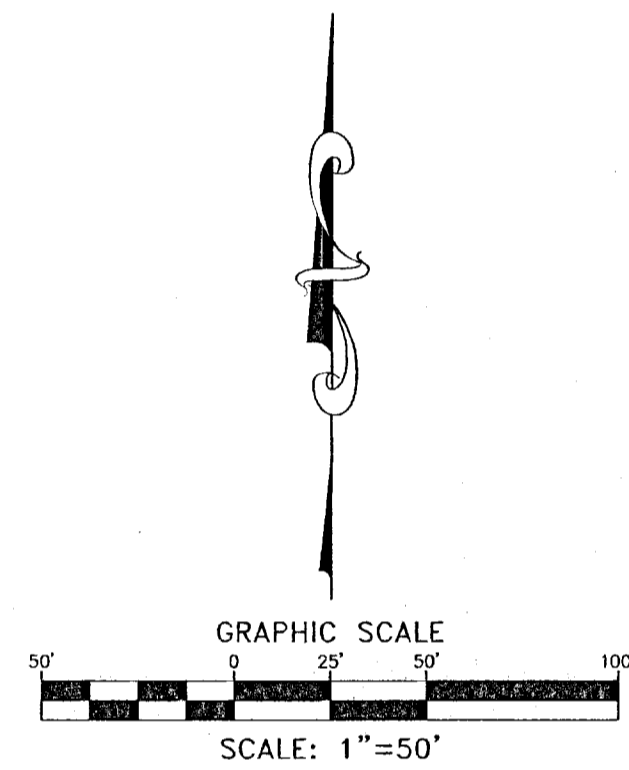


MESQUITE HILLS UNIT 6

BEING A PORTION OF TRACT 6, SECTION 16, BLOCK 80,
TOWNSHIP 1, TEXAS AND PACIFIC RAILROAD Co. SURVEYS,
CITY OF EL PASO, EL PASO COUNTY, TEXAS
CONTAINING: 2.1092 ACRES

CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C1	20.00	31.43	20.02	28.30	S45°03'42"E	90°03'00"
C2	23.00	38.87	24.61	35.07	N45°32'27"W	89°05'30"
C3	20.00	31.73	20.32	28.51	N44°27'33"E	90°54'30"
C4	20.00	31.10	19.69	28.06	S45°32'27"E	89°05'30"
C5	20.00	31.40	19.98	28.27	N44°56'18"E	89°57'00"

LINE	LENGTH	BEARING
L1	42.01	N89°54'48"E
L2	26.00	N00°59'42"W
L3	26.00	N00°02'12"W



NOTES:

WATER AND SEWER SERVICES WILL BE EXTENDED TO THIS SUBDIVISION (MESQUITE HILLS UNIT 6) FROM EXISTING EL PASO WATER UTILITIES/PUBLIC SERVICE BOARD FACILITIES AND WILL BE CONSTRUCTED AND OPERABLE AS OF _____ DATE.

THE INSTRUMENT ASSURING THE CERTIFICATION THAT WATER AND SEWER SERVICES FACILITIES DESCRIBED BY THIS PLAT ARE IN COMPLIANCE WITH THE MODEL RULES ADOPTED UNDER SECTION 16.343, TEXAS WATER CODE IS FILED IN THE OFFICE OF THE COUNTY CLERK, DEED AND RECORD SECTION.
INSTRUMENT No. _____ DATE _____

TAX CERTIFICATE FOR THIS SUBDIVISION ARE FILED IN THE OFFICE OF THE COUNTY CLERK, DEED AND RECORDS SECTION.
INSTRUMENT No. _____ DATE _____

VEHICULAR ACCESS TO THOSE RESIDENTIAL LOTS ABUTTING MESQUITE HILL DRIVE SHALL BE FROM OTHER DEDICATED STREETS ONLY. THE INSTRUMENT ASSURING RELEASE OF ACCESS IS FILED IN THE OFFICE OF THE COUNTY CLERK, DEED AND RECORD SECTION.
INSTRUMENT No. _____ DATE _____

RESTRICTIVE COVENANTS FOR THIS SUBDIVISION ARE FILED IN THE OFFICE OF THE COUNTY CLERK, DEED AND RECORD SECTION.
INSTRUMENT No. _____ DATE _____

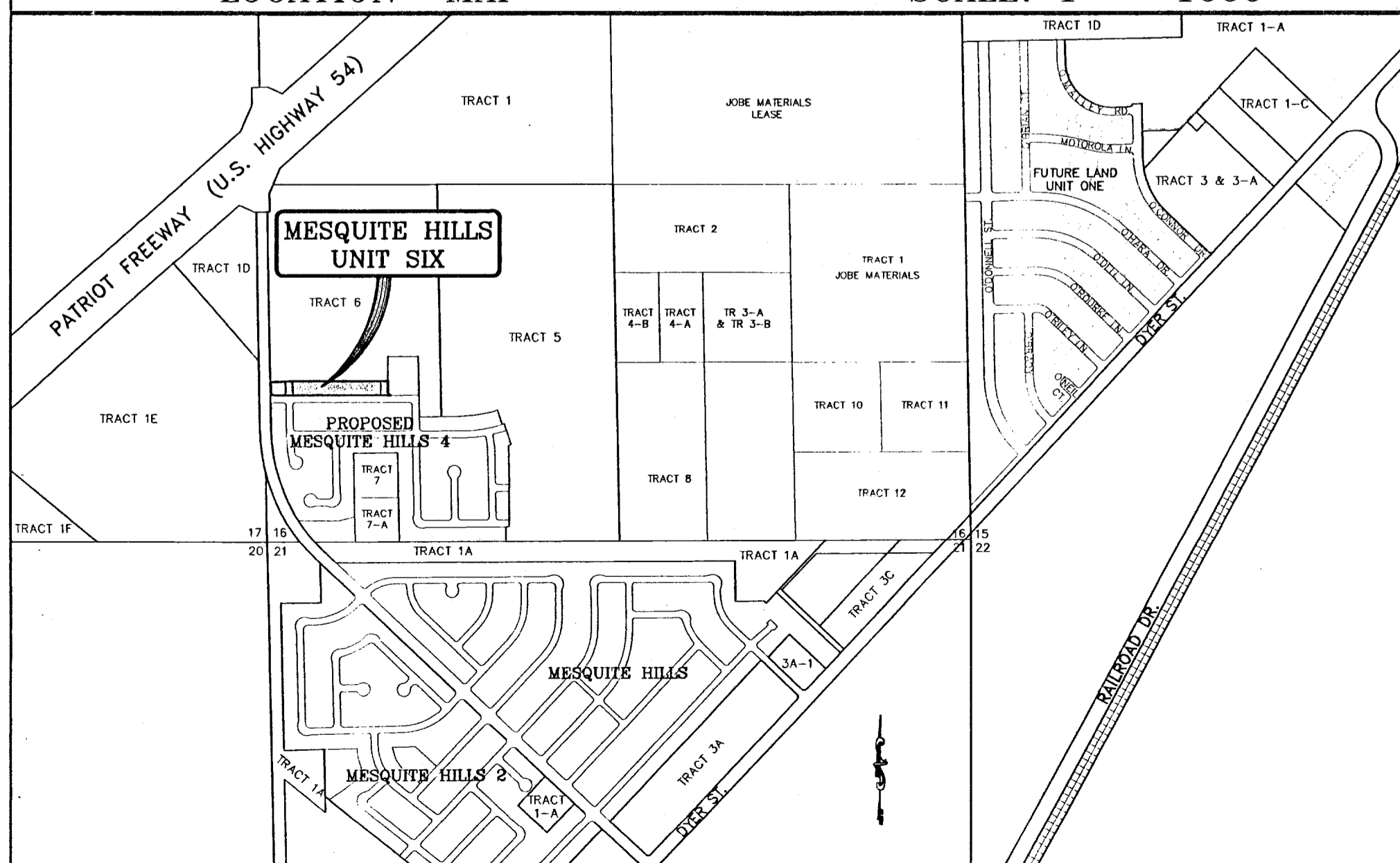
LOT CORNERS WILL BE SET UPON COMPLETION OF CONSTRUCTION OF ROADWAYS AND UTILITIES.

U.S. POSTAL SERVICE DELIVERY WILL BE PROVIDED THROUGH NEIGHBORHOOD DELIVERY AND COLLECTION BOX UNITS.

SET 1/2" REBAR WITH CAP MARKED TX 5152 AT ALL EXTERIOR BOUNDARY CORNERS UNLESS OTHERWISE NOTED.

ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 480214-00000, DATED JANUARY 3, 1997, PROPERTY IS IN FLOOD HAZARD ZONE C "AREAS OF MINIMAL FLOODING".

LOCATION MAP SCALE: 1" = 1000'



FINAL PLAT
To be considered by the City Plan Commission, Recommendations concerning this Plat must be filed by:

DEDICATION

NEWMAN RANCH PARTNERS, L.P., property owner of this land hereby present this plat and dedicate to the use of the public, the streets, and utility easements as hereon laid down and designated, including including easements for overhead of service wires for pole type utilities, and buried service wires, conduits and pipes for underground utilities, and the right to ingress and egress for service and construction and the right to trim interfering trees and shrubs.

Witness our signature this _____ day of _____, 2011.

NEWMAN RANCH PARTNERS, L.P.
BY: NEWMAN RANCH PARTNERS, L.L.C.
ITS GENERAL PARTNER

By: Douglas A. Schwartz, MANAGER

ATTEST: NOT REQUIRED

ACKNOWLEDGEMENT

STATE OF TEXAS
COUNTY OF EL PASO

Before me, the undersigned authority, on this day personally appeared Douglas A. Schwartz, Manager of NEWMAN RANCH PARTNERS L.L.C., GENERAL PARTNER OF NEWMAN RANCH PARTNERS, L.P., known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same as the act and deed of said partnership for the purpose and considerations herein expressed.

Given under my hand and seal of office this _____ day of _____, 2011.

Notary Public in and for El Paso County My Commission Expires _____

CITY PLAN COMMISSION

This subdivision is hereby approved as to the platting and as to the condition of the dedication in accordance with Chapter 212 of the Local Government Code of Texas this _____ day of _____, 2011.

Executive Secretary _____ Chairperson _____

Approved for filing this _____ day of _____, 2011.

City Engineer _____

FILING

Filed and recorded in the office of the County Clerk of El Paso County, Texas, this _____ day of _____, 2011, A.D. in File No. _____

County Clerk _____ By Deputy _____

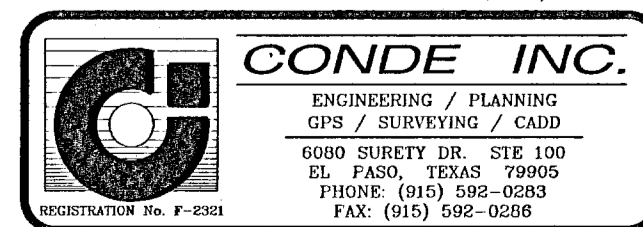
Prepared by and under the supervision of:
YVONNE CONDE CURRY, P.E.
Registered Professional Engineer
Registration No. 64848

This plat represents a survey made on the ground by me or under my supervision and complies with the current Texas Board of Professional Land Survey Professional and Technical Standards.

Yvonne Conde Curry, P.E.

Ron R. Conde,
Registered Professional Land Surveyor
Texas License No. 5152

DATE OF PREPARATION: DECEMBER 08, 2010



103174

GENERAL NOTES:

- IMPROVEMENT WITHIN CITY R.O.W. SHALL COMPLY WITH TITLE 19-SUBDIVISION ORDINANCE-"SUBDIVISION IMPROVEMENT DESIGN STANDARDS".
- CONTRACTOR SHALL PROVIDE TEMPORARY MEASURES FOR THE MANAGEMENT OF STORM WATER RUNOFF ENTERING, EXITING AND ON SITE DURING THE CONSTRUCTION. TEMPORARY BERM, DESILTING BASIN, CHECK DAMS, PIPING ETC. SHALL BE PROVIDED AS NECESSARY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION AND NOTIFICATION WITH ALL APPURTENANT UTILITY COMPANIES WHOSE LINES ARE WITHIN THE CONSTRUCTION CONTRACT AREA. THE CONTRACTOR SHALL NOTIFY UTILITY COMPANIES 48 HOURS PRIOR TO ANY CONSTRUCTION ON SITE. THE CONTRACTOR WILL BE RESPONSIBLE PHYSICALLY AND FINANCIALLY FOR ANY DISRUPTION TO SERVICE EITHER ON SITE OR OFF SITE DUE TO BREAKAGE OF UTILITY LINES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DATA SHOWN ON THE PLANS. IF DISCREPANCIES ARE FOUND THE CONTRACTOR SHALL NOTIFY THE OWNER OR ENGINEER IMMEDIATELY SO THAT PROPER CORRECTIONS CAN BE MADE.
- EQUIPMENT OF A CONDITION AND DESIGN SUFFICIENT TO ENSURE A THOROUGH AND WORKMANLIKE PROSECUTION OF THE PROJECT SHALL BE USED AT ALL TIMES.
- ALL ELEVATIONS ARE TO CITY DATUM UNLESS OTHERWISE NOTED.
- ALL WASTE MATERIALS INCLUDING EXCAVATION, CURBING, PAVEMENT, ETC. SHALL BE DISPOSED OF AS DESIGNATED BY THE OWNER OR HIS REPRESENTATIVE.
- THE CONTRACTOR SHALL NOTIFY THE OWNER, OR HIS REPRESENTATIVE, IN SUFFICIENT TIME IN ADVANCE OF DELIVERY OF MATERIALS TO BE SUPPLIED BY HIM UNDER THIS PROJECT, IN ORDER THAT THE OWNER MAY ARRANGE, IF DESIRED, INSPECTION AND TESTING FOR SAME.
- SAFE AND REASONABLE ACCESS FOR THIS SITE MUST BE MAINTAINED AT ALL TIMES DURING THE LIFE OF THE PROJECT.
- ANY CAVITY REMAINING OPEN DURING NONWORKING HOURS MUST BE GUARDED BY FLASHER TYPE BARRICADES WITH STRINGERS PLACED BETWEEN THE TOPS OF THE BARRICADES.
- DEVELOPER SHALL COMPLY WITH SECTION 13.08.170 "EXCESSIVE PAVING CUTS" AS PER EL PASO MUNICIPAL CODE.

GENERAL EARTHWORK NOTES:

- ALL GRADING SHALL CONFORM TO THE CITY OF EL PASO GRADING ORDINANCE SECTION 18.44.
- THE CONTRACTOR SHALL CARRY ON HIS WORK WITH SPECIAL CARE AT ALL TIMES TO MAINTAIN THE NATURAL SURROUNDINGS AND EXISTING STRUCTURES IN AN UNDAUNTED CONDITION.
- NATURAL SUBGRADES TO SUPPORT STRUCTURAL FILL OR PAVEMENTS SHOULD BE STRIPPED OF ALL VEGETATION OR ORGANIC TOPSOIL. THE EXPOSED SUBGRADE SHOULD BE SCARIFIED JUST PRIOR TO FILL PLACEMENT TO A MINIMUM DEPTH OF 6 INCHES AND RECOMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS PER ASTM D-1557. ALL BACKFILL MATERIAL TO BE PLACED IN HORIZONTAL LAYERS NOT TO EXCEED EIGHT (8) INCH LIFTS AND COMPACTED AS BEFORE.
- TEMPORARY DUST AND EROSION CONTROL MEASURES SHALL BE PROVIDED FOR AT ALL TIMES. SEE SHEET 4.
- ANY EROSION OF THE GRADED SITE DURING THE COURSE OF THE PROJECT SHALL BE CORRECTED PRIOR TO FINALIZATION OF THE PROJECT AT NO COST TO THE OWNER.
- ALL SLOPES AND SWALES WITHIN LOTS SHALL BE MAINTAINED BY LOT OWNER.

CONSTRUCTION NOTES:

- ALL CONCRETE FOR STRUCTURES SHALL BE 3000 P.S.I. UNLESS OTHERWISE NOTED.
- MINIMUM COVER FOR REINFORCING STEEL SHALL BE 2" UNLESS OTHERWISE NOTED.
- 95% COMPACTION REQUIRED FOR STRUCTURES AS PER ASTM D1557.
- REINFORCING SHALL CONFORM TO THE REQUIREMENTS OF ASTM A615 GRADE 60.
- RETAINING WALLS WILL BE REQUIRED WHERE THERE IS A GRADE DIFFERENCE OF 2 OR MORE FEET BETWEEN LOTS AND STREET. RETAINING WALL DESIGN AT TIME OF BUILDING PERMIT.

ROCKWALL NOTES:

- STONE FOR ROCKWALLS SHALL BE AS NEARLY UNIFORM IN SECTIONS AS IS PRACTICABLE. THE STONE SHALL BE DENSE AND RESISTANT TO AIR AND WATER.
- MORTAR MUST BE TYPE "S" 1800 P.S.I. AS PER ASTM C270.
- MASONRY WALLS OVER SIX (6) FEET IN HEIGHT AND THOSE USED FOR EARTH RETENTION OVER TWO (2) FEET MUST BE DESIGNED AS STRUCTURAL WALLS.
- WALLS ADJACENT TO PONDING AREAS OR DRAINAGE DITCHES MAY BE CONSTRUCTED OF BRICK, CINDER BLOCK, OR STONE AND SHALL NOT BE LESS THAN SIX (6) FEET HIGH.
- ROCKWALL MORTAR JOINTS MUST NOT EXCEED TWO (2) INCHES.
- PROVIDE ONE (1) INCH EXPANSION JOINTS AT EVERY 100 FEET.
- ALL STONE SHALL BE THOROUGHLY SOAKED BEFORE BEING PLACED.
- NO RIVER ROCK SHALL BE ALLOWED.

