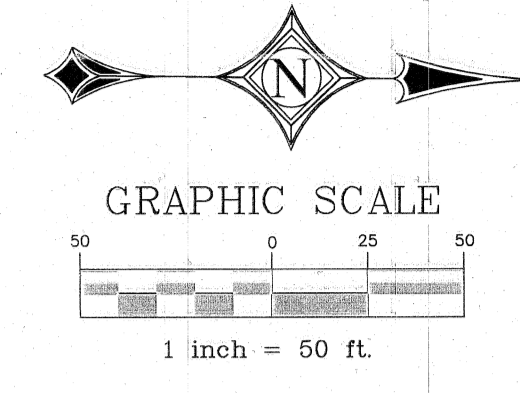


HIDDEN GARDENS VILLAGE

TRACTS 1E, 1E2, 1F, 2B, AND 3C1,
BLOCK 9, UPPER VALLEY SURVEYS,
CITY OF EL PASO, EL PASO COUNTY, TEXAS
CONTAINING: 8.4164 ACRES OR 366,621 SQ.FT.

Curve No.	Length	Radius	Delta	Chord Direction	Chord Length
C1	34.14'	20.00	97°48'14"	S40° 55' 53"W	30.14'
C2	14.59'	30.00	27°51'38"	N21° 54' 03"W	14.44'
C3	15.26'	30.00	29°08'30"	N50° 24' 06"W	15.09'
C4	62.75'	50.00	71°54'12"	N29° 01' 15"W	58.71'
C5	55.52'	50.00	63°37'32"	N38° 44' 37"E	52.71'
C6	17.33'	50.00	19°51'37"	N80° 29' 11"E	17.24'
C7	5.17'	50.00	5°55'23"	S86° 37' 18"E	5.17'
C8	60.93'	50.00	69°49'03"	S48° 45' 05"E	57.23'
C9	66.11'	50.00	75°45'08"	S24° 02' 00"W	61.40'
C10	26.14'	30.00	49°55'05"	S36° 57' 02"W	25.32'
C11	10.45'	30.00	19°57'43"	S2° 00' 38"W	10.40'
C12	28.68'	20.00	82°09'22"	N49° 02' 55"W	26.28'

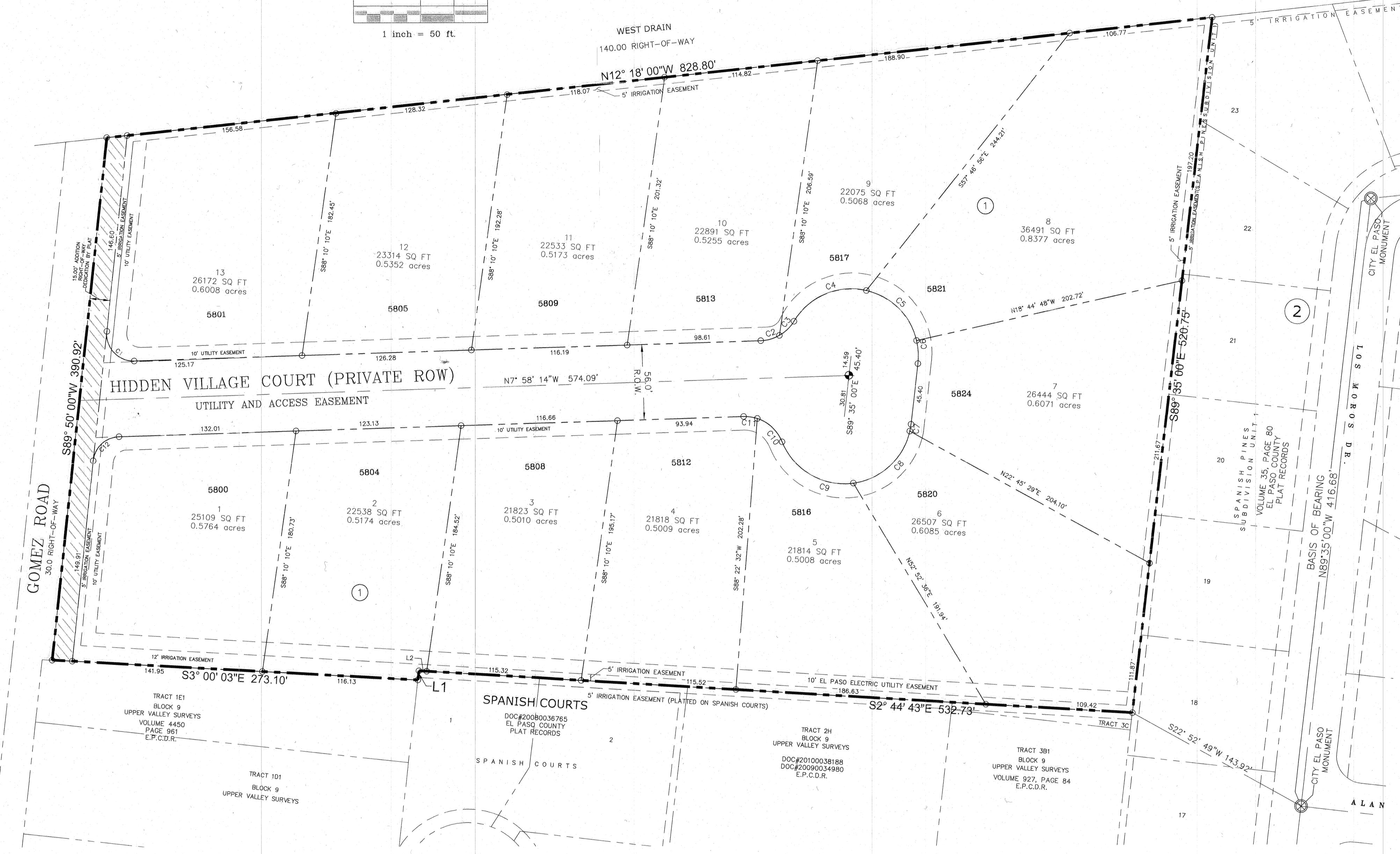
Line #	Direction	Length
L1	S89° 55' 06"E	6.93
L2	S2° 44' 43"E	5.84



LEGEND

- E.P.C.D.R. EL PASO COUNTY DEED RECORDS
- CITY OF EL PASO MONUMENT
- FOUND 1/2 INCH REINFORCING BAR WITH A PLASTIC CAP STAMPED TX RLP5 No.5879 G-3NG
- PROPERTY CORNER
- PROPOSED CITY OF EL PASO MONUMENT
- NDCBU MAIL BOX DELIVERY UNIT
- ADDITIONAL RIGHT-OF-WAY DEDICATED BY PLAT
- E.P.C.D.R. EL PASO COUNTY DEED AND RECORDS

- SURVEY NOTES:**
- THIS SURVEY AND BASIS OF BEARING CONFORM TO THE PLAT OF SPANISH COURTS OF RECORD IN THE OFFICE OF EL PASO COUNTY CLERK'S OFFICE PLAT RECORDS, IN THE CITY OF EL PASO, EL PASO COUNTY TEXAS.
 - THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE COMMITMENT.
 - VISIBLE UTILITIES WERE LOCATED AND ARE SHOWN HEREIN WHETHER PUBLIC OR PRIVATE.
 - THIS SURVEY WAS PERFORMED FOR THE BENEFIT OF CUATRO LAND HOLDINGS LLC.
 - THIS PLAT OF SURVEY CONFORMS TO THE RULES AND PROCEDURES PROMULGATED BY THE TEXAS BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS LISTED IN THE TEXAS ADMINISTRATIVE CODE, TITLE 22, PART 6.
 - LAND SURVEYING IS UNDER THE JURISDICTION OF TEXAS BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS. COMPLAINTS REGARDING SURVEYING SERVICES MAY BE ADDRESSED TO: 1917 S. INTERSTATE 35, AUSTIN, TEXAS 78741-3702, PHONE (512) 440-7723.
 - THIS SURVEY SUBSTANTIALLY COMPLIES WITH THE CURRENT TEXAS SOCIETY OF PROFESSIONAL SURVEYORS MANUAL OF PRACTICE REQUIREMENTS FOR A CATEGORY 1A, CONDITION 2, T.S.P.S. LAND TITLE SURVEY.



OWNER'S DEDICATION, CERTIFICATION AND ATTESTATION

We, CUATRO LAND HOLDINGS LLC, as owners of the 8.4164 acres of land encompassed with the proposed Hidden Gardens Village, hereby subdivide the land as described in this subdivision plat and dedicate to public use the utility, access and irrigation easements, and an additional 15 foot R.O.W. at Gomez Road frontage, as hereon laid down and designated, including easements for overhang of service wires for pole type utilities and the right for installation of service poles alongside lot lines as may be required, easements for buried service wires, conduits and pipes for underground utilities, and the right to ingress and egress for service and construction, and the right to trim interfering trees and shrubs shown herein.