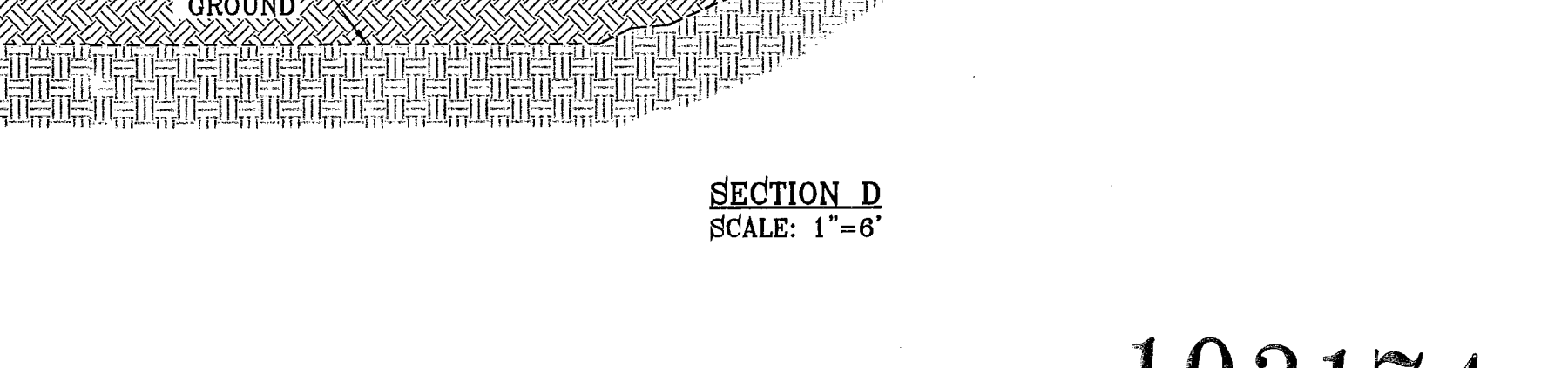
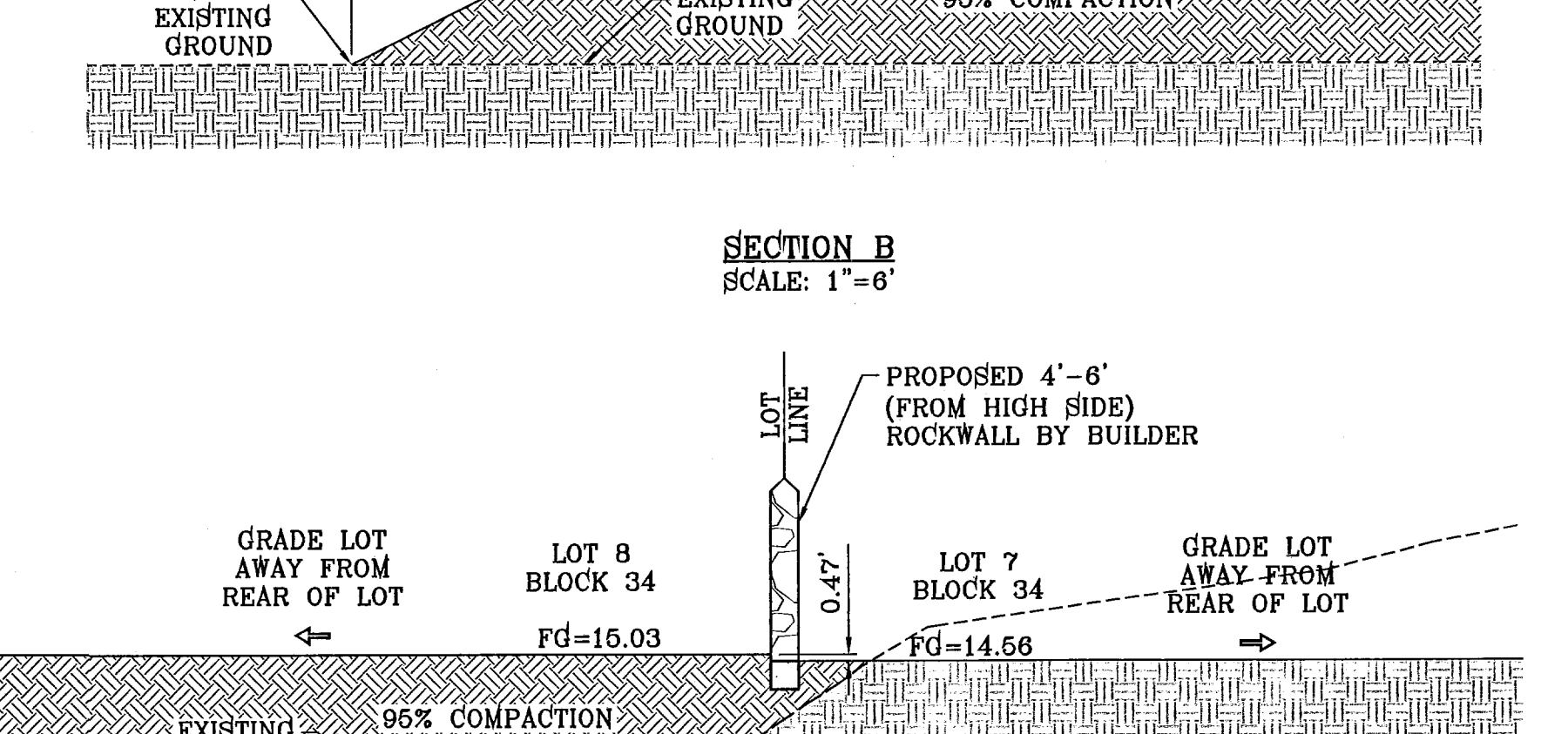
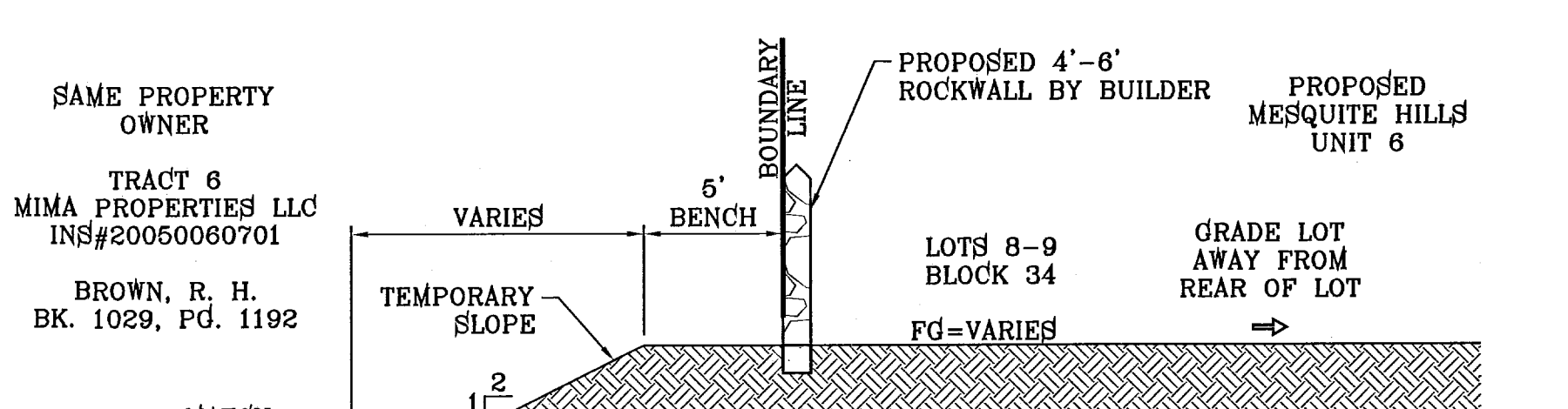
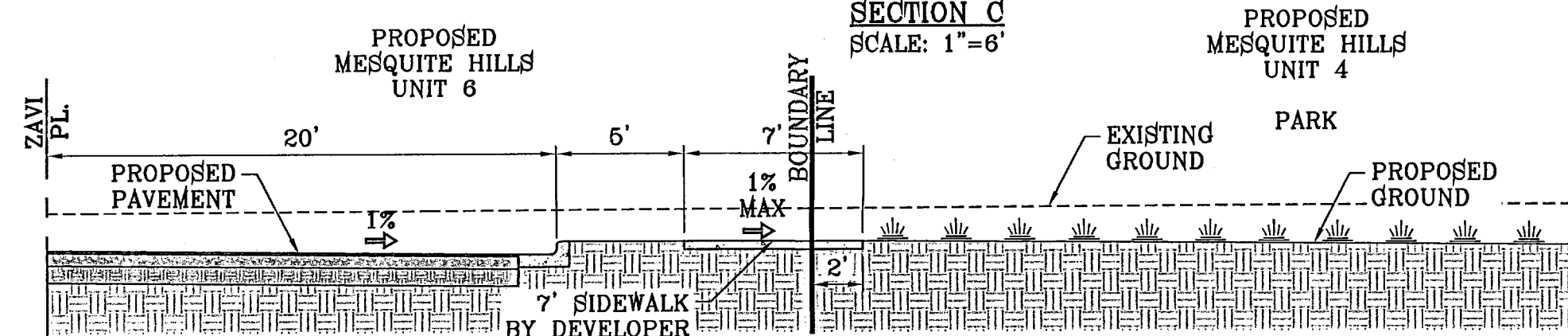
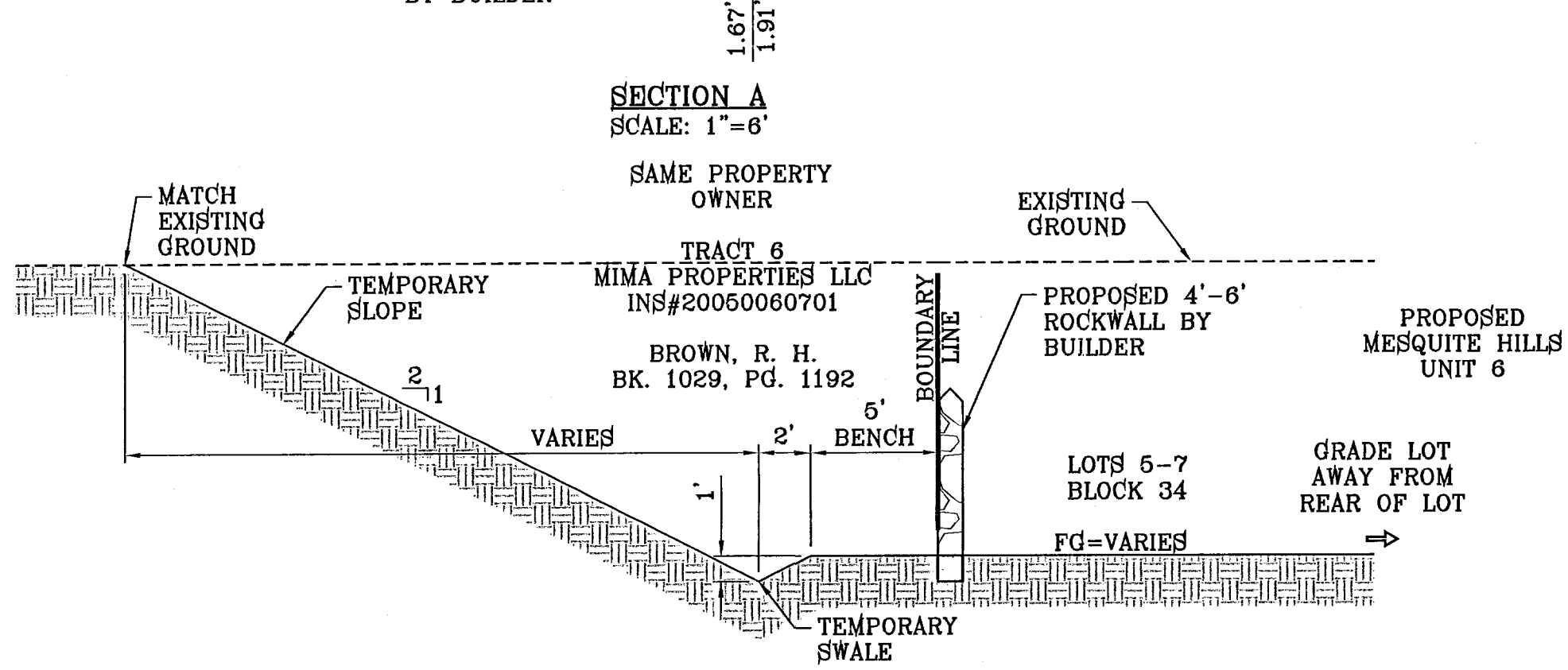
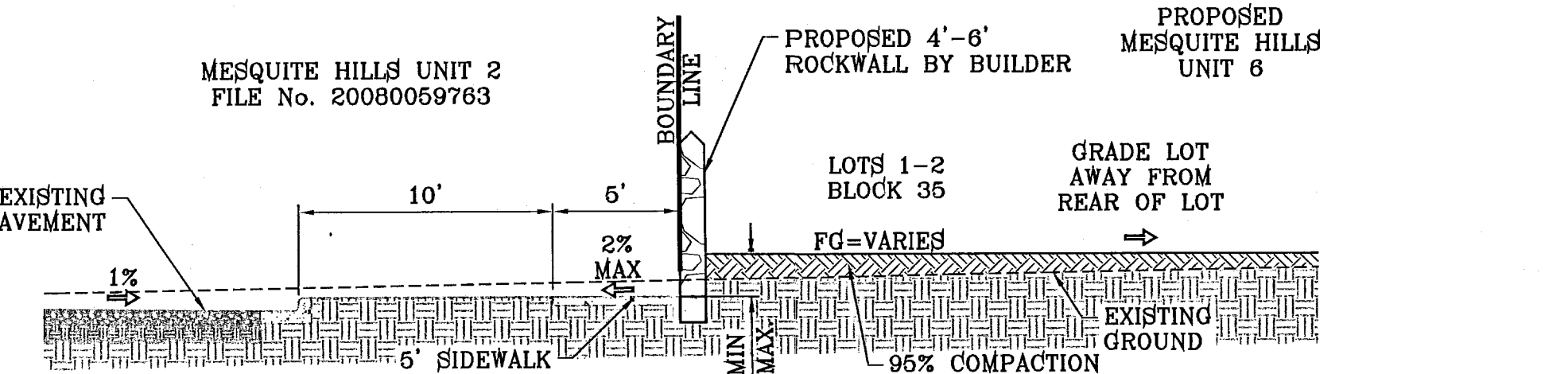
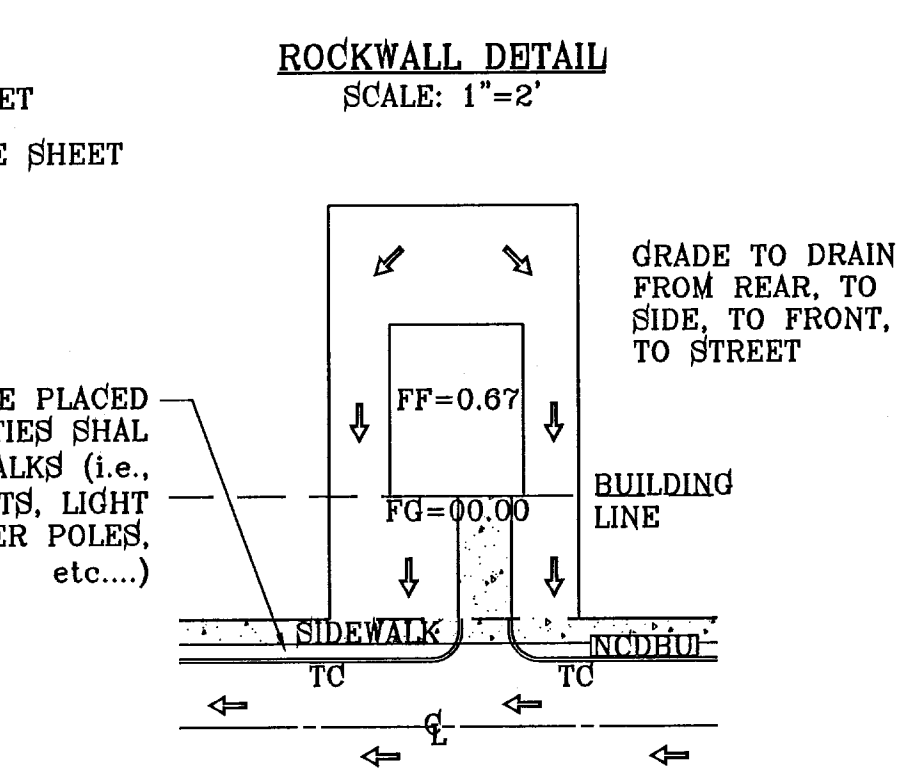
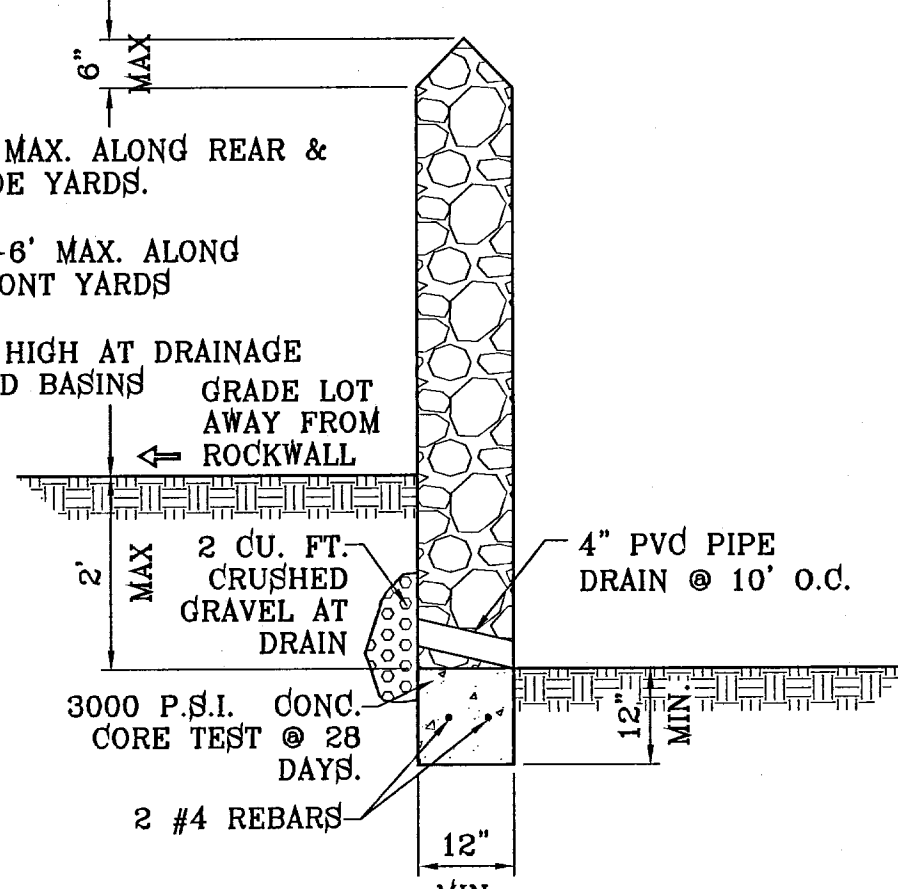
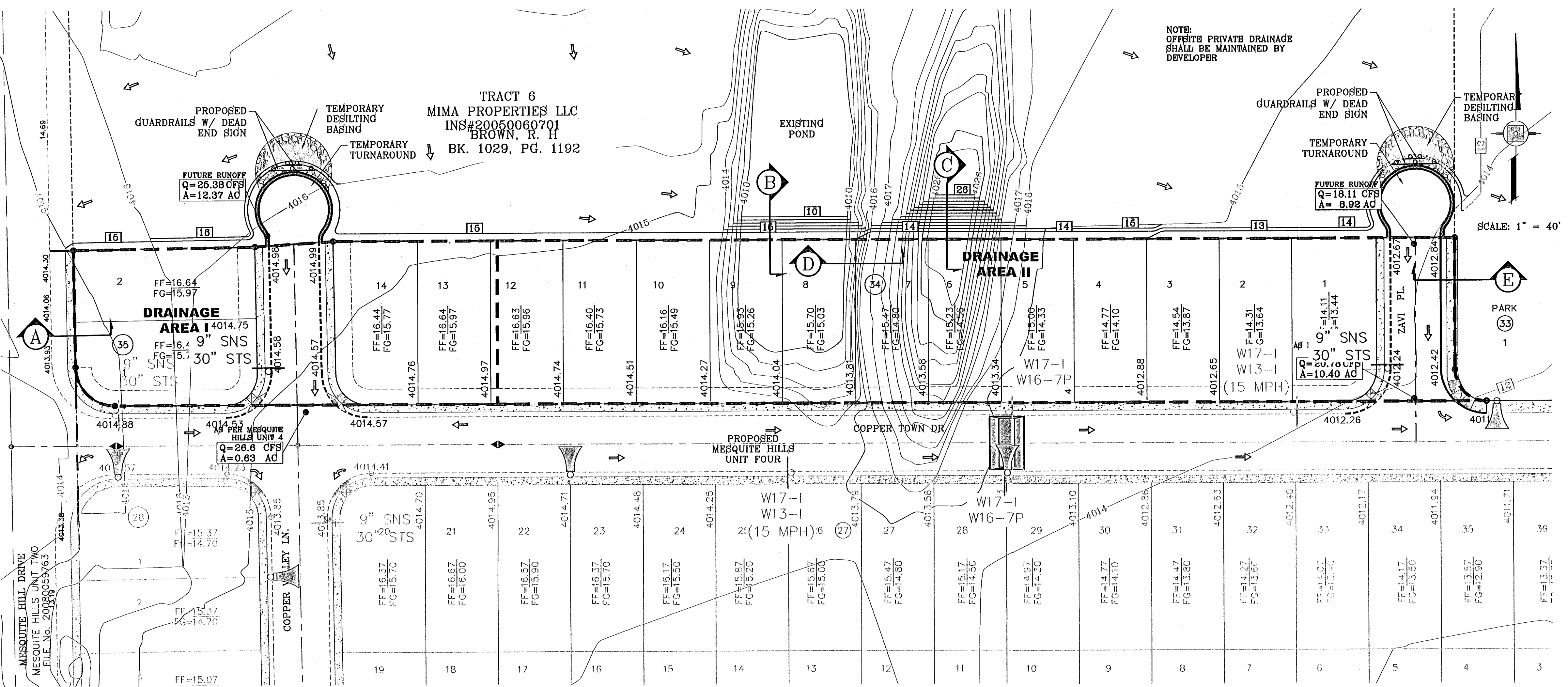
LEGEND

FF=0.67 PROPOSED FINISH FLOOR
 FG=00.00 PROPOSED FINISH GROUND
 00.00 PROPOSED SPOT ELEVATION
 4000 EXISTING CONTOUR
 4200 EXISTING SPOT ELEVATION
 4000 PROPOSED CONTOUR
 PROPOSED ROCK WALL
 PROPOSED RETAINING WALL
 HIGH POINT
 LOW POINT
 Q RUN-OFF QUANTITY (CUBIC Ft/Sec)
 A WATERSHED AREA (ACRES)
 DRAINAGE FLOW
 PROPOSED DRAINAGE AREA

FLOOD ZONE:

HEREON DESCRIBED TRACT LIES IN FLOOD ZONE C, COMMUNITY PANEL NO. 480214 0009D & PANEL NO. 480214 0015D SEPTEMBER 3, 1997

DRAINAGE AREA	AREA (acres)	T _C (min)	C	I ₁₀ (in/hr)	Q ₁₀ CFS
I	0.63	21	0.68	2.85	1.22
II	1.48	20	0.62	2.91	2.67



BENCHMARK

DATE	REVISIONS	BY

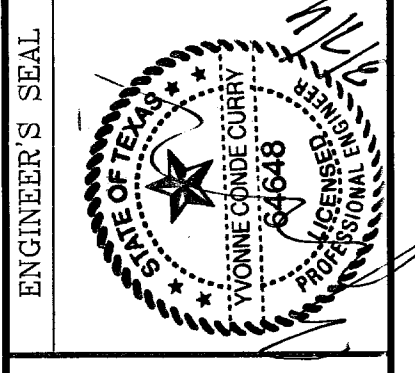
CITY MONUMENT AT THE CENTERLINE POINT OF CURVE
 CENTERLINE ON MESQUITE HILLS DR. AT STATION 4+00.86
 ELEVATION 4607.26CITY DATUM

PROJECT NAME
MESQUITE HILLS UNIT 6

BRING A PORTION OF TRACT 6, SECTION 16, BLOCK 80,
 TOWNSHIP 1, TEXAS AND PACIFIC RAILROAD CO. SURVEYS,
 CITY OF EL PASO, EL PASO COUNTY, TEXAS
 CONTAINING 2.1092 ACRES

SCALE
 HORIZ: 1" = 40'
 VERT: ---

DATE: JANUARY 2011
 DESIGN BY: Y.C.
 INITIATED BY: .O.M.
 CHECKED BY: Y.C.
 JOB NO.: 1210-18

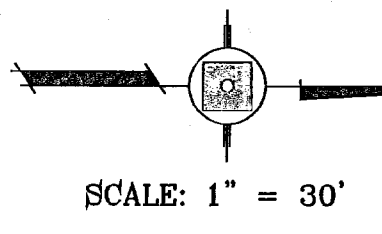
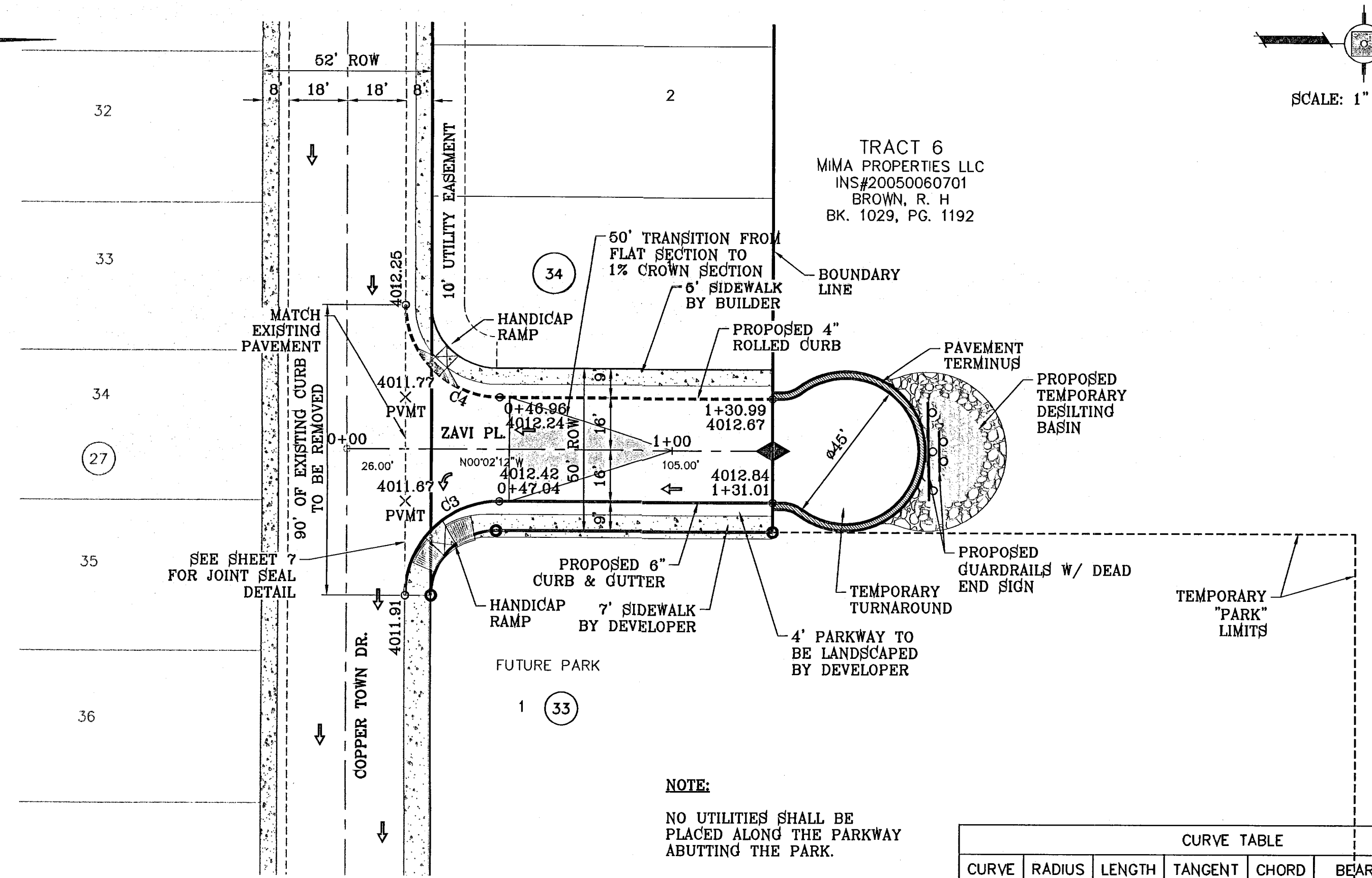
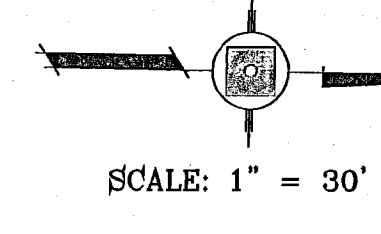
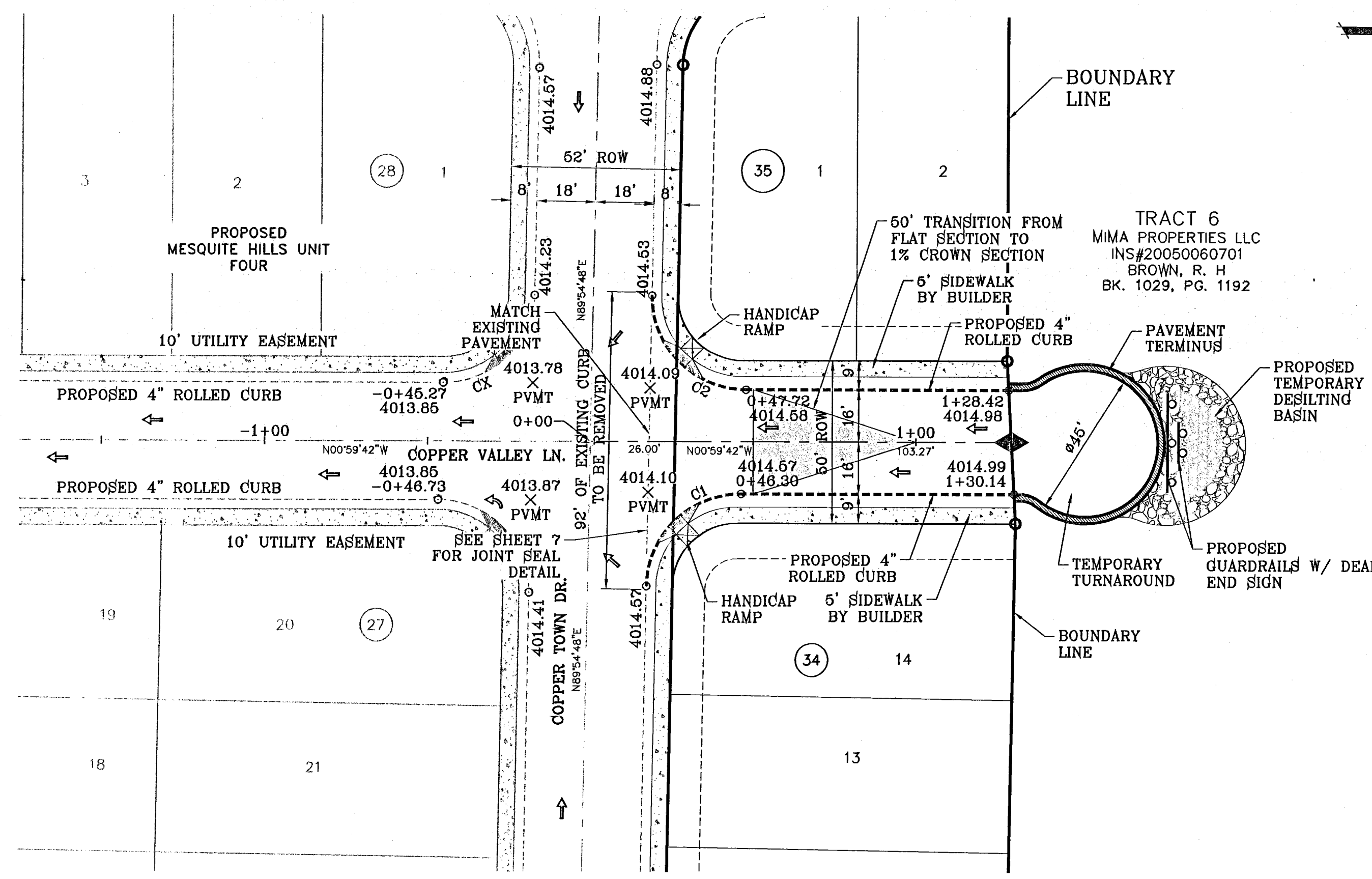


CONDE INC.
 ENGINEERING / PLANNING
 SURVEYING / GPS
 6080 SURETY DR. STE 100
 EL PASO, TEXAS 79905
 PHONE: (915) 592-0283
 FAX: (915) 592-0286

ENGINEER'S SEAL
 YOUNG CONDE INC.
 REGISTRATION No. F-3321

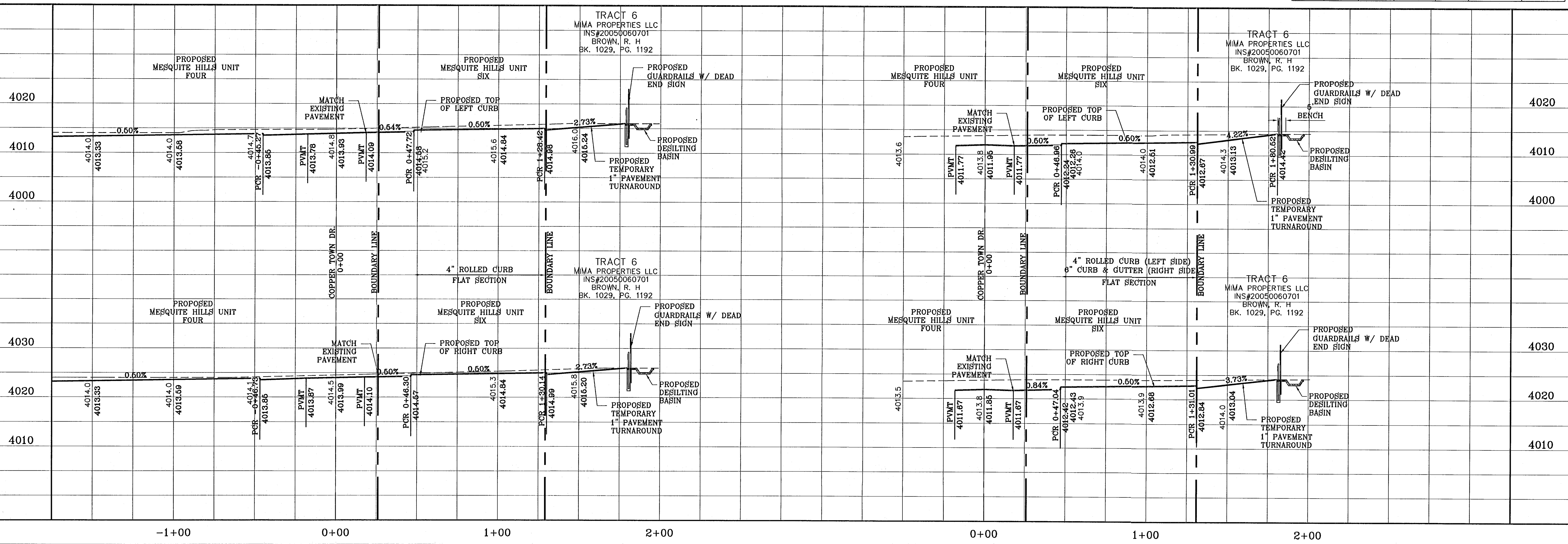
SHEET TITLE
GRADING AND DRAINAGE PLAN

FILE LOCATION: E:_Stations\MESQUITE HILLS 6\MHG-COPPER VALLEY PLOTTED ON Monday, March 07, 2011 2:53:48 PM BY RUBEN RIVERA



NOTE:
NO UTILITIES SHALL BE PLACED ALONG THE PARKWAY ABUTTING THE PARK.