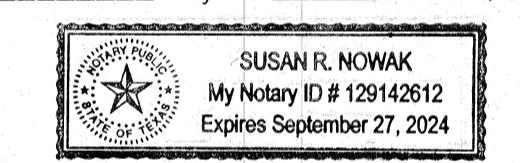
[Signature] 10/29/2021
Sal Masoud, Partner Manager Date

ACKNOWLEDGEMENT

STATE OF TEXAS
COUNTY OF EL PASO

BEFORE ME, the undersigned authority, on this day personally appeared Sal Masoud, proved to me through his Texas Department of Public Safety Drivers License to be the person whose name is subscribed to the foregoing instrument, who, being by me first duly sworn, declared that the statements therein are true and correct and acknowledged that he executed the same for the purposes and consideration thereby expressed.

Given under my hand and seal of office this 29th day of October 2021.



[Signature] 9/27/2024
Notary Public in and for El Paso County My Commission Expires

CITY PLAN COMMISSION UNDER LOCAL GOVERNMENT CODE 212

This subdivision is hereby approved as to the platting and as to the condition of the dedication in accordance with Chapter 212 of the Local Government Code of Texas this 9th day of April 2021, A.D.

[Signature] *[Signature]*
Executive Secretary Chairperson

Approved for filing this _____ day of _____, 2021.

[Signature]
Planning and Inspections Director

COUNTY CLERK'S RECORDING CERTIFICATE

I certify that the plat bearing this certificate was filed and recorded under Instrument Number 202110441 in the Plat Records of El Paso County.

Date: 11/15 2021.

[Signature] 11/15/2021
El Paso County Clerk Date

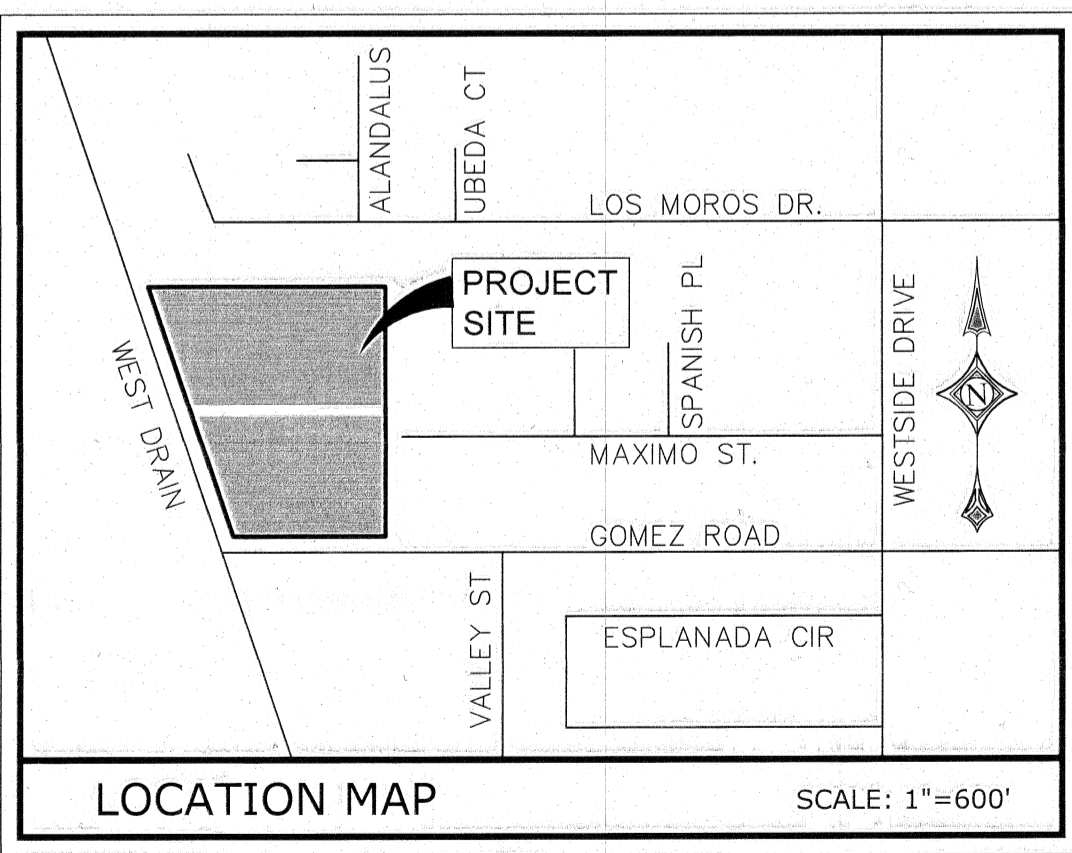
[Signature] 11/15/2021
By Deputy Date

PLAT NOTES AND RESTRICTIONS:

- THIS PROPERTY LIES IN ZONE "X", AS DESIGNED BY F.E.M.A. EL PASO COUNTY, COMMUNITY PANEL NO. 480212-0125 B, DATED SEPTEMBER 04, 1991.
- RESTRICTIVE COVENANTS FOR THIS PROPERTY ARE FILED IN THE EL PASO COUNTY CLERK'S OFFICE, INSTRUMENT NO. 20210110443 DATE 11/15/2021
- TAX CERTIFICATES FOR THIS PROPERTY ARE FILED IN THE EL PASO COUNTY CLERK'S OFFICE, INSTRUMENT NO. 20210110442 DATE 11/15/2021
- WATER AND SEWER SERVICES WILL BE PROVIDED BY THE EL PASO WATER UTILITIES.
- POSTAL DELIVERY SERVICE WITHIN THE SUBDIVISION WILL BE PROVIDED USING NEIGHBORHOOD DELIVERY AND COLLECTION BOX UNITS.
- LOT OWNER IS RESPONSIBLE FOR MAINTAINING DRIVEWAYS, SIDEWALKS AND PARKWAYS ABUTTING THEIR PROPERTY.
- SET 5/8" REBAR AT ALL EXTERIOR BOUNDARY CORNERS UNLESS OTHERWISE NOTED.
- SET 5/8" REBAR AT ALL LOT CORNERS TO BE DONE AFTER CONSTRUCTION IS COMPLETED.
- ALL EASEMENTS ARE 10' WIDE UTILITY EASEMENT UNLESS OTHERWISE NOTED.
- MAINTENANCE OF THE PRIVATE ROAD HIDDEN GARDENS VILLAGE COURT SHALL BE THE JOINT RESPONSIBILITY OF ALL ABUTTING PROPERTY OWNERS, (HIDDEN GARDENS VILLAGE HOMEOWNERS ASSOCIATION, INC) IN ACCORDANCE WITH SECTION 19.15.150 OF THE CITY'S SUBDIVISION ORDINANCE.
- PER FIRE DEPARTMENT A KNOX BOX IS REQUIRED FOR A PRIVATE GATE.

GENERAL NOTES FOR ON-SITE PONDING LOTS:

- ALL LOTS WITHIN THIS SUBDIVISION ARE SUBJECT TO ON-SITE PONDING AS PER (MUNICIPAL-CODE SECTION 19.19.010A, DSC PANEL 1-4C-J, AND DDM SECTION 11.1).
- FIFTY (50) PERCENT OF THE RESIDENTIAL LOT AREA SHALL REMAIN WITHOUT STRUCTURES OR OTHER IMPERMEABLE SURFACES.



RESIDENTIAL LOTS: 13

SCHOOL DISTRICT: CANUTILLO I.S.D.

OWNER/DEVELOPER:
CUATRO LAND HOLDINGS, LLC
5809 ACACIA CIRCLE
EL PASO TX 79912

ENGINEERING AND PLANNING BY:
DEL RIO ENGINEERING
P.O. BOX 220251
EL PASO TX 79913
PH. 915.833.2400

PLATTING BY:
DORADO ENGINEERING INC.
2717 E. YANDELL DRIVE
EL PASO, TX 79903

DRE Del Rio Engineering, Inc.
P.O. Box 220251 El Paso, Texas 79913 915/833-2400

SUBDIVISION IMPROVEMENT PLANS WERE PREPARED BY AND UNDER THE SUPERVISION OF SAL B. MASOUD, REGISTERED PROFESSIONAL ENGINEER # 70774

STATE OF TEXAS
SULEIMAN MASOUD
70774
LICENSED PROFESSIONAL ENGINEER
[Signature]
SAL B. MASOUD P.E. #70774

DORADO ENGINEERING, INC.
2717 E. YANDELL STREET, EL PASO TX 79903
PHONE 915-562-0002 FAX 915-562-7743

STATE OF TEXAS
REGISTERED PROFESSIONAL SURVEYOR
3190
FERMIN DORADO
[Signature]
FERMIN DORADO, R.P.L.S.
REGISTRATION NO. 3190
FIRM REGISTRATION NO. 10092100
10.30.21