CURVE TABLE						
CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C1	29.00'	45.09'	28.54'	40.69'	S45°32'27"E	89°05'30"
C2	29.00'	46.01'	29.46'	41.34'	N44°27'33"E	90°54'30"
C3	29.00'	45.58'	29.03'	41.03'	S45°03'42"E	90°03'00"
C4	29.00'	45.53'	28.97'	40.99'	N44°56'18"E	89°57'00"



SCALE
HORIZ: 1" = 30'
VERT: 1" = 10'

ENGINEER'S SEAL
STATE OF TEXAS
CONDE INC. 64648
DESIGN BY: Y.C.
DATE: JANUARY 2011
INITIATED BY: O.M.
CHECKED BY: Y.C.
JOB NO.: 1210-18

CONDE INC.
ENGINEERING / PLANNING
SURVEYING / GPS
6080 SURETY DR. STE 100
EL PASO, TEXAS 79905
PHONE: (915) 592-0283
FAX: (915) 592-0286

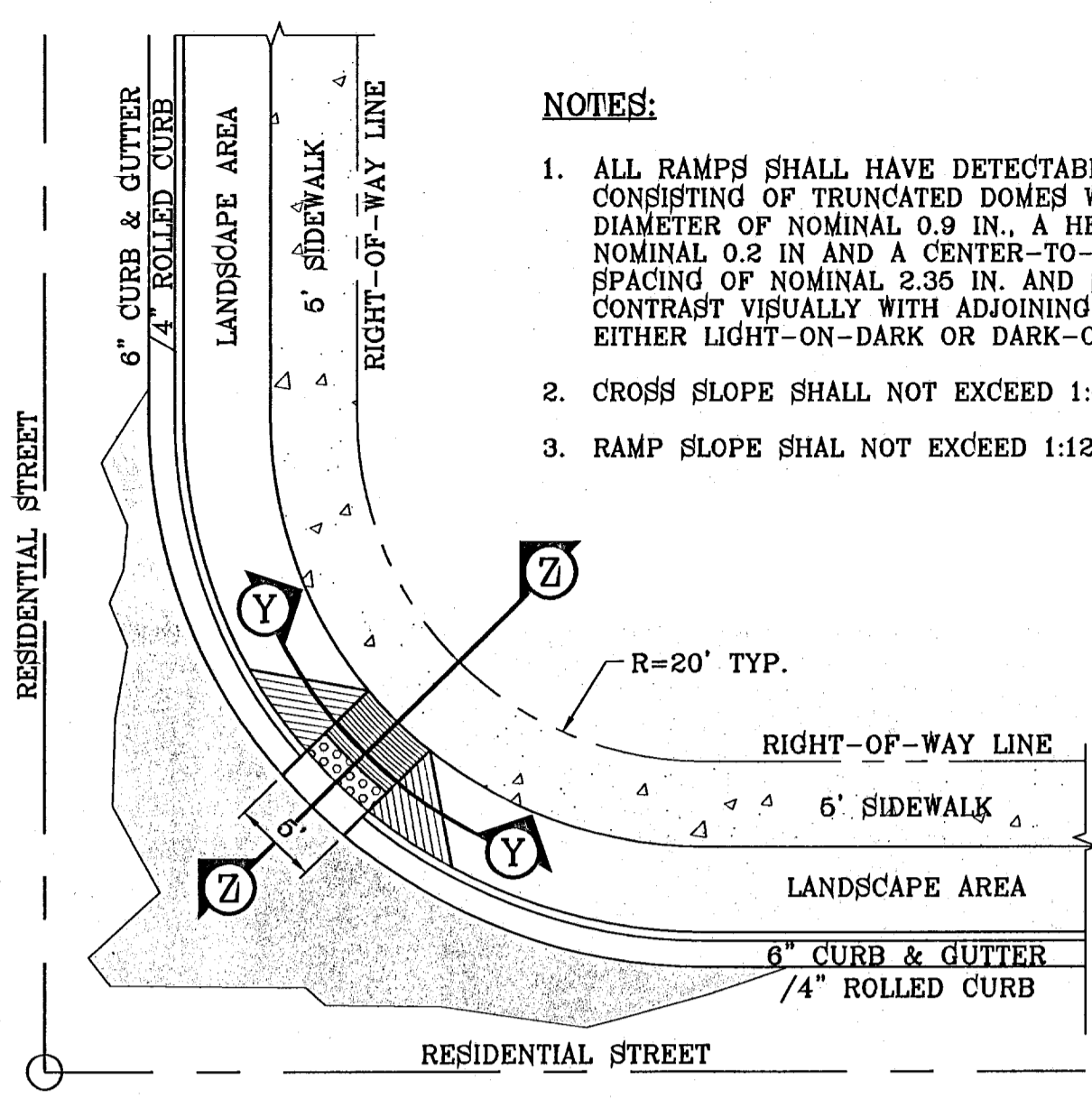
SHEET TITLE
STREET
PLAN - PROFILE
COPPER VALLEY LN. & ZAVI PL.

BENCHMARK
CITY MONUMENT AT THE CENTERLINE POINT OF CURVE
CENTERLINE ON MESQUITE HILLS DR. AT STATION 1+86
ELEVATION 4007.28
DATE
REVISIONS

PROJECT NAME
MESQUITE HILLS UNIT 6
BEING A PORTION OF TRACT 6, SECTION 16, BLOCK 80,
TOWNSHIP 10S, RANGE 13E, COUNTY EL PASO, TEXAS,
CITY OF EL PASO, EL PASO COUNTY, TEXAS
CONTAINING: 2.1092 ACRES

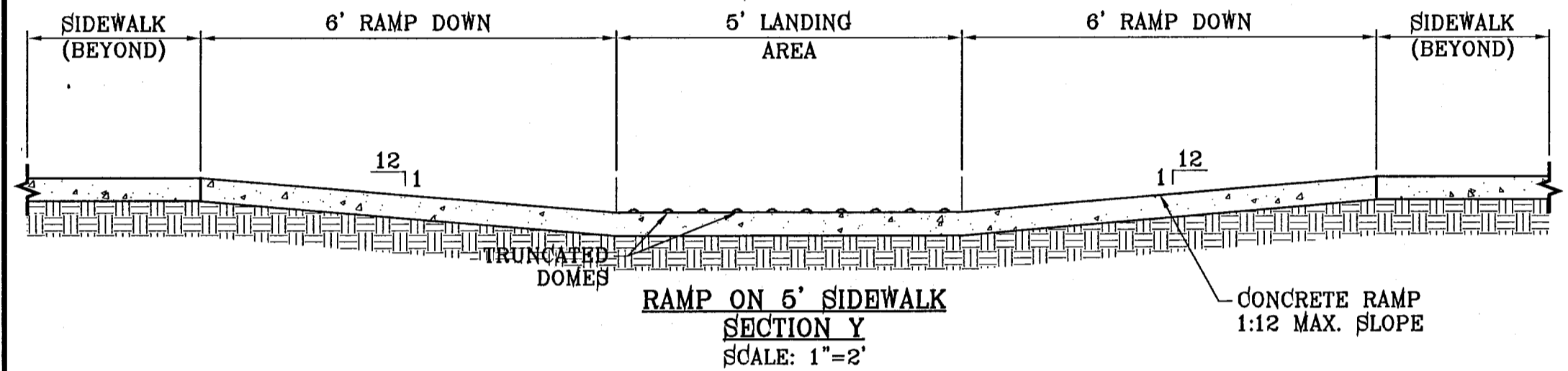
103174

FILE LOCATION: Subdivisions\MESQUITE HILLS 6\MHG-STD_DET PLOTTED ON Monday, March 07, 2011 2:54:36 PM BY RUBEN RIVERA

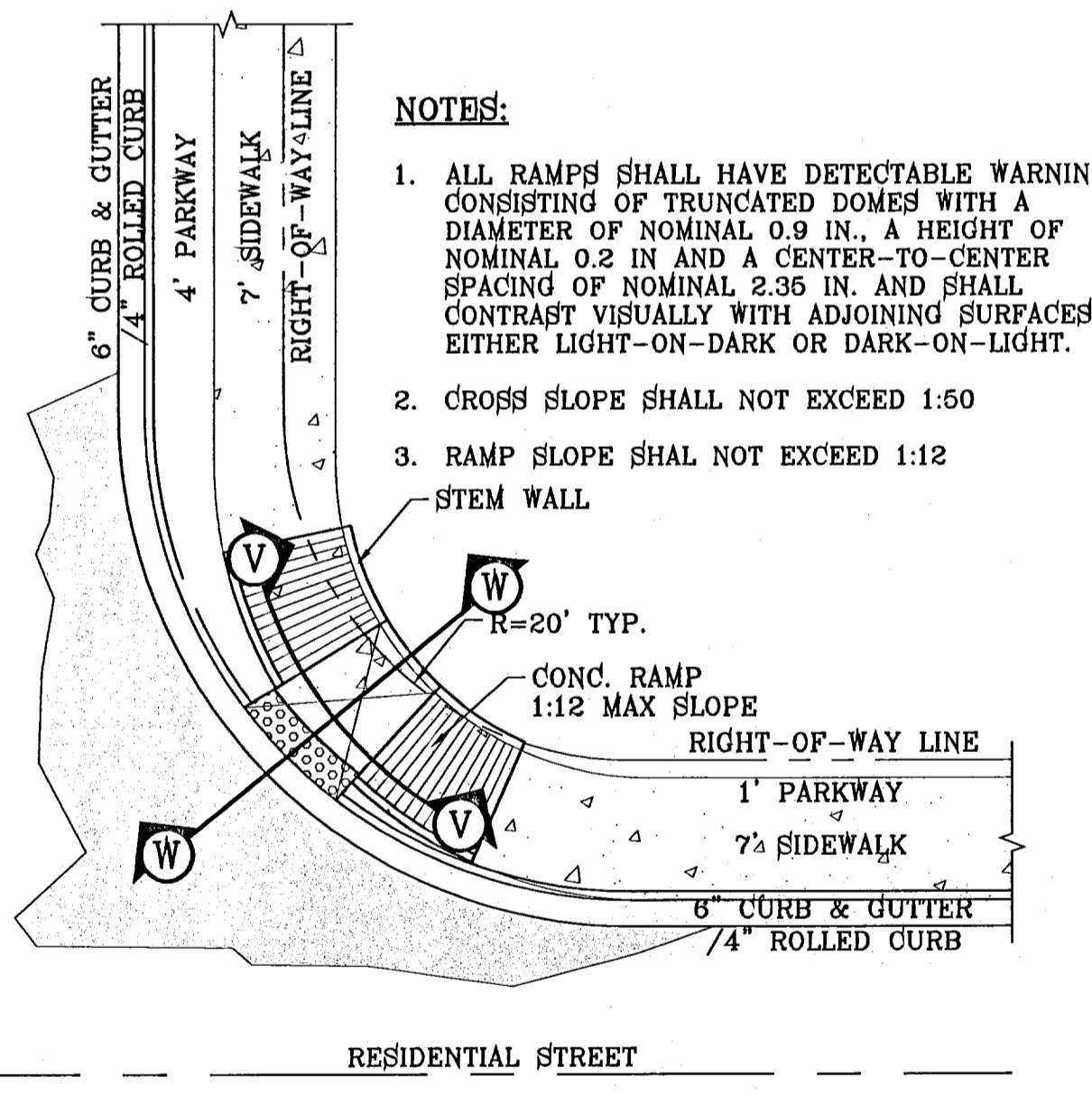


- NOTES:**
1. ALL RAMP SHALL HAVE DETECTABLE WARNINGS CONSISTING OF TRUNCATED DOMES WITH A DIAMETER OF NOMINAL 0.9 IN., A HEIGHT OF NOMINAL 0.2 IN AND A CENTER-TO-CENTER SPACING OF NOMINAL 2.35 IN. AND SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES, EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT.
 2. CROSS SLOPE SHALL NOT EXCEED 1:50
 3. RAMP SLOPE SHALL NOT EXCEED 1:12

RAMP ON SIDEWALK AT CURB & GUTTER/ROLLED CURB
SCALE: 1"=10'

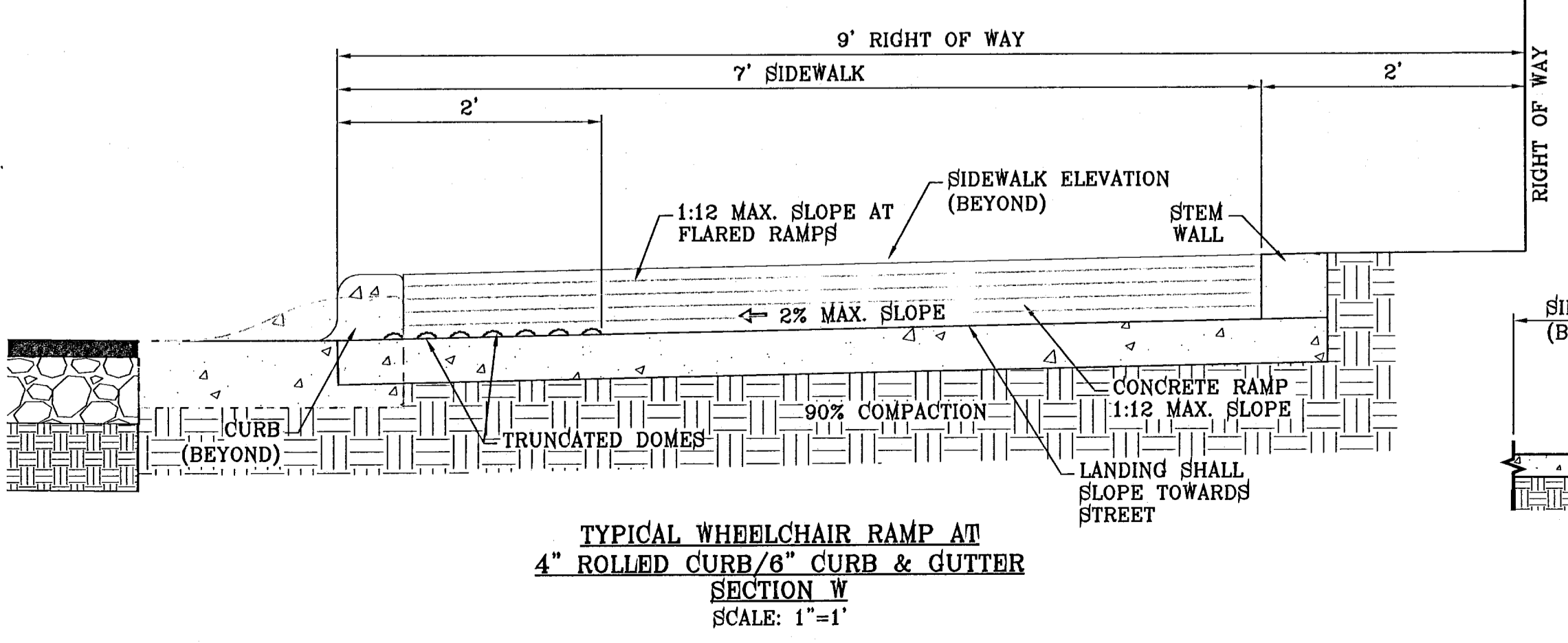


RAMP ON 5' SIDEWALK SECTION Y
SCALE: 1"=2'

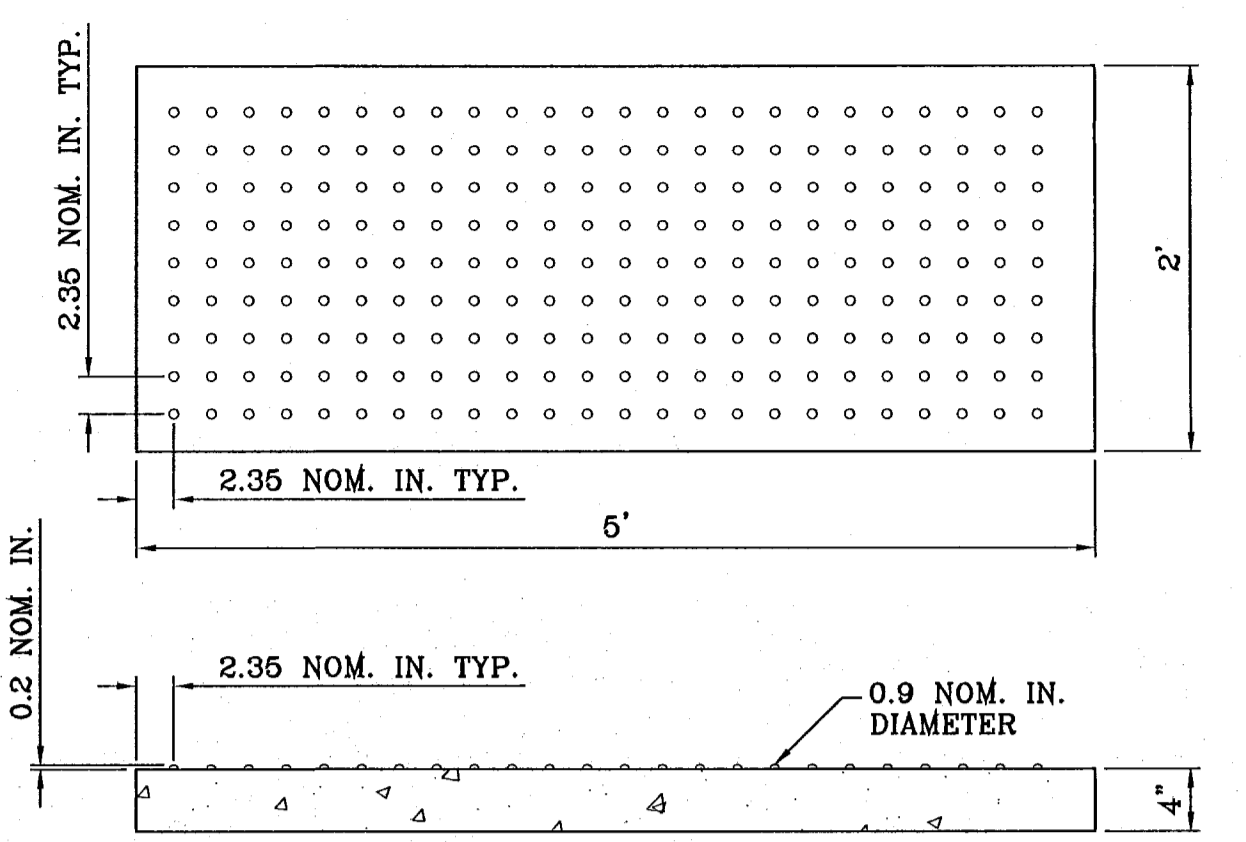


- NOTES:**
1. ALL RAMP SHALL HAVE DETECTABLE WARNINGS CONSISTING OF TRUNCATED DOMES WITH A DIAMETER OF NOMINAL 0.9 IN., A HEIGHT OF NOMINAL 0.2 IN AND A CENTER-TO-CENTER SPACING OF NOMINAL 2.35 IN. AND SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES, EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT.
 2. CROSS SLOPE SHALL NOT EXCEED 1:50
 3. RAMP SLOPE SHALL NOT EXCEED 1:12

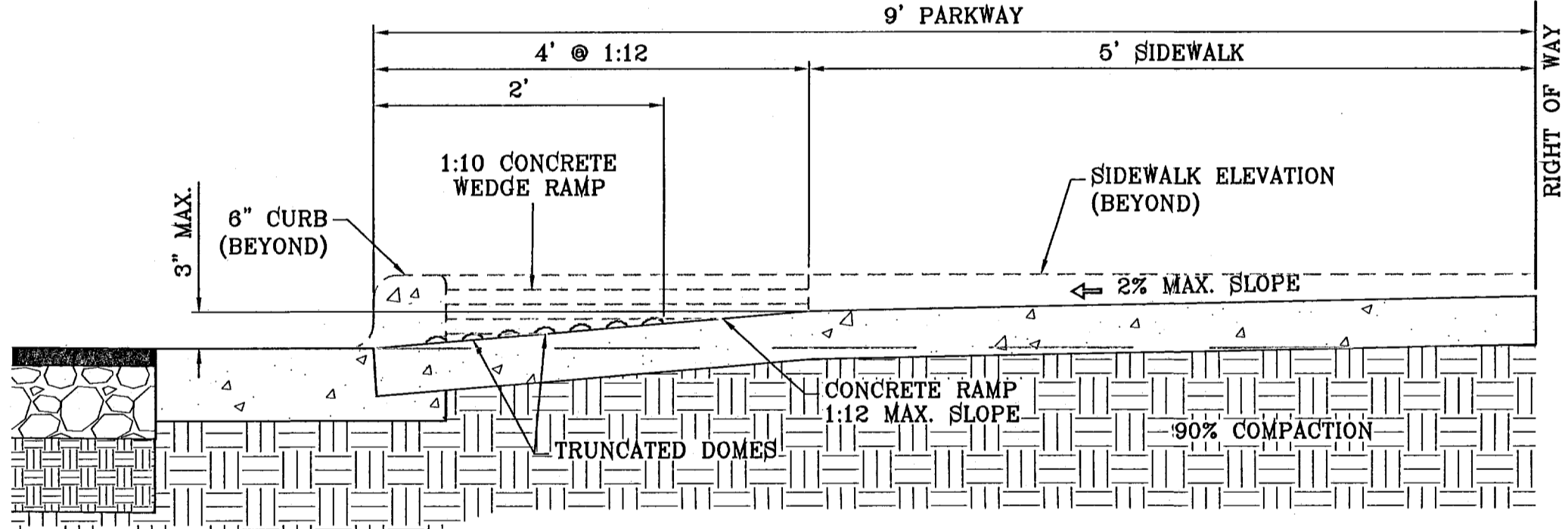
RAMP ON 7' SIDEWALK AT CURB & GUTTER/ROLLED CURB
SCALE: 1"=10'



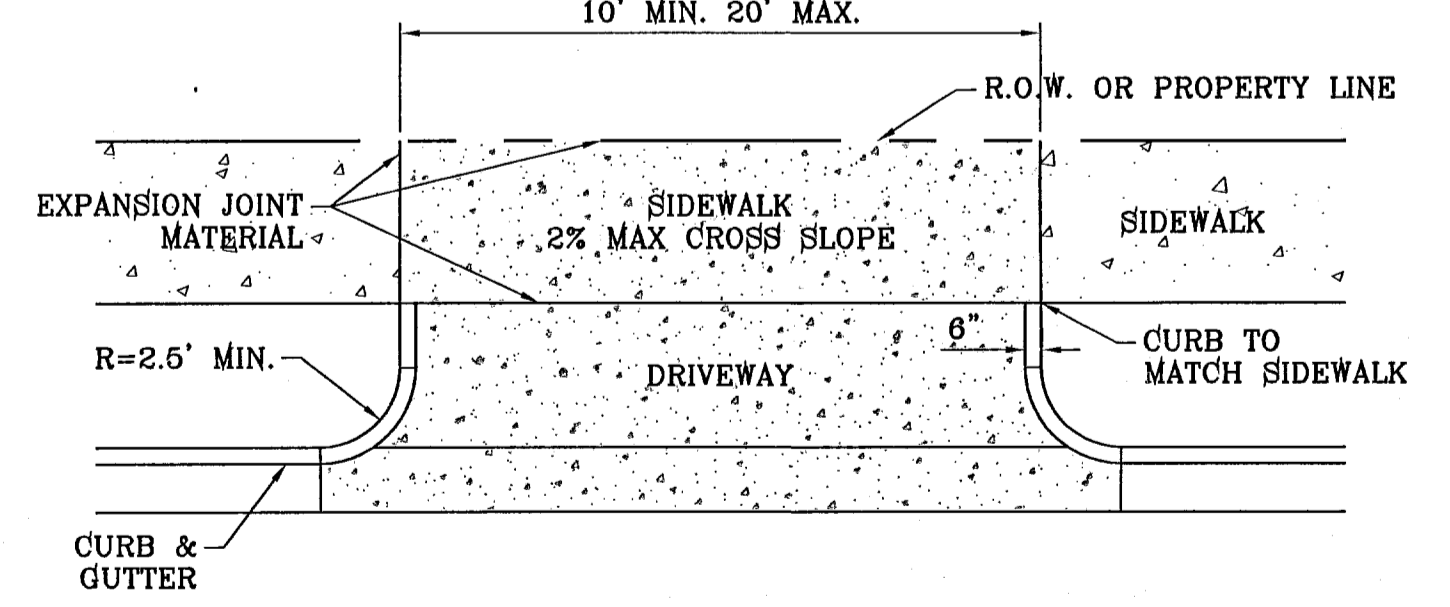
TYPICAL WHEELCHAIR RAMP AT 4" ROLLED CURB/6" CURB & GUTTER
SECTION W
SCALE: 1"=1'



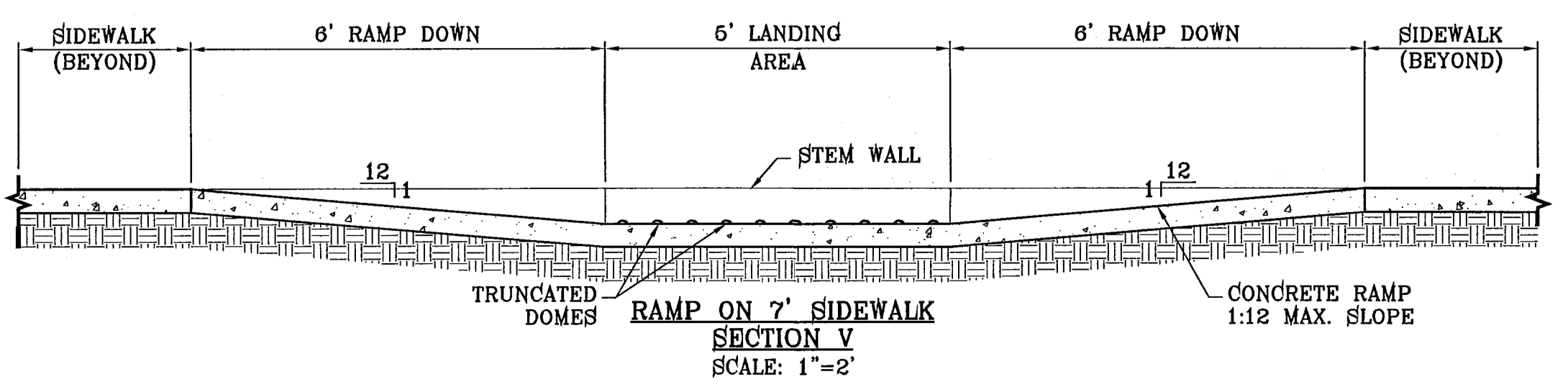
TRUNCATED DOMES
SCALE: 1"=1'



TYPICAL WHEELCHAIR RAMP AT 6" CURB & GUTTER
SECTION Z
SCALE: 1"=1'

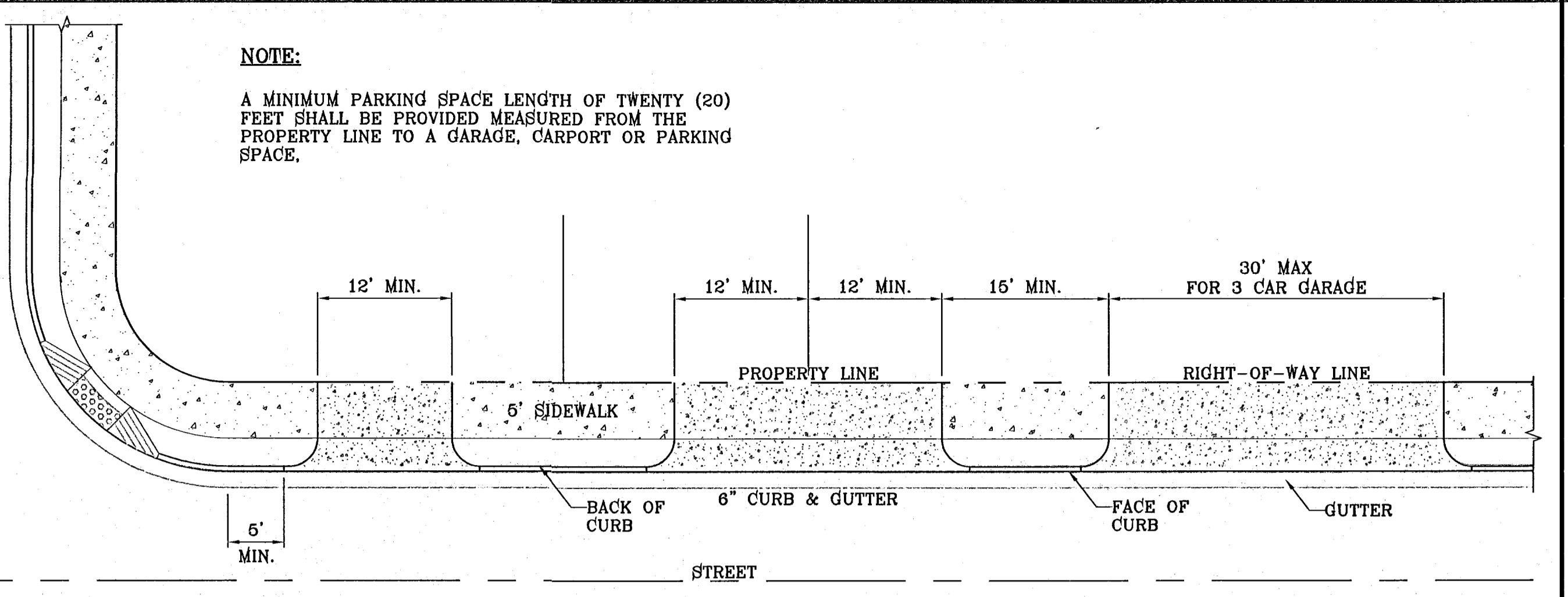


RESIDENTIAL DRIVEWAY DETAIL
SCALE: 1"=8'



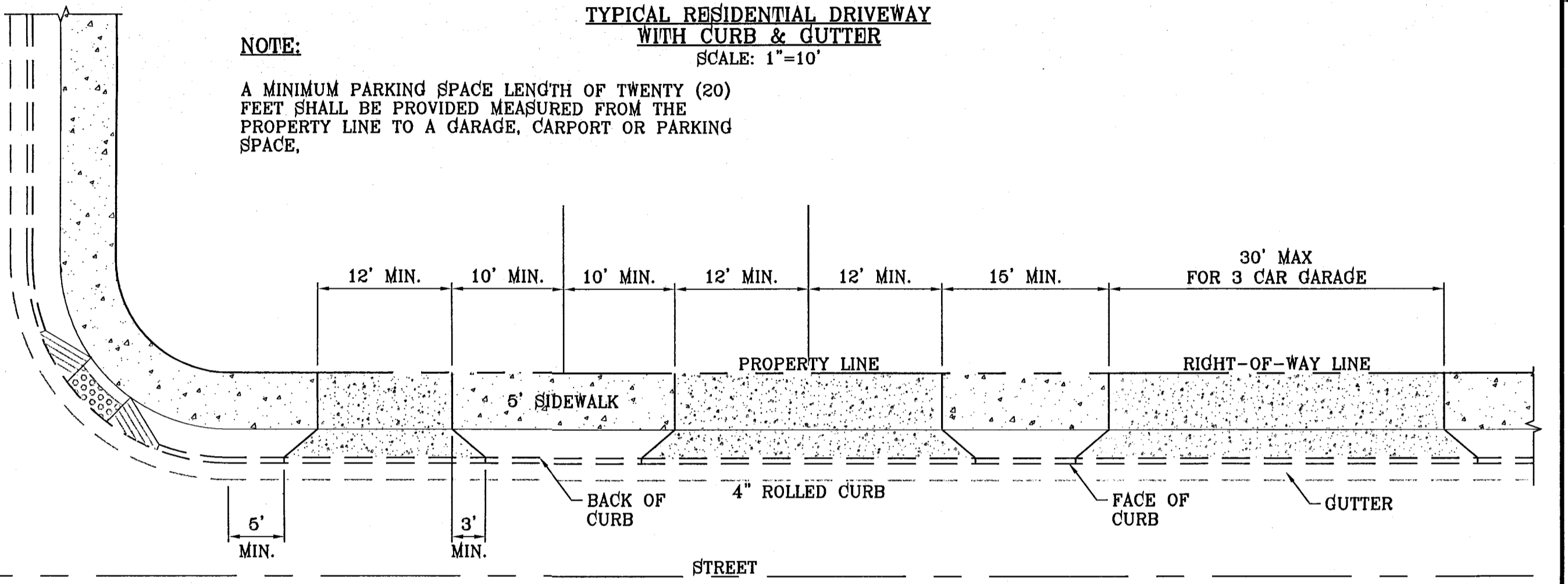
RAMP ON 7' SIDEWALK SECTION V
SCALE: 1"=2'

NOTE:
A MINIMUM PARKING SPACE LENGTH OF TWENTY (20) FEET SHALL BE PROVIDED MEASURED FROM THE PROPERTY LINE TO A GARAGE, CARPORT OR PARKING SPACE.

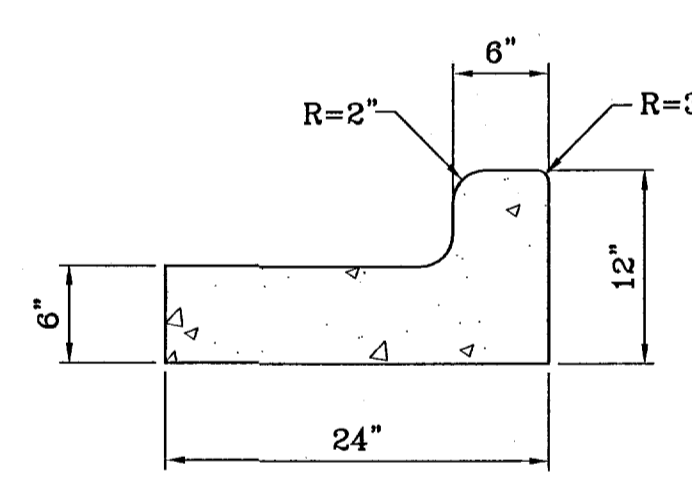


TYPICAL RESIDENTIAL DRIVEWAY WITH CURB & GUTTER
SCALE: 1"=10'

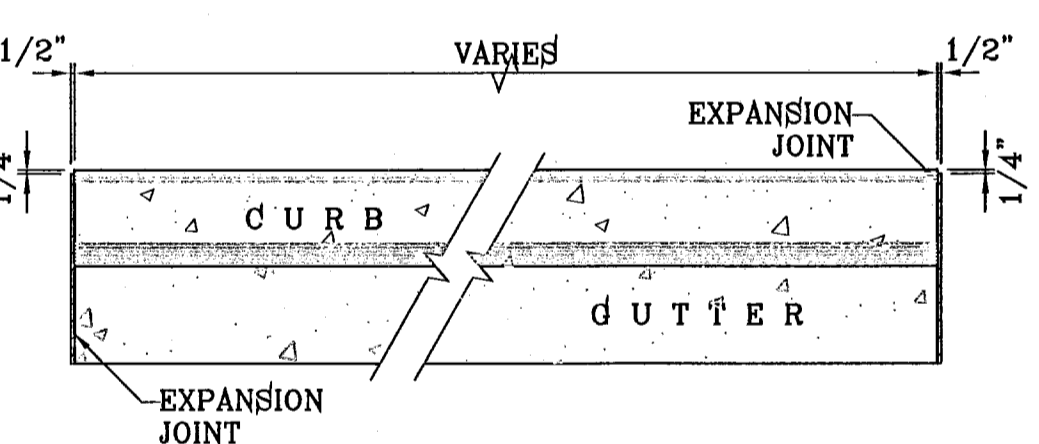
NOTE:
A MINIMUM PARKING SPACE LENGTH OF TWENTY (20) FEET SHALL BE PROVIDED MEASURED FROM THE PROPERTY LINE TO A GARAGE, CARPORT OR PARKING SPACE.