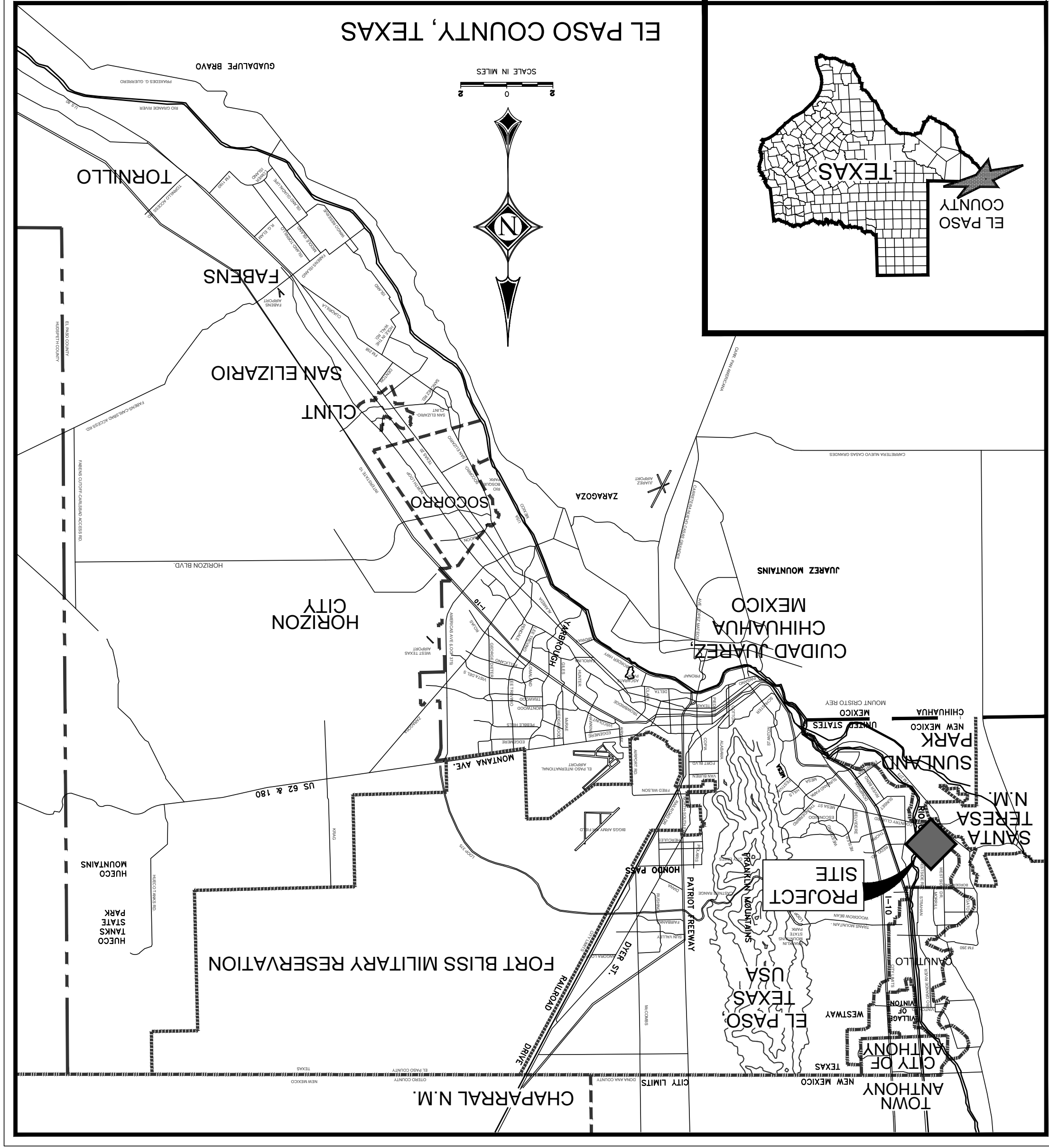
HIDDEN GARDENS VILLAGE

TRACTS 1E, 1E2, 1F, 2B, AND 3C1,
 BLOCK 9, UPPER VALLEY SURVEYS,
 CITY OF EL PASO, EL PASO COUNTY, TEXAS
 CONTAINING 8.4118± ACRES

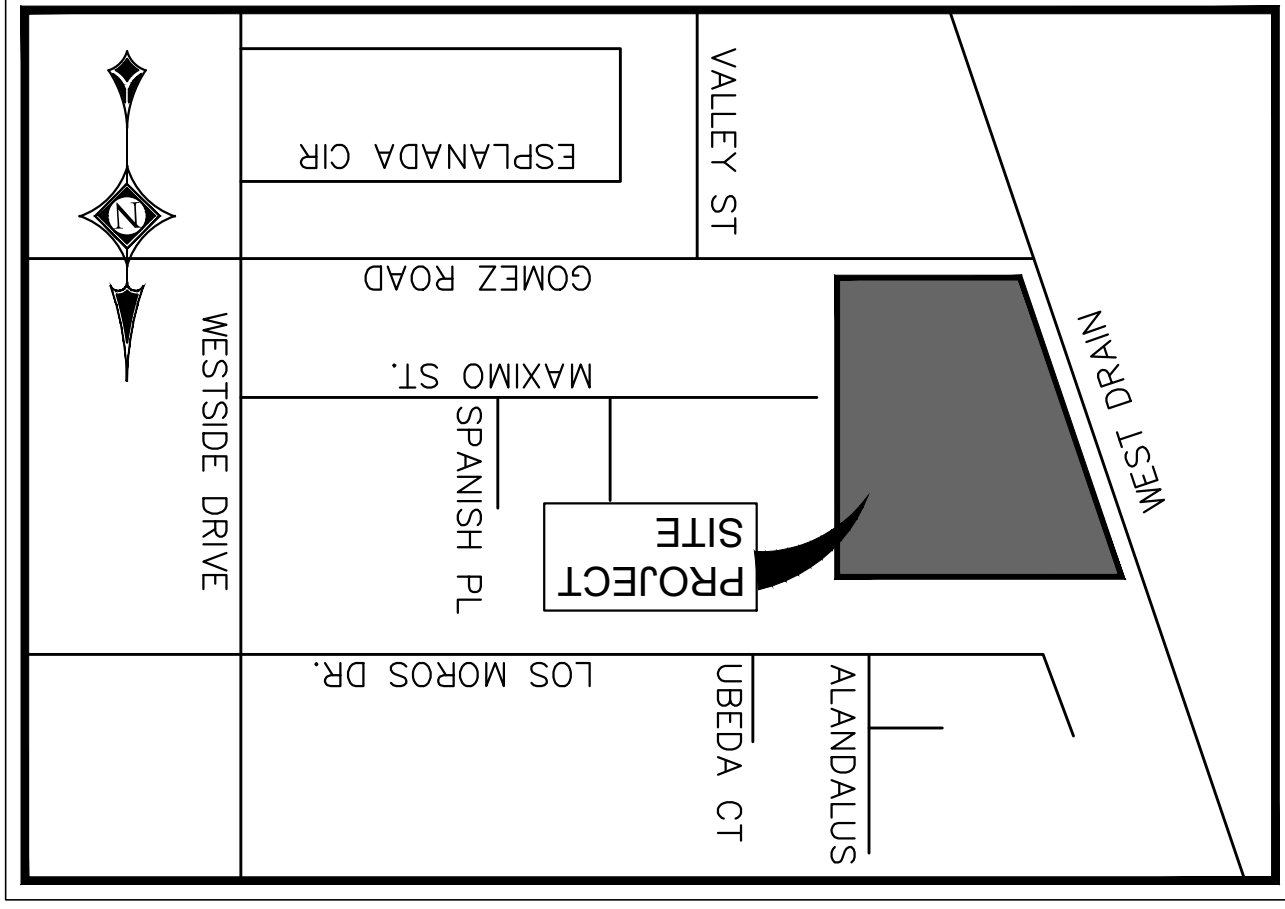
INDEX SHEET

C-18	WATER SERVICE PLAN	C-00	COVER SHEET
C-19	WATER SERVICE STANDARD DETAILS	C-01	PRELIMINARY PLAT
C-20	WATER SERVICE STANDARD DETAILS	C-02	FINAL PLAT
C-21	SEWER SERVICE PLAN	C-03	EXISTING CONDITIONS
C-22	SEWER PLAN AND PROFILE - GOMEZ ROAD	C-04	DEMOLITION PLAN
C-23	SEWER PLAN AND PROFILE - HIDDEN GARDENS COURT	C-05	GRADING AND DRAINAGE NOTES
C-24	SEWER SERVICE STANDARD DETAILS	C-06	DRAINAGE MAP
C-25	SEWER SERVICE STANDARD DETAILS	C-07	GRADING AND DRAINAGE PLAN
C-08	CROSS SECTIONS	C-08	CROSS SECTIONS
C-09	CROSS SECTIONS	C-10	ROADWAY PLAN AND PROFILE - GOMEZ ROAD
C-11	ROADWAY PLAN AND PROFILE - HIDDEN GARDENS COURT	C-12	STANDARD DETAILS
C-13	IRRIGATION CULVERT CROSSING PLAN	C-13.1	IRRIGATION CULVERT CALCULATIONS
C-14	ILLUMINATION PLAN	C-15	ILLUMINATION DETAILS
C-16	STORM WATER POLLUTION PREVENTION PLAN	C-17	SWPPP DETAILS