TYPICAL RESIDENTIAL DRIVEWAY WITH ROLLED CURB
SCALE: 1"=10'



END SECTION

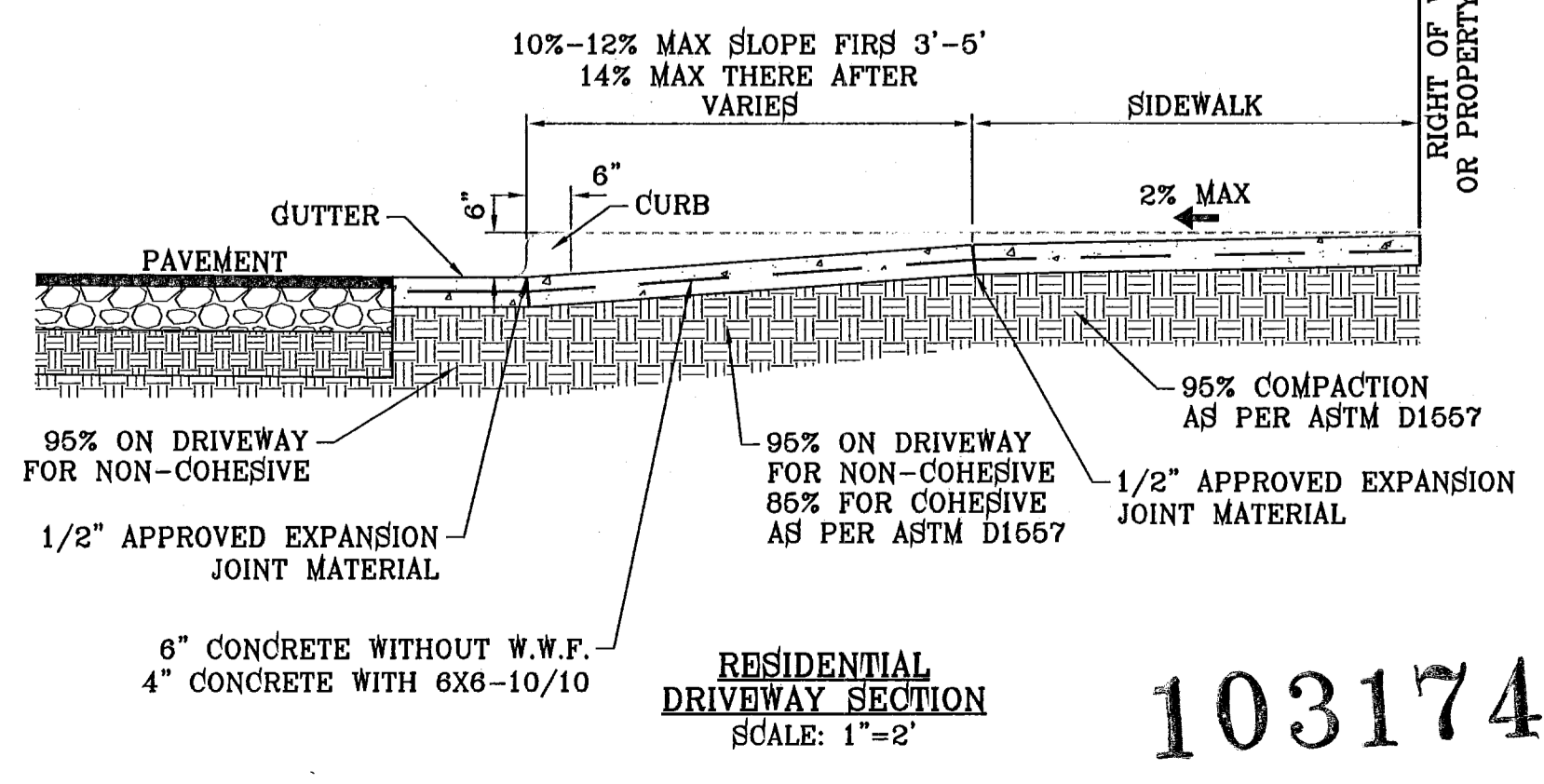


PLAN VIEW

NOTES:

1. NO EXPANSION JOINT WILL BE REQUIRED EXCEPT AT THE END OF CURB RETURNS. (POINT OF TANGENCY WITH STRAIGHT LINE).
2. CONTRACTION JOINTS (1/2" INCH MIN.) MUST BE SCORD EVERY 10 FEET IN CURB AND GUTTER.
3. ALL EXPANSION JOINTS WILL BE OF PREFORMED BITUMINOUS FIBER 1/2" INCH THICK.
4. CONCRETE: CLASS "A" 3000 PSI.
5. EXPANSION JOINTS REQUIRED AT 5' O.D. WHEN FORMING FOR CURBS.

CURB & GUTTER DETAIL
SCALE: 1"=1'



RESIDENTIAL DRIVEWAY SECTION
SCALE: 1"=2'

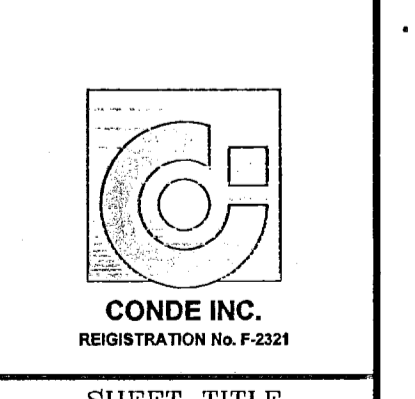
103174
MESQUITE HILLS UNIT 6

BENCHMARK	
CITY MONUMENT AT THE CENTERLINE POINT OF CURVE	
CENTERLINE ON MESQUITE HILLS DR. AT STATION 1+00.88	
ELEVATION 4007.28	
DATE	
REVISIONS	
BY	

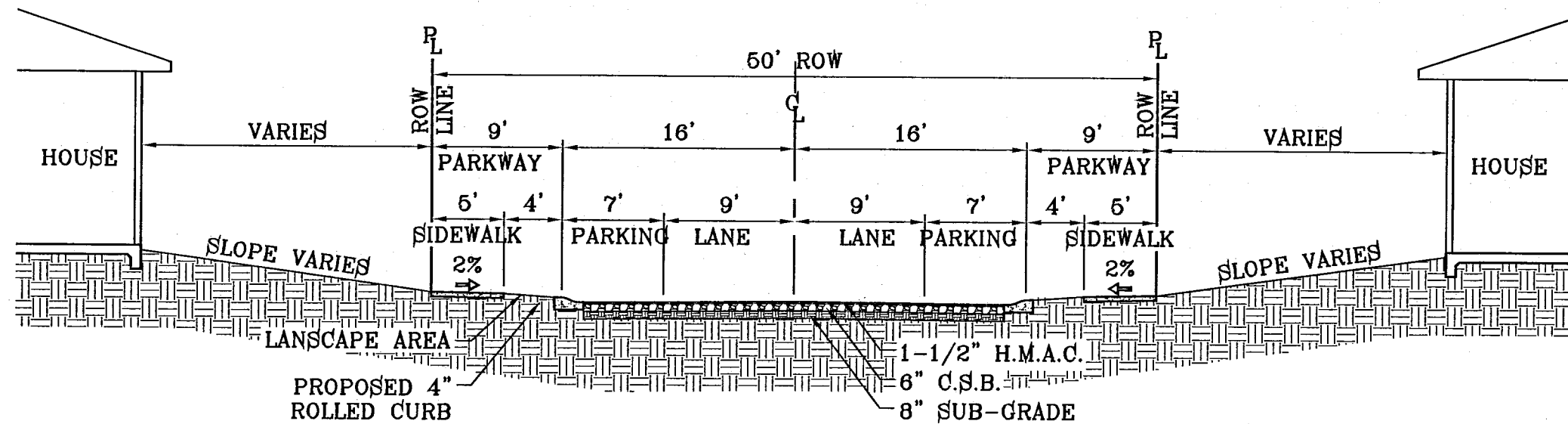
MESQUITE HILLS UNIT 6
BEING A PORTION OF TRACT 6, SECTION 16, BLOCK 80,
TOWNSHIP 1 N, RANGE 10 E, PLANO COUNTY, TEXAS.
CITY OF EL PASO, TEXAS
CONTAINING: 2.1082 ACRES

SCALE
HORIZ. AS NOTED
VERT. ---
DATE: JANUARY 2011
DESIGN BY: Y.C.
INITIATED BY: O.M.
CHECKED BY: Y.C.
JOB NO.: 1210-18

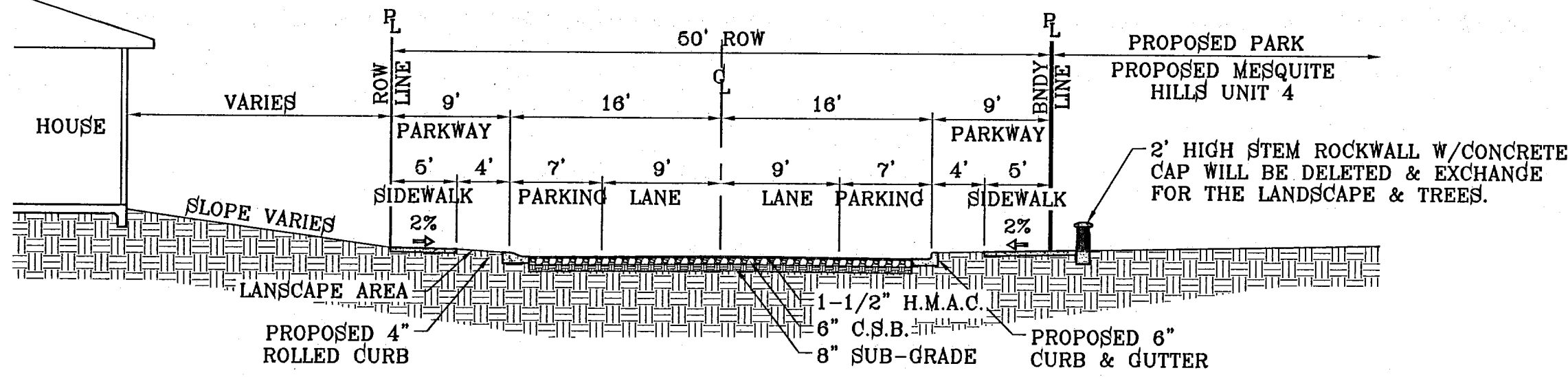
CONDE INC.
ENGINEERING / PLANNING
SURVEYING / GPS
6080 SURETY DR. STE 100
EL PASO, TEXAS 79905
PHONE: (915) 592-0283
FAX: (915) 592-0286



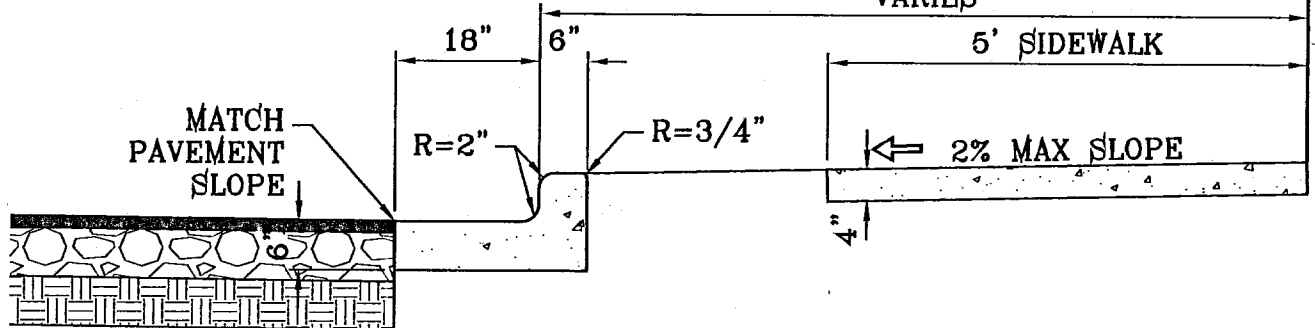
STANDARD DETAILS
SHT 6 OF 7



50' R.O.W.
COPPER VALLEY LN.
SCALE: 1"=10'



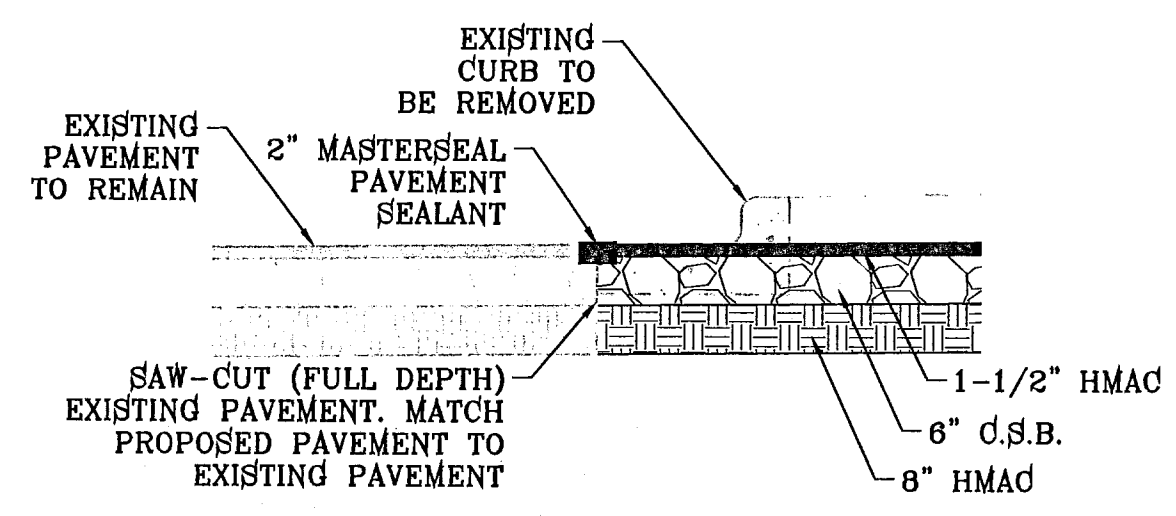
50' R.O.W.
ZAVI PL.
SCALE: 1"=10'



NOTES:

1. CONCRETE SHALL BE 3000 P.S.I. MINIMUM.
2. DUMMY JOINTS REQUIRED AT 10' O.C. FOR CURB/GUTTER AND 6' O.C. FOR SIDEWALK.
3. EXPANSION MATERIAL REQUIRED AT CURB RETURNS WITH 1/2" PREMOLDED ASPHALT IMPREGNATED EXPANSION MATERIAL OR EQUAL.
4. EXPANSION JOINTS REQUIRED AT 60' O.C. WHEN FORMING FOR CURBS.
5. WHENEVER SIDEWALK ABUTS ROCK OR MASONRY STRUCTURES SUCH AS CURBS OR BUILDINGS, EXPANSION JOINT FILLER SHALL BE USED IN ACCORDANCE WITH STANDARD SPECIFICATIONS.

CURB & GUTTER AND
SIDEWALK DETAIL
SCALE: 1"=2'

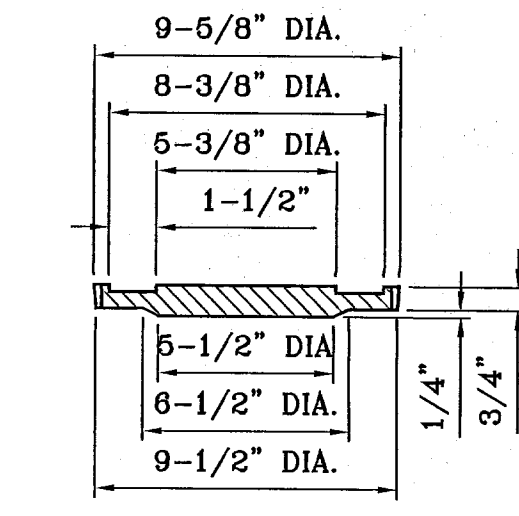


PAVEMENT JOINT
SEAL DETAIL
SCALE: 1"=2'

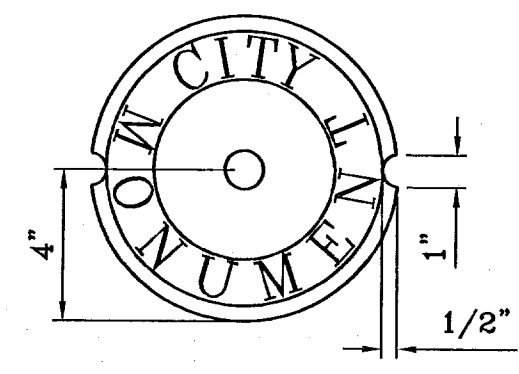
PAVEMENT NOTES

1. SUBGRADE TO BE COMPACTED TO 95% OF MAXIMUM DENSITY AS PER ASTM D1657.
2. BASE TO BE COMPACTED TO NOT LESS THAN 100% DENSITY IN ACCORDANCE WITH ASTM D1657. TYPE A, GRADE 1 OR 2.
3. BITUMINOUS MATERIAL SHALL CONFORM TO AC-10 OR AC-20, TYPE "C" IN ACCORDANCE WITH ASTM D3318.
4. PRIME COAT TO BE 0.25 GAL. PER SQUARE YARD (MINIMUM COVERAGE) MC-70.
5. COMPACTION TESTS WHERE REQUIRED BY THE CITY ENGINEER MUST BE PAID FOR BY THE DEVELOPER.
6. C.B.R. TESTS WILL BE REQUIRED AT 600 FOOT INTERVALS AFTER SUBGRADE IS PLACED AND/OR A MINIMUM OF TWO TESTS IF STREET IS LESS THAN 600 FEET.
7. STRICT VERTICAL CONTROL OF ALL CURB AND GUTTER ELEVATIONS WILL BE MAINTAINED. BLUE TOPPING WILL BE REQUIRED THROUGHOUT.
8. ALL PLANS MUST BE IN ACCORDANCE WITH THE LATEST EDITION OF THE CITY OF EL PASO SUBDIVISION DESIGN AND IMPROVEMENT STANDARDS.
9. H.M.A.C. BASE, SUB BASE WILL BE IN ACCORDANCE WITH THE LATEST CITY OF EL PASO SPECIFICATIONS.
10. MINIMUM PAVEMENT DESIGN DETAILS ARE SHOWN. ACTUAL PAVEMENT DESIGN WILL BE DETERMINED BY: C.B.R.