VICINITY MAP

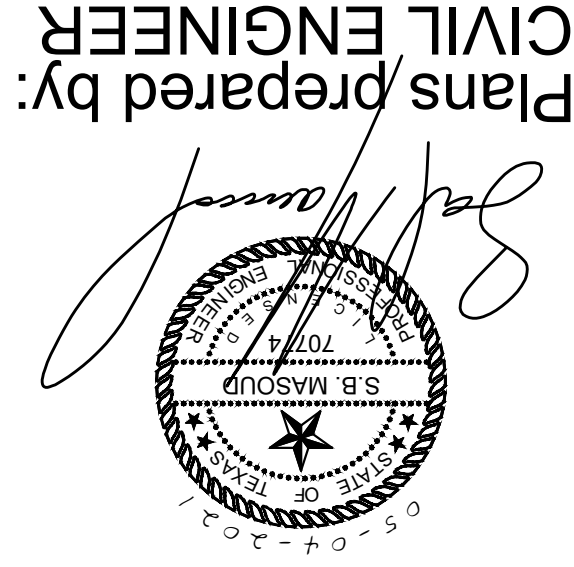


LOCATION MAP



SCALE: 1"=600'

D R E
 Del Rio Engineering, Inc.
 P.O. Box 220251 El Paso, Texas 79913 915/833-2400
 TBPE Firm Reg. No.: F-1093
 J20-095



HIDDEN GARDENS VILLAGE

VILLAGE

TRACTS 1E, 1E2, 1F, 2B, AND 3C,
 BLOCK 9, UPPER VALLEY SURVEYS,
 CITY OF EL PASO, EL PASO COUNTY, TEXAS
 CONTAINING: 366,421 SQ. FT. OR 8.418 ACRES
 PRELIMINARY PLAT

PLAT NOTES AND RESTRICTIONS:

1. THIS PROPERTY LIES IN ZONE "X", AS DESIGNED BY F.E.M.A. EL PASO COUNTY, COMMUNITY PANEL NO. 480212-10125 B, DATED SEPTEMBER 04, 1991.
2. RESTRICTIVE COVENANTS FOR THIS PROPERTY ARE FILED IN THE EL PASO COUNTY CLERK'S OFFICE, INSTRUMENT NO. _____.
3. TAX CERTIFICATES FOR THIS PROPERTY ARE FILED IN THE EL PASO COUNTY CLERK'S OFFICE, INSTRUMENT NO. _____.
4. DATE _____
5. DATE _____
6. WATER SUPPLY WILL BE PROVIDED BY THE EL PASO WATER UTILITIES.
7. POSTAL DELIVERY SERVICE WITHIN THE SUBDIVISION WILL BE PROVIDED USING NEIGHBORHOOD DELIVERY AND COLLECTION BOX UNITS.
8. LOT OWNER IS RESPONSIBLE FOR MAINTAINING DRIVEWAYS, SIDEWALKS AND PARKWAYS ABUTTING THEIR PROPERTY.
9. SET 5/8" REBAR AT ALL EXTERIOR BOUNDARY CORNERS UNLESS OTHERWISE NOTED.
10. ALL EASEMENTS ARE TO WIDE UTILITY EASEMENT UNLESS OTHERWISE NOTED.
11. NEIGHBORHOOD DELIVERY AND COLLECTION BOX UNITS.
12. POSTAL DELIVERY SERVICE WITHIN THE SUBDIVISION WILL BE PROVIDED USING NEIGHBORHOOD DELIVERY AND COLLECTION BOX UNITS.
13. BUILDINGS SETBACKS FOR R-2 ZONING, FRONT 25 FEET WITH CUMULATIVE 60 FEET, SIDE YARD 8 FEET, SIDE STREET 10 FEET WITH CUMULATIVE 20 FEET.

RESIDENTIAL LOTS: 13

SCHOOL DISTRICT: EL PASO I.S.D.
 GOMEZ ROAD 394 L.F.
 HIDDEN GARDENS ROAD 580 L.F.
 ROAD LENGTH

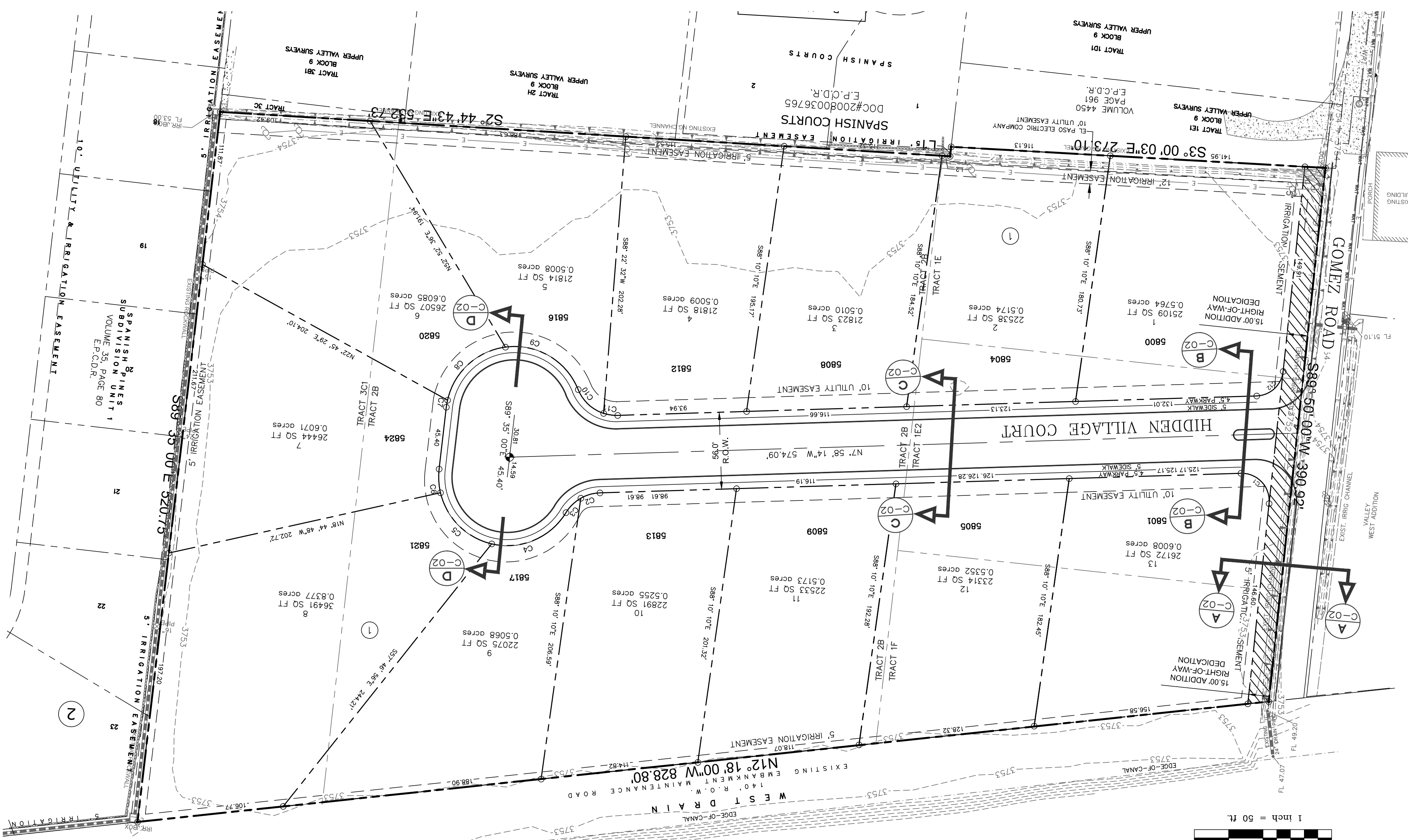
OWNER/DEVELOPER:
 CUATRO LAND HOLDINGS, LLC
 5809 ACACIA CIRCLE
 EL PASO TX 79912

ENGINEERING AND PLANNING BY:
 DEL RIO ENGINEERING
 EL PASO TX 79913

PLATTING BY:
 G-3 ENGINEERING
 1901 ARIZONA ST. SUITE 205
 EL PASO, TX 79938

LEGEND

- EL P.C.D.R. EL PASO COUNTY DEED RECORDS
- CITY OF EL PASO MONUMENT
- SET 1/2" INCH REINFORCING BARS WITH A PLASTIC CAP STAMPED TX RIPS N-5679 G-3M UNLESS OTHERWISE SHOWN
- PROPERTY CORNERS
- PROPOSED CITY OF EL PASO MONUMENT
- MAIL BOX DELIVERY UNIT
- ADDITIONAL RIGHT-OF-WAY
- INSTRUMENT NO. 20160026873

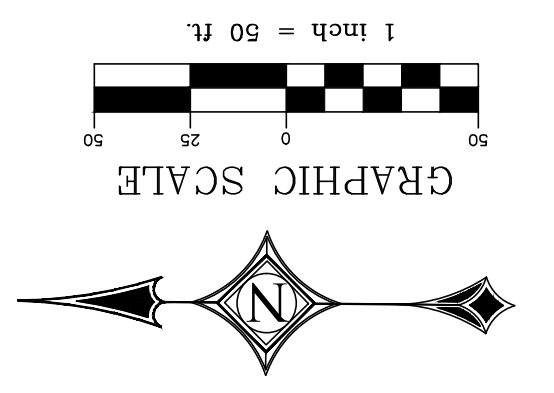


Curve Table

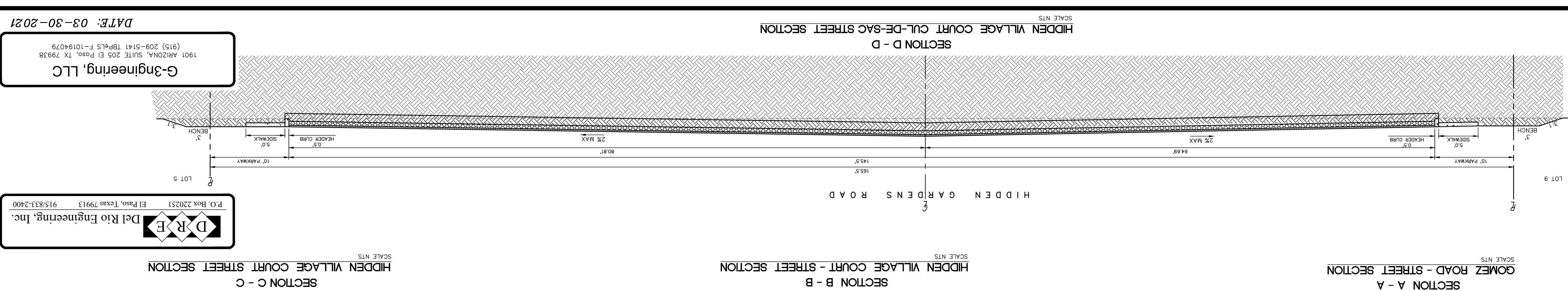
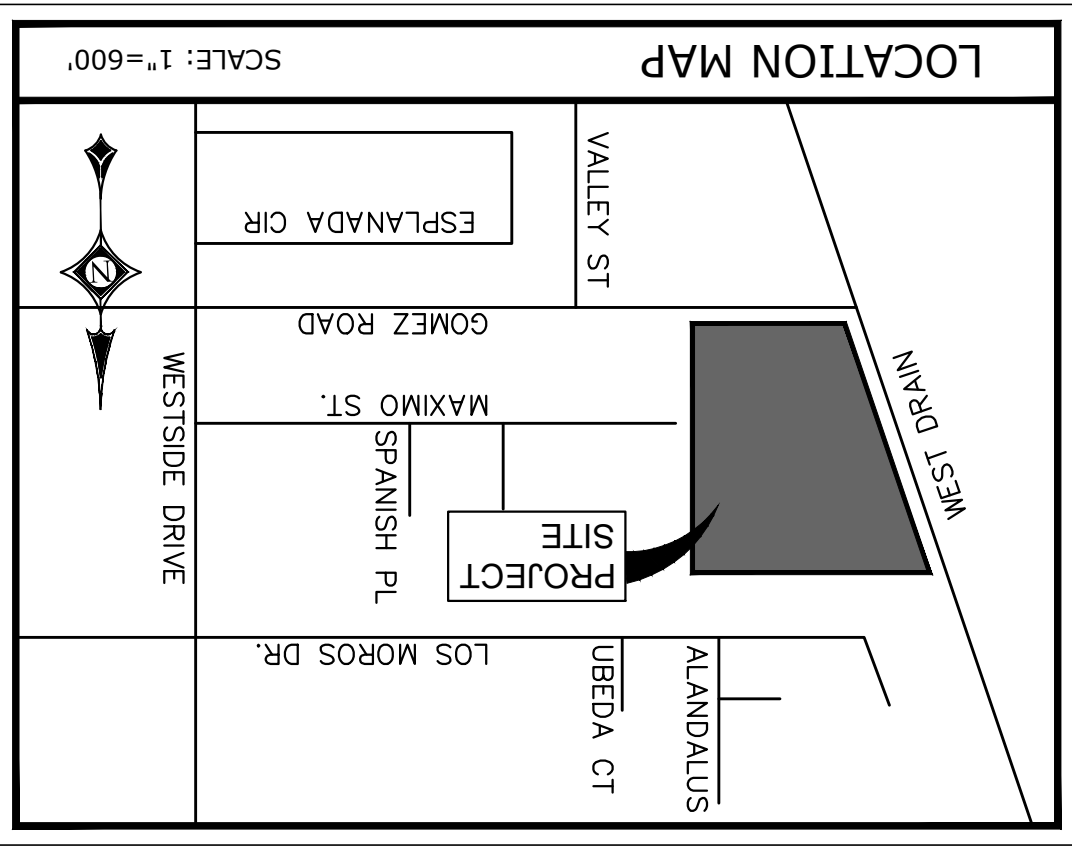
Curve No.	Length	Radius	Delta	Chord	Chord Direction
C1	34.14	20.00	97°48'14"	54°05'53"W	30.14
C2	14.89	30.00	27°51'38"	N21°54'03"W	14.44
C3	15.26	30.00	29°08'30"	N50°24'06"W	15.09
C4	62.75	50.00	71°54'12"	N29°01'15"W	58.71
C5	55.52	50.00	63°37'32"	N38°44'37"E	52.71
C6	17.33	50.00	19°51'37"	N80°29'11"E	17.24
C7	5.17	50.00	5°55'23"	S66°37'18"E	5.17
C8	60.93	50.00	69°49'03"	S48°45'05"E	57.23
C9	66.11	50.00	75°45'08"	S24°02'00"W	61.40
C10	26.14	30.00	49°55'05"	S36°57'02"W	25.32
C11	10.45	30.00	19°57'43"	S2°00'38"W	10.40
C12	28.68	20.00	82°09'22"	N49°02'55"W	26.28

Parcel Line Table

Line #	Direction	Length
L1	S89°55'06"E	6.93
L2	S2°44'43"E	5.84



1. THIS SURVEY AND BASES OF BEARING CONFORM TO THE PLAT OF SPANISH COURTS OF RECORD IN THE INSTRUMENT NUMBER 20080036765 FILED IN THE OFFICE OF EL PASO COUNTY CLERK'S OFFICE EL PASO COUNTY, TEXAS.
2. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE COMMITMENT.
3. VISIBLE UTILITIES WERE LOCATED AND ARE SHOWN HEREIN WHETHER PUBLIC OR PRIVATE.
4. THIS SURVEY WAS PERFORMED FOR THE BENEFIT OF LLC.
5. THIS PLAT OF SURVEY CONFORMS TO THE RULES AND PROCEDURES PROULGATED BY THE TEXAS BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS IN THE TEXAS ADMINISTRATIVE CODE, TITLE 22, PART 6.
6. LAND SURVEYING IS UNDER THE JURISDICTION OF TEXAS BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS. CONSULTANTS REGARDING SURVEYING SERVICES MAY BE ADDRESSED TO: 1917 S. INTERSTATE 55, AUSTIN, TEXAS 78741-3702, PHONE (512) 440-7723.
7. THIS SURVEY SUBSTANTIALLY COMPLIES WITH THE CURRENT PRACTICE REQUIREMENTS FOR A CATEGORY 1A, CONDITION 2, T.I.P.S. LAND TITLE SURVEY.
8. WEST GARDENS VILLAGE IS LOCATED WITHIN THE CITY OF EL PASO, ON THE WEST SIDE OF WESTSIDE DRIVE, APPROXIMATELY 1,600 FEET FROM THE INTERSECTION OF WESTSIDE DRIVE WITH GOMEZ ROAD.



G-3 Engineering, LLC
 1901 ARIZONA, SUITE 205 EL PASO, TX 79938
 (915) 209-5141 TRPLS F-10194079