TRENCHING
ALL TRENCHING SHALL BE DONE IN STRICT ACCORDANCE WITH OSHA-2226.



COVER
SCALE: 1"=6"



COUNTERSUNK DETAIL
SCALE: 1"=3"

SIZE AND CONSTRUCTION:

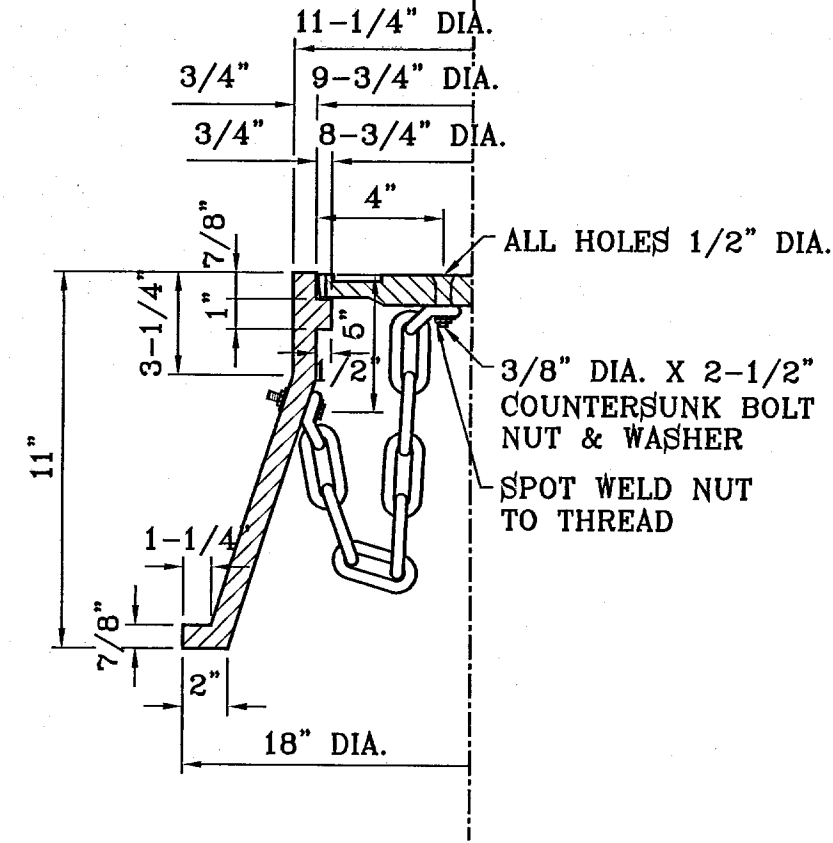
THE STANDARD CITY MONUMENT SHALL BE POURED-IN-PLACE CONCRETE CONE, EIGHT (8) INCHES MINIMUM DIAMETER AT THE TOP, EIGHTEEN (18) INCHES MINIMUM DIAMETER AT THE BOTTOM, THIRTY-SIX (36) INCHES MINIMUM IN DEPTH WITH THE MONUMENT CAP IN PLACE ON TOP.

THE MONUMENT SHALL BE COVERED WITH A CAST IRON BOX AND COVER.

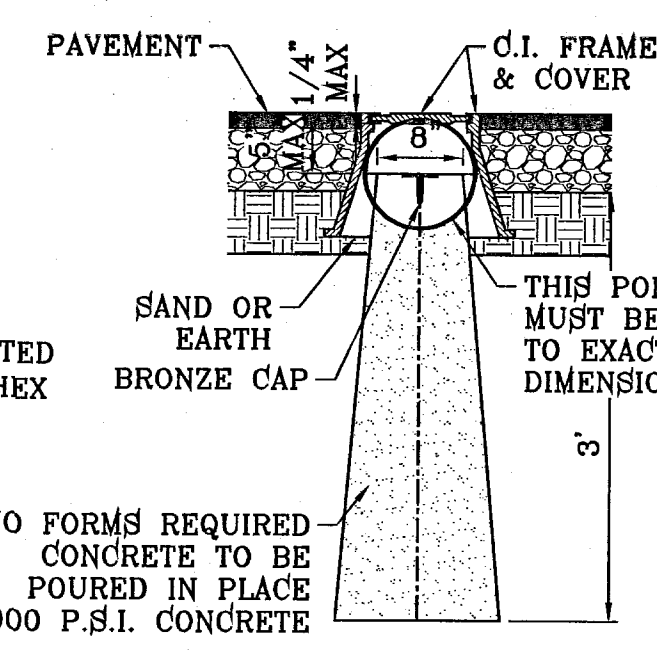
NUMBER AND LOCATIONS:

THE MONUMENTS SHALL BE INSTALLED WHERE SHOWN ON THE SUBDIVISION PLAT AS APPROVED BY THE CITY ENGINEER.

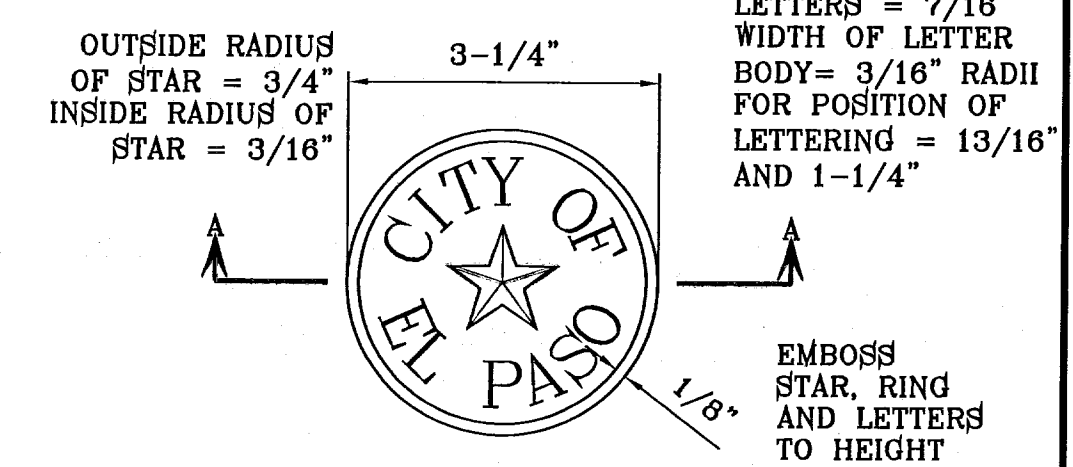
THE SIZE, TOPOGRAPHY AND LAYOUT OF THE SUBDIVISION SHALL GOVERN MONUMENT MUST BE WITHIN THE LINE OF SIGHT OF ANY OTHER MONUMENT (2000 FEET MAXIMUM DISTANCE BETWEEN MONUMENTS). THE NUMBER OF MONUMENTS REQUIRED.



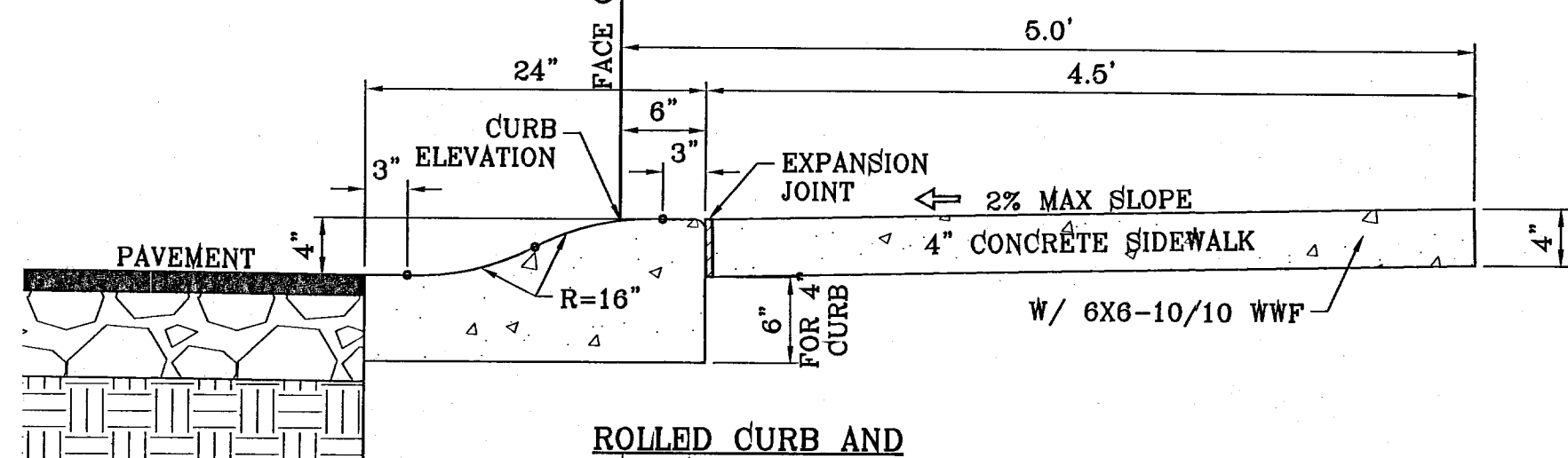
CITY MONUMENT DETAIL
SCALE: 1"=2'



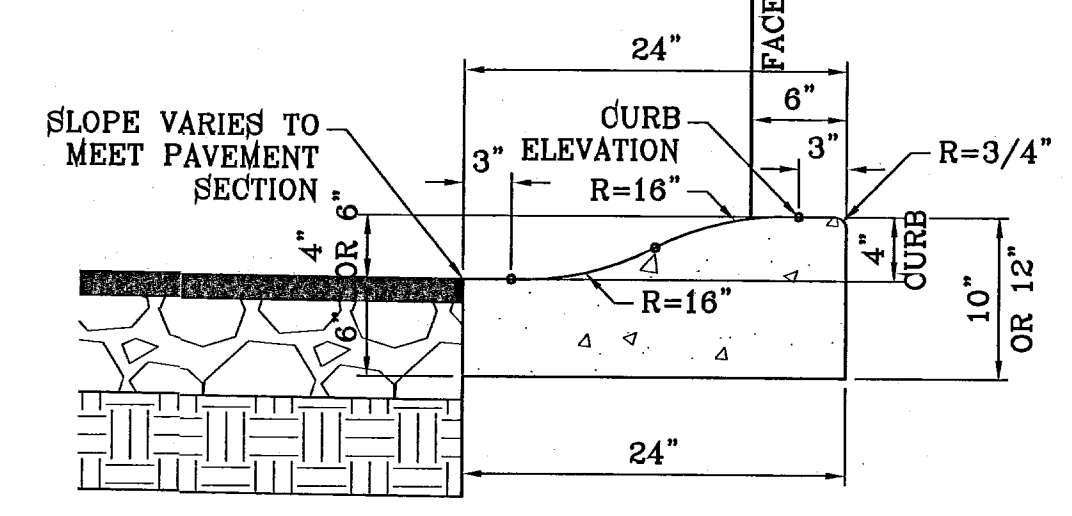
BRONZE MONUMENT CAP
SCALE: 1"=2"



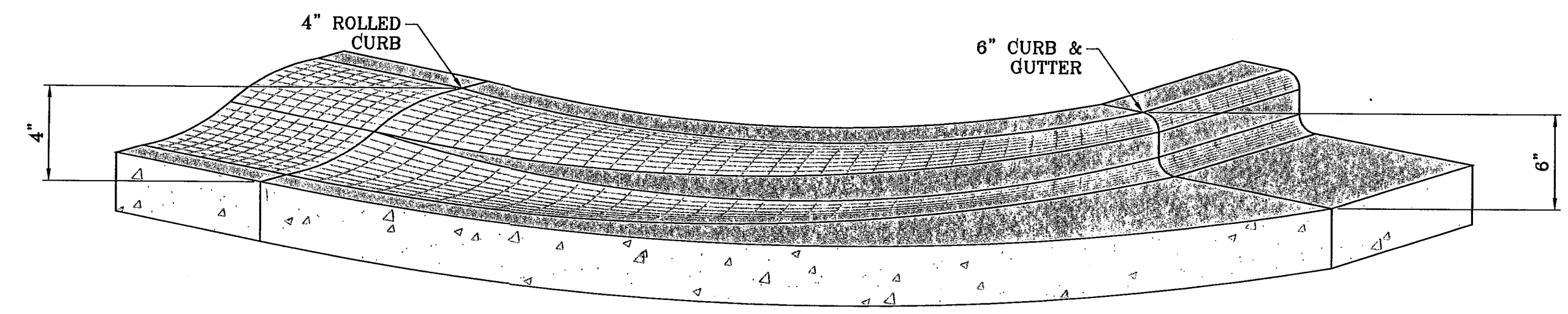
SECTION A-A
SCALE: 1"=2"



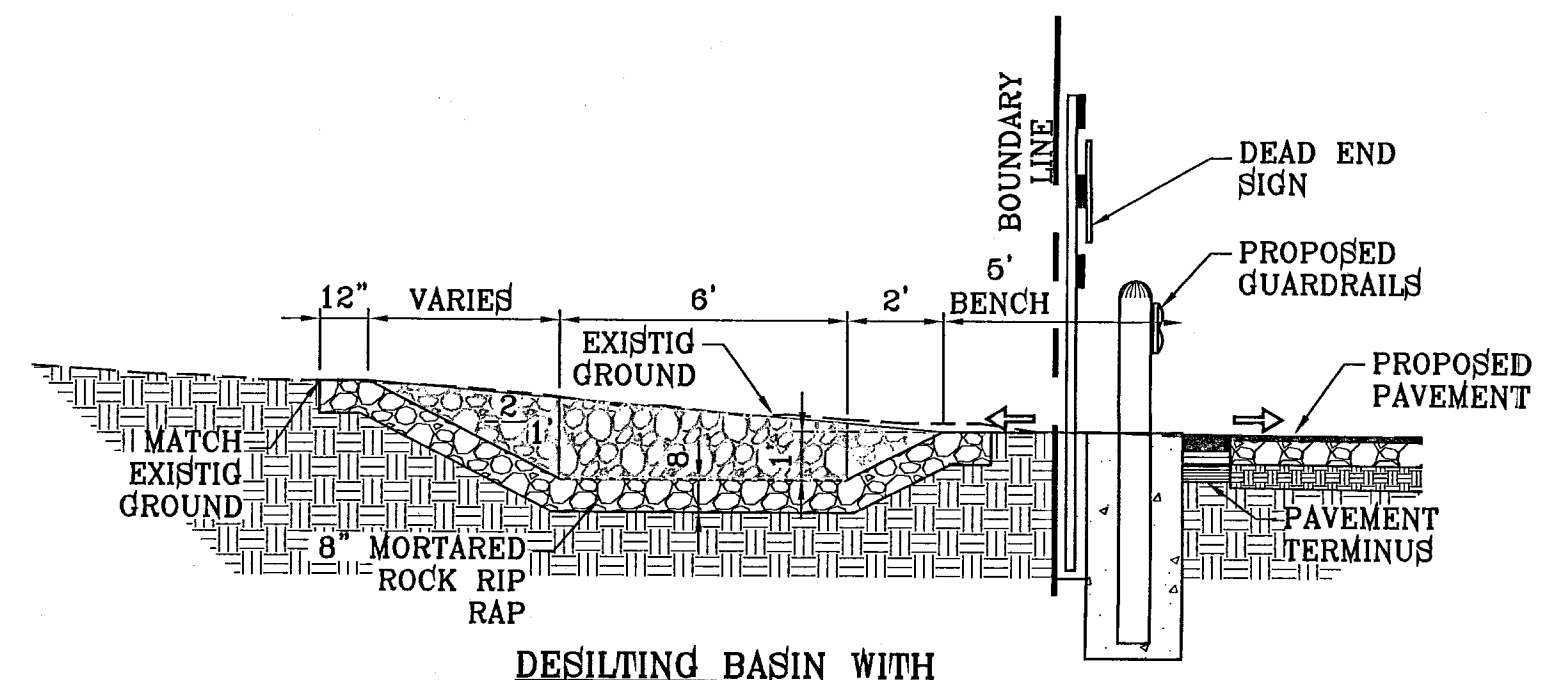
ROLLED CURB AND
SIDEWALK DETAIL
SCALE: 1"=1'