Del Rio Engineering, Inc.
 P.O. Box 220251 El Paso, Texas 79913 915/833-2400

DATE: 03-30-2021

HIDDEN GARDENS

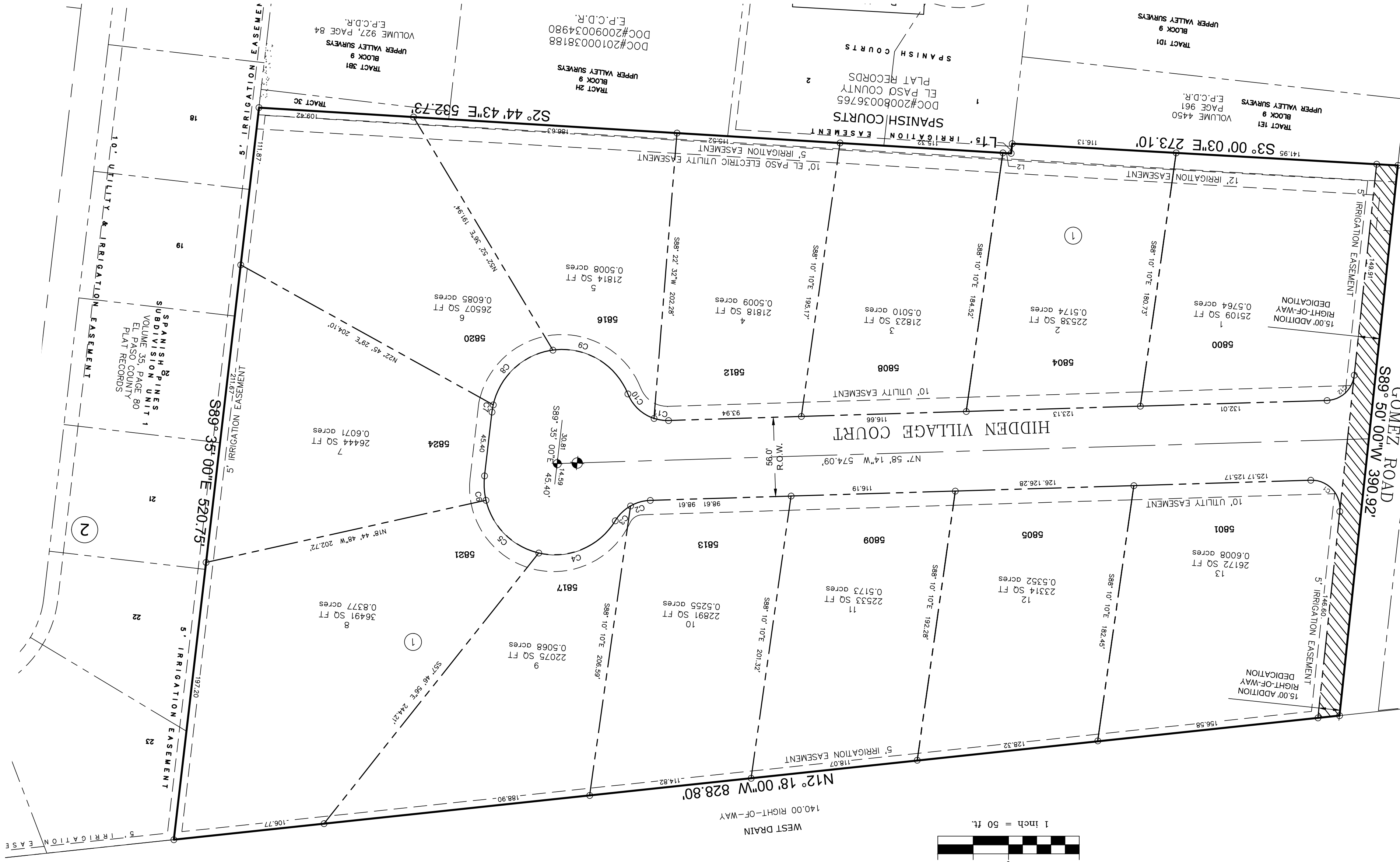
VILLAGE

TRACTS 1E, 1E2, 1F, 2B AND 3C,
CITY OF EL PASO, EL PASO COUNTY, TEXAS
BLOCK 9, UPPER VALLEY SURVEYS,
CONTAINING: 366,421 SQ. FT. OR 8.4118 ACRES

Curve No.	Length	Delta	Radius	Chord Direction	Chord Length
C1	34.14	20.00	9748.14	S40° 55' 53" W	30.14
C2	14.59	30.00	2751.38	N21° 54' 03" W	14.44
C3	15.26	30.00	2908.30	N50° 24' 06" W	15.09
C4	62.75	50.00	7154.12	N29° 01' 15" W	58.71
C5	55.52	50.00	6337.32	N38° 44' 37" E	52.71
C6	17.33	50.00	1931.37	N80° 29' 11" E	17.24
C7	5.17	50.00	5565.23	S86° 37' 18" E	5.17
C8	60.93	50.00	6949.03	S48° 45' 05" E	57.23
C9	66.11	50.00	7545.08	S24° 02' 00" W	61.40
C10	26.14	30.00	4955.05	S36° 57' 02" W	25.32
C11	10.45	30.00	1957.43	S2° 00' 38" W	10.40
C12	28.68	20.00	8209.22	N49° 02' 55" W	26.28

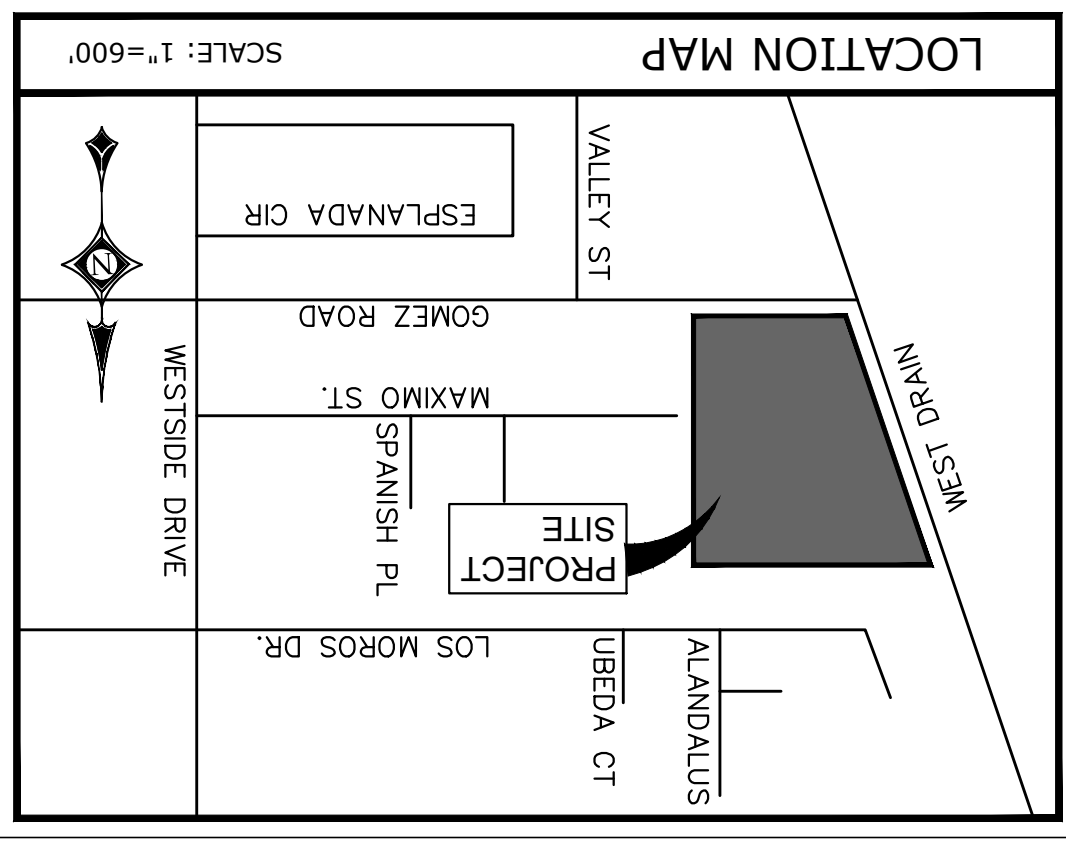
Line #	Direction	Length
L1	S89° 55' 06" E	6.93
L2	S2° 44' 43" E	5.84

Parcel Line Table



Symbol	Description
⊗	E.P.C.D.R. EL PASO COUNTY DEED RECORDS
⊙	CITY OF EL PASO MONUMENT
⊕	SET 1/2 INCH REINFORCING BAR WITH A PLASTIC CAP STAMPED TX OTHERWISSE SHOWN
○	PROPERTY CORNERS
⊕	PROPOSED CITY OF EL PASO MONUMENT
⊕	MAIL BOX DELIVERY UNIT
▨	ADDITIONAL RIGHT-OF-WAY

1. THIS SURVEY AND BASIS OF BEARING CORNER TO INSTRUMENT NUMBER 208002678 FILED IN THE PUBLIC RECORDS IN THE CITY OF EL PASO, EL PASO COUNTY, TEXAS.
2. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE COMMITMENT.
3. HEREIN WHETHER PUBLIC OR PRIVATE.
4. THIS SURVEY WAS PERFORMED FOR THE BENEFIT OF LLC.
5. THIS SURVEY CONFORMS TO THE RULES AND PROCEDURES ESTABLISHED BY THE TEXAS BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS IN THE TEXAS ADMINISTRATIVE CODE, TITLE 22, PART 6.
6. LAND SURVEYING IS UNDER THE JURISDICTION OF THE BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS. THIS SURVEYING SERVICE MAY BE ADDRESSED TO: 1917 S. INTERSTATE 35, AUSTIN, TEXAS 78741-3702. PHONE (512) 440-7723.
7. THIS SURVEY SUBSTANTIALLY COMPLETES WITH THE CURRENT TEXAS SOCIETY OF PROFESSIONAL SURVEYORS MANUAL OR PRACTICE REQUIREMENTS FOR A CATEGORY 1A, CONDITION 2. T.S.P.S. LAND TITLE SURVEY.



RESIDENTIAL LOTS: 13
SCHOOL DISTRICT: EL PASO I.S.D.
OWNER/DEVELOPER:
CLAYTON LAND HOLDINGS, LLC
EL PASO TX 79912
ENGINEERING AND PLANNING BY:
DEL RIO ENGINEERING
P.O. BOX 20251
EL PASO TX 79913
PH. 915.833.2400
G-ENGINEERING
P-3 ENGINEERING
1901 ARIZONA ST
EL PASO, TX 79938

LOCATION MAP
SCALE: 1"=600'
WEST SIDE OF WESTSIDE DRIVE, APPROXIMATELY 1,600 FEET FROM THE INTERSECTION OF WESTSIDE DRIVE WITH GOMEZ ROAD.

D R E
Del Rio Engineering, Inc.
915/833-2400
El Paso, Texas 79913
P.O. Box 20251

G-engineering, LLC
1901 ARIZONA, SUITE 205 EL PASO, TX 79938
(915) 209-5141 TRFELT F-1019479

- PLAT NOTES AND RESTRICTIONS:
1. THIS PROPERTY LIES IN ZONE "X", AS DESIGNATED BY F.E.M.A. EL PASO COUNTY, TEXAS.
 2. COMMUNITY PANEL NO. 440212-0125 B, DATED SEPTEMBER 04, 1991.
 3. TAX CERTIFICATES FOR THIS PROPERTY ARE FILED IN THE EL PASO COUNTY CLERK'S OFFICE, INSTRUMENT NO. _____ DATE _____
 4. WATER SUPPLY WILL BE PROVIDED BY THE EL PASO WATER UTILITIES.
 5. POSTAL DELIVERY SERVICE WITHIN THE SUBDIVISION WILL BE PROVIDED USING NEIGHBORHOOD DELIVERY AND COLLECTION BOX UNITS.
 6. LOT OWNER IS RESPONSIBLE FOR MAINTAINING DRIVEWAYS, SIDEWALKS AND PARKWAYS ABUTTING THEIR PROPERTY.
 7. SET 5/8" REBAR AT ALL EXTERIOR BOUNDARY CORNERS UNLESS OTHERWISE NOTED.
 8. SET 5/8" REBAR AT ALL LOT CORNERS TO BE DONE AFTER CONSTRUCTION IS COMPLETED.
 9. ALL EASEMENTS ARE 10' WIDE UTILITY EASEMENT UNLESS OTHERWISE NOTED.
 10. POSTAL DELIVERY SERVICE WITHIN THE SUBDIVISION WILL BE PROVIDED USING NEIGHBORHOOD DELIVERY AND COLLECTION BOX UNITS.
 11. BUILDING SETBACKS FOR R-2 ZONING, FRONT 25 FEET, REAR 25 FEET WITH CUMULATIVE 60 FEET, SIDE YARD 8 FEET, SIDE STREET 10 FEET WITH CUMULATIVE 20 FEET.

- GENERAL NOTES FOR ON-SITE PONDING LOTS:
1. ALL LOTS WITHIN THIS SUBDIVISION SHALL COMPLY WITH ALL PROVISIONS OF SECTION 1916.060, RESIDENTIAL, ON-SITE PONDING OF THE CITY OF EL PASO MUNICIPAL CODE IN ADDITION TO THE FOLLOWING NOTES:
 2. THE MAXIMUM DEPTH OF LOT PONDING SHALL BE TWELVE (12) INCHES BASED ON A ONE-HUNDRED (100) YEAR STORM.
 3. THE MAXIMUM SIDE SLOPE FOR PONDING AREAS SHALL BE ON (1-VERTICAL) TO THREE (3-HORIZONTAL).
 4. ALL LOTS SHALL BE DESIGNED TO ACCOMMODATE THE STREET RUNOFF.
 5. PERMANENT ELEVATION MARKERS SHALL BE PLACED PRIOR TO BUILDING OCCUPANCY.
 6. FILING OR CHANGING THE LOT, OR ALLOWING THE LOT TO BE FILLED OR CHANGED TO AN ELEVATION GREATER THAN ESTABLISHED BY THE PERMANENT ELEVATION MARKERS IS PROHIBITED.
 7. THE CITY SHALL BE GRANTED PERMANENT RIGHT OF ACCESS TO INSPECT THE LOT.
 8. IMPROVEMENT OF THE RESIDENTIAL ON-SITE PONDING IS PROHIBITED.
 9. THE OWNER IS THE RESTORER OF THE RESIDENTIAL ON-SITE PONDING FUNCTIONALITY OF THE LOT IN THE EVENT IT IS IMPAIRED.
 10. A RESTRICTION THAT NO MORE THAN 50 PERCENT OF THE AREA OF THE RESIDENTIAL LOT CONVEYED BY THE DEED MAY EVER BE COVERED BY IMPROVEMENTS OF ANY KIND, EITHER TEMPORARY OR PERMANENT, WHICH WILL SHED STORMWATER ONTO THE LOT.

Approved for filing this _____ day of _____, 2021.
Executive Secretary

Approved for filing this _____ day of _____, 2021.
Notary Public in and for El Paso County
My Commission Expires _____

CITY PLAN COMMISSION
UNDER LOCAL GOVERNMENT CODE 212
This subdivision is hereby approved as to the platting and as to the condition of the dedication in accordance with Chapter 212 of the Local Government Code of Texas this _____ day of _____, 2021, A.D.

Notary Public in and for El Paso County
My Commission Expires _____
Given under my hand and seal of office this _____ day of _____, 2021.
expressed.

STATE OF TEXAS
COUNTY OF EL PASO
BEFORE ME, the undersigned authority, on this day personally appeared Sol Masoud, a duly sworn, declared that the statements herein are true and correct and by me first duly sworn, declared that the statements herein are true and correct and acknowledged that he executed the same for the purposes and consideration thereby expressed.

ACKNOWLEDGEMENT
Sol Masoud, Partner Manager
Date _____

I attest that the matters asserted in this plat are true and complete.
D) sewer connections provided to the lots meet, or will meet, the minimum state standards.
C) gas connections, if available, provided to the lots meet, or will meet, the minimum state standards.
B) electrical connections provided to the lots meet, or will meet, the minimum state standards.
A) the water quality and connections to the lots meet, or will meet, the minimum state standards.

encompassed with the proposed Hidden Gardens Village, hereby subdivide the land as described in this subdivision plat and dedicate to public use the utility and irrigation easements as hereon laid down and designated, including easements for service wires for pole type utilities and the right for installation or overhead service wires for pole type utilities and the right for installation of service poles alongside lot lines as may be required, easements for buried service wires, conduits and pipes for underground utilities, and the right to ingress and egress for service and construction, and the right to trim interfering trees and shrubs shown herein.

OWNER'S DEDICATION, CERTIFICATION AND ATTESTATION
COUNTY OF EL PASO
STATE OF TEXAS

TRACTS 1E, 1E2, 1F, 2B AND 3C,
CITY OF EL PASO, EL PASO COUNTY, TEXAS
BLOCK 9, UPPER VALLEY SURVEYS,
CONTAINING: 366,421 SQ. FT. OR 8.4118 ACRES

By Deputy _____ Date _____
El Paso County Clerk _____ Date _____

Subdivision Improvement Plans were prepared by and under the supervision of Sol B. Masoud, Registered Professional Engineer # 70774
SAL B. MASOUD P.E. #70774
December 15, 2019
James D. Whitaker Registered Professional Land Surveyor
Texas No. No.5679
P.O. Box 20251

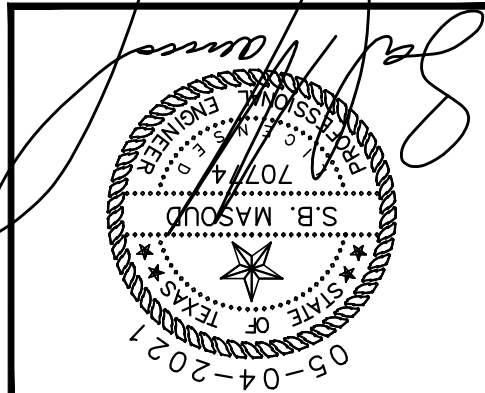
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Release Dates:	