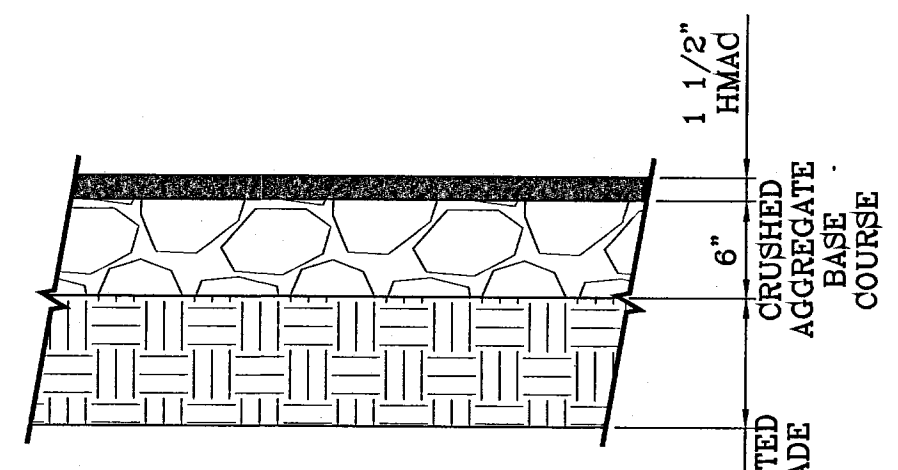
ROLLED CURB DETAIL
SCALE: 1"=1'



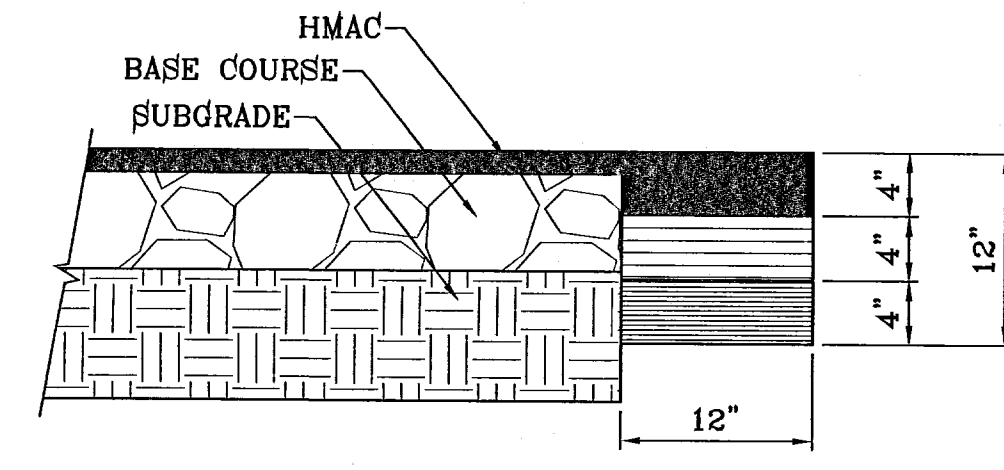
CURB TRANSITION AT RETURNS
SCALE: 1"=1'



DESILTING BASIN WITH
GUARD RAIL DETAIL
SCALE: 1"=4'

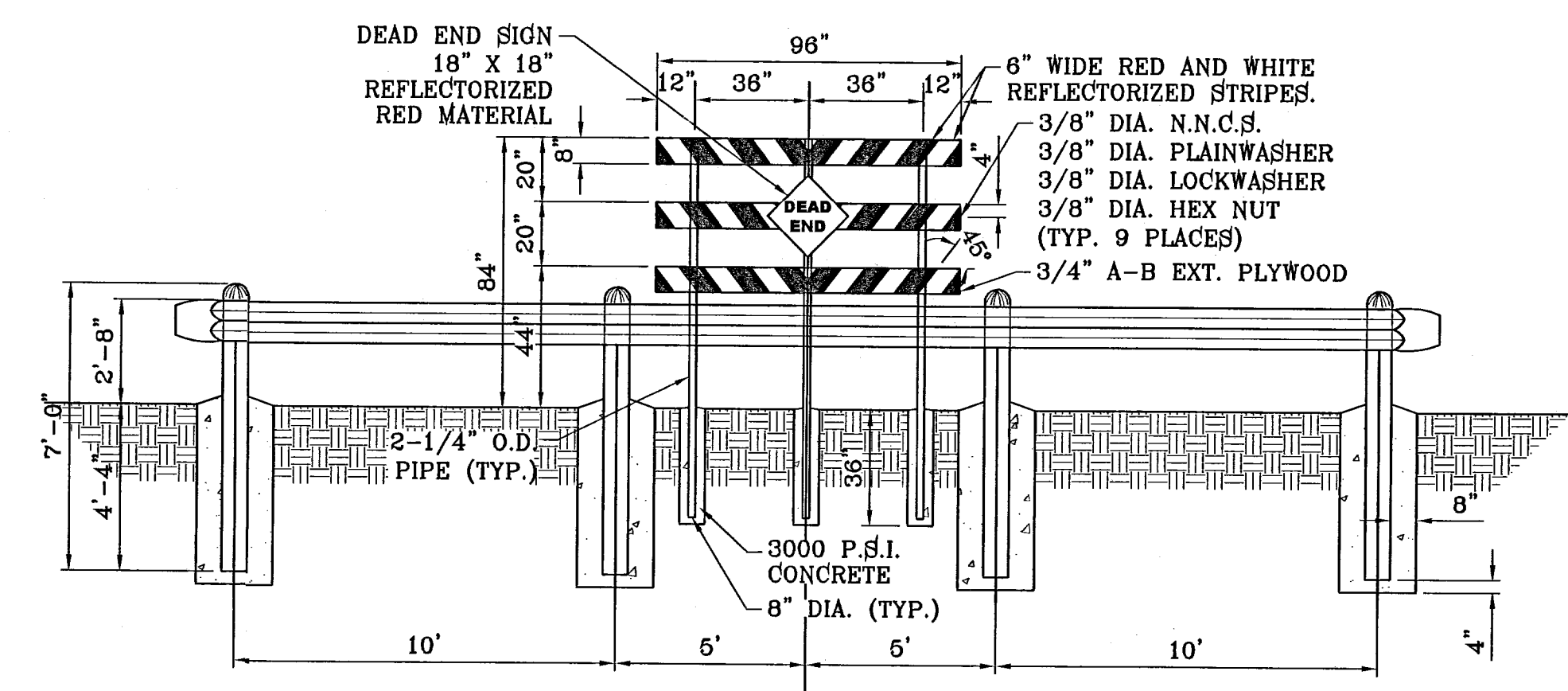


PAVEMENT DETAIL
52' R.O.W. PAVEMENT SECTION
SCALE: 1"=1'



PAVEMENT TERMINUS
SCALE: 1"=1'

NOTE:
THICKENED EDGE SHALL BE CONSTRUCTED IN COURSE NOT OVER 4" IN THICKNESS, EACH COURSE THOROUGHLY COMPACTED BEFORE PLACING NEXT COURSE, FINAL COURSE, FINAL COURSE TO BE PLACED MONOLITHIC WITH PAVEMENT.



GUARD RAIL DETAIL
SCALE: 1"=4'

NOTE:
DEAD END SIGN TO BE USED WITH GUARDRAILS. RED AND WHITE PORTIONS TO BE REFLECTIVE SHEETING. DEAD END SIGN MUST COMPLY WITH THE CITY OF EL PASO SUBDIVISION DESIGN STANDARDS.

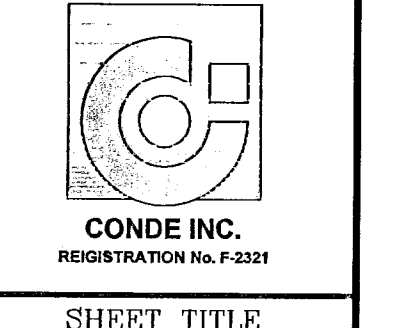
PROJECT NAME	MESQUITE HILLS UNIT 6
ENGINEER'S SEAL	
ENGINEER'S SEAL NOT REQUIRED	
DATE	JANUARY 2011
DESIGN BY	Y.C.
INITIATED BY	O.M.
CHECKED BY	Y.C.
JOB NO.	1210-1B

BENCHMARK
CITY MONUMENT AT THE CENTERLINE POINT OF CURVE
CENTERLINE ON MESQUITE HILLS DR. AT STATION 407+23
ELEVATION 407.23
DATE
REVISIONS

BEING A PORTION OF TRACT 8, SECTION 16, BLOCK 80,
TOWNSHIP 1, TEXAS AND PACIFIC RAILROAD SURVEYS,
CITY OF EL PASO, EL PASO COUNTY, TEXAS,
CONTAINING: 2.1092 ACRES

SCALE
HORIZ: AS NOTED
VERT: ---
DATE: JANUARY 2011
DESIGN BY: Y.C.
INITIATED BY: O.M.
CHECKED BY: Y.C.
JOB NO.: 1210-1B

CONDE INC.
ENGINEERING / PLANNING
SURVEYING / GPS
6080 SURETY DR. STE. 100
EL PASO, TEXAS 79905
PHONE: (915) 592-0283
FAX: (915) 592-0286



CONDE INC.
REGISTRATION NO. F-2321

SHEET TITLE

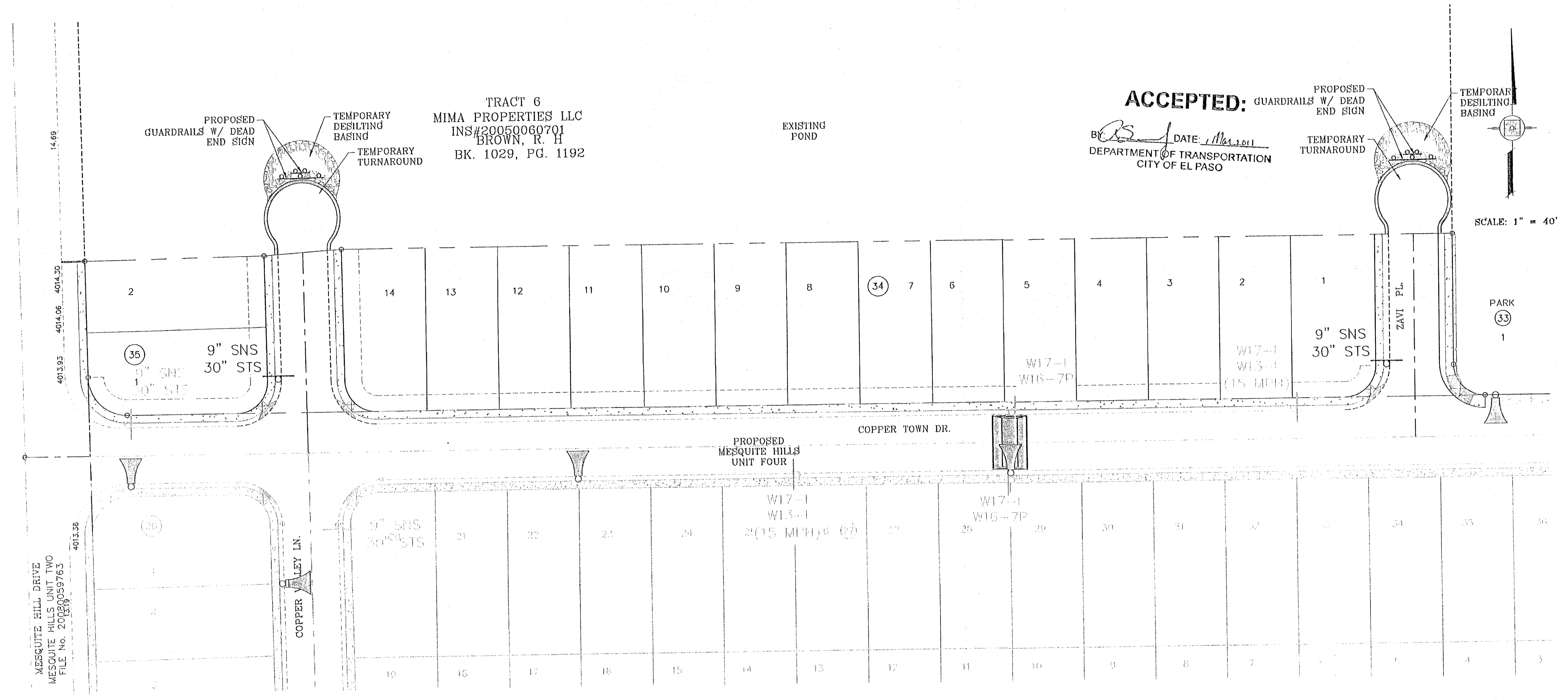
STANDARD DETAILS

103174

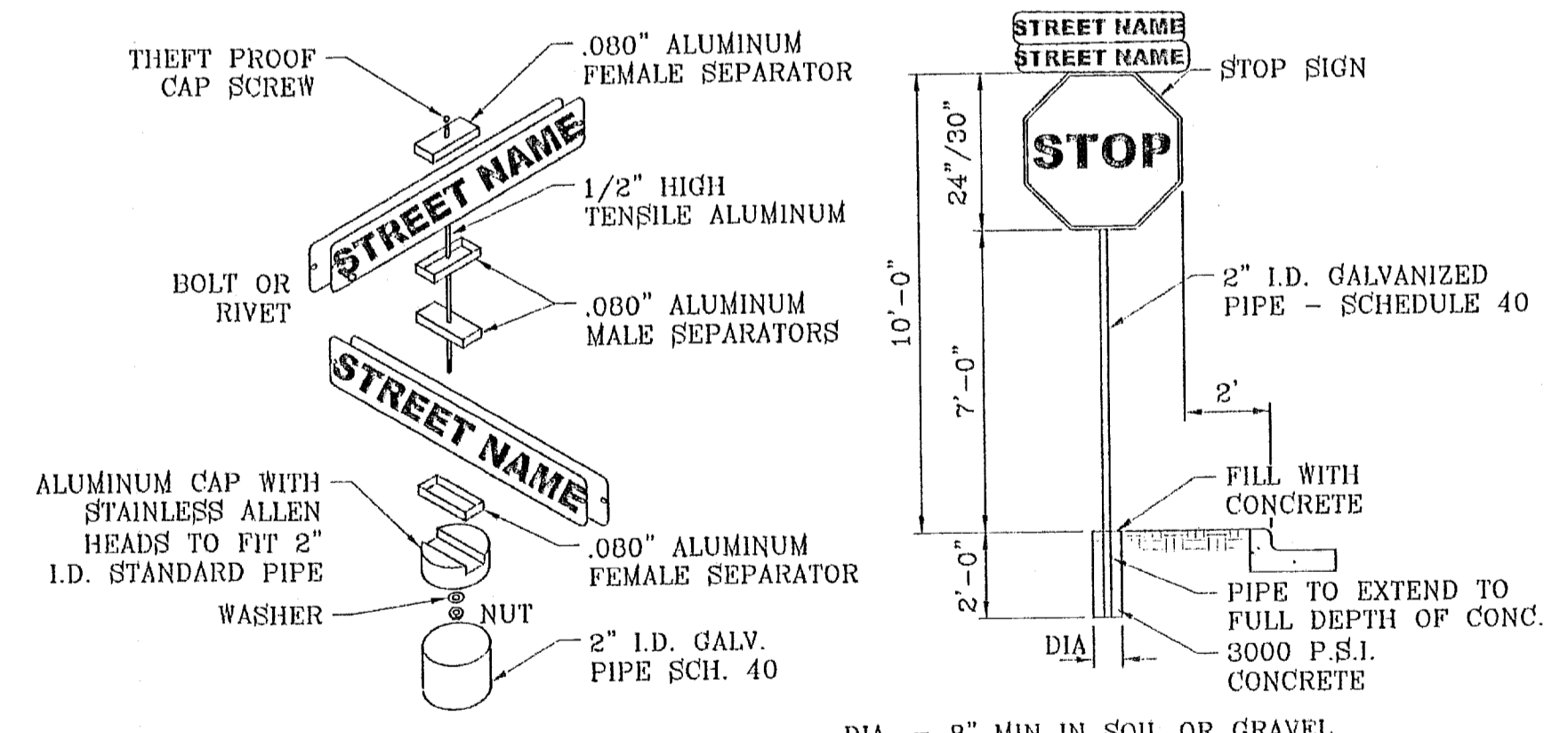
MESQUITE HILLS UNIT 6

SHT 7 OF 7

FILE LOCATION: S:\Subdivisions\MESQUITE HILLS 6\MH6-GDP PLOTTED ON Thursday, February 24, 2011 4:36:46 PM BY OSCAR MEDINA



LEGEND
 ▲ PROPOSED LIGHT FROM MESQUITE HILLS UNIT 4
 + STOP SIGN WITH STREET NAME



STOP SIGN DETAIL
 SCALE: 1"=4'

ACCEPTED:
 DEPARTMENT OF TRANSPORTATION
 CITY OF EL PASO

SCALE: 1" = 40'

BENCHMARK
 CITY MONUMENT AT THE CENTERLINE POINT OF CURVE
 CENTERLINE ON MESQUITE HILLS DR. AT STATION 1+00.86
 ELEVATION 4007.28CITY DATUM

PROJECT NAME
MESQUITE HILLS UNIT 6
 BEING A PORTION OF TRACT 6, SECTION 16, BLOCK 80,
 TOWNSHIP 1, TEXAS AND PACIFIC RAILROAD CO. SURVEYS,
 CITY OF EL PASO, EL PASO COUNTY, TEXAS
 CONTAINING: 2.1092 ACRES

SCALE
 HORIZ: 1" = 40'
 VERT: ---
 DATE: JANUARY 2011
 DESIGN BY: Y.C.
 INITIATED BY: O.M.
 CHECKED BY: Y.C.
 JOB NO.: 1210-18



CONDE INC.
 ENGINEERING / PLANNING
 SURVEYING / GPS
 6050 SURETY DR. STE 100
 EL PASO, TEXAS 79905
 PHONE: (915) 592-0280
 FAX: (915) 592-0286



SHEET TITLE

TRAFFIC CONTROL PLAN

103174
 MESQUITE HILLS UNIT 6

SHT 7A OF 7