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HORIZONTAL: AS NOTED

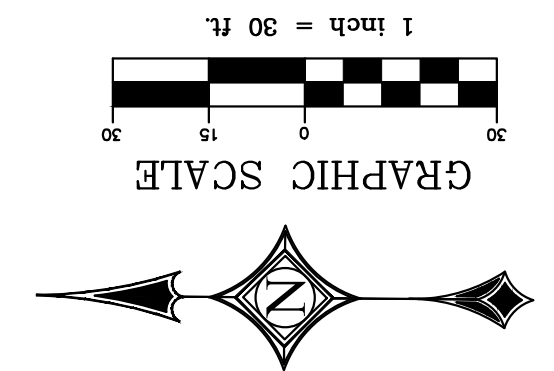
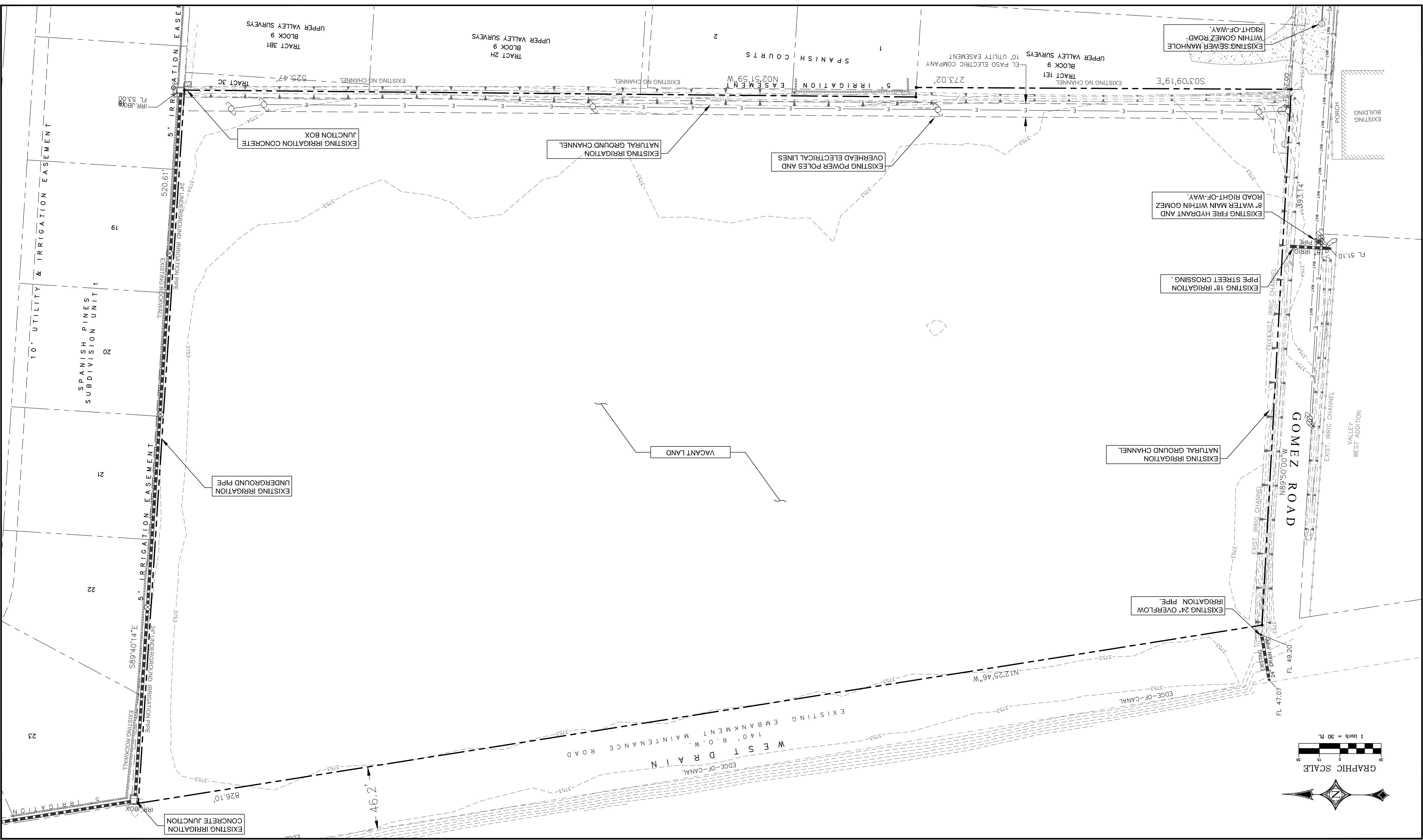
Del Rio Engineering, Inc.
P. O. Box 220251 El Paso, Texas 79913 915/833-2400 TBPE Firm #: P-1093

DRE
Del Rio Engineering, Inc.

EXISTING CONDITIONS PLAN
HIDDEN GARDENS VILLAGE
TRACTS 1E, 1E2, 1F, 2B, AND 3C1,
BLOCK 9, UPPER VALLEY SURVEYS,
CITY OF EL PASO, EL PASO COUNTY, TEXAS



PROJECT #	J20-095
Design By:	LU
Drawn By:	LU
SHEET:	C-03



Revisions:	
Release Dates:	

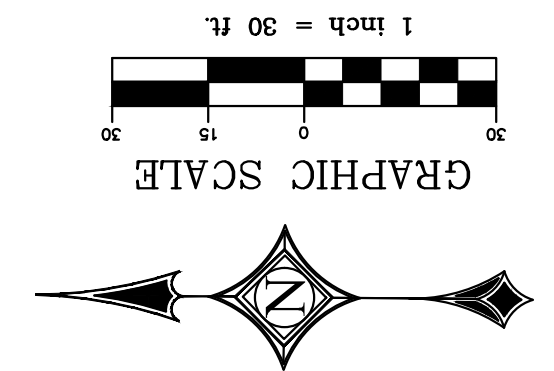
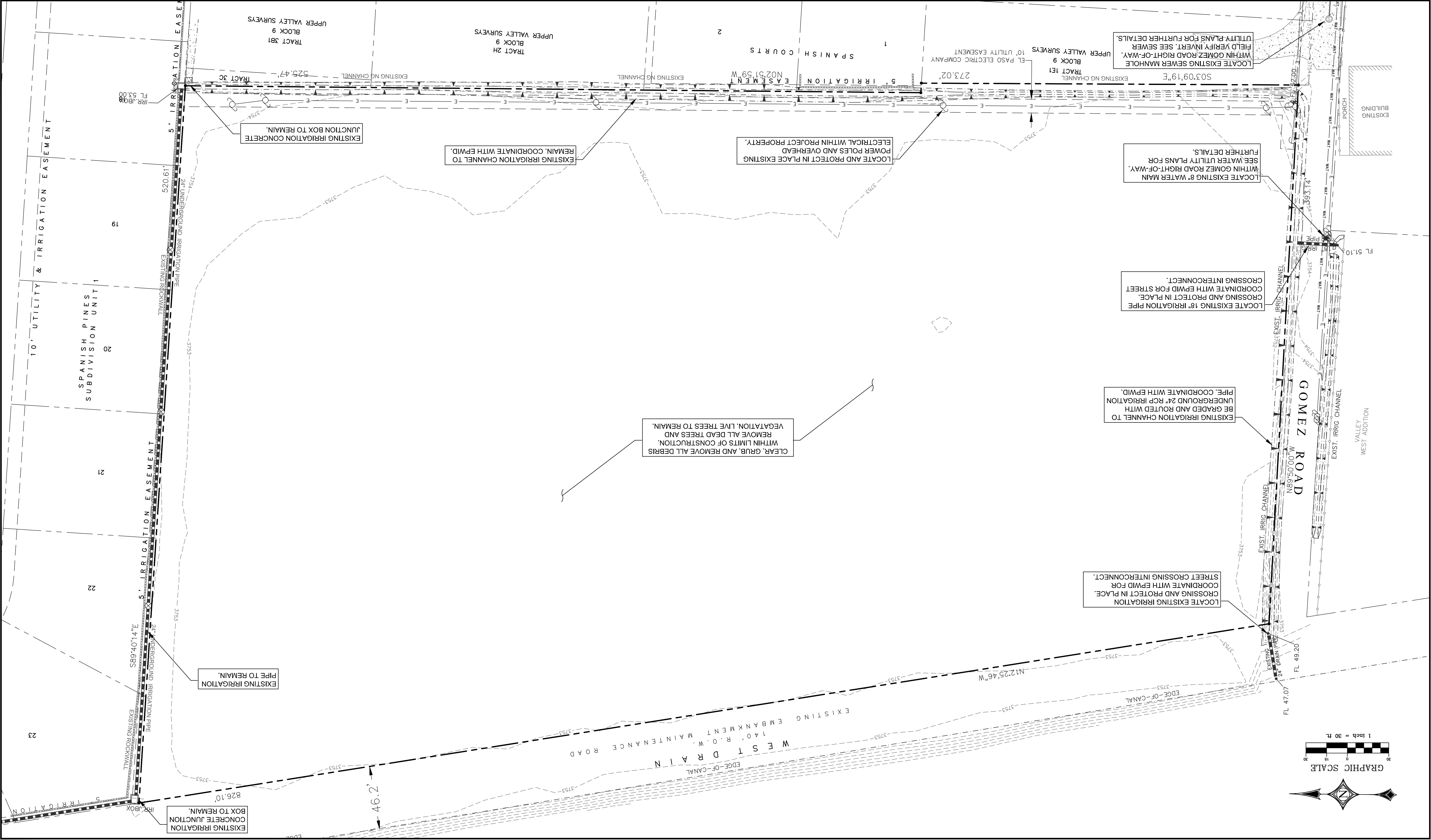
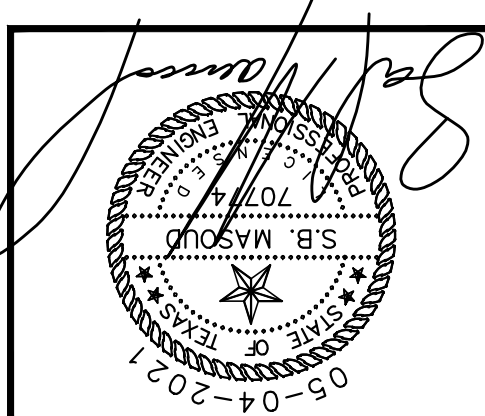
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 PROFILES
 SCALE: AS NOTED
 HORIZONTAL: AS NOTED

Del Rio Engineering, Inc.
 P. O. Box 220251 El Paso, Texas 79913 915/833-2400 TBPPE Firm #: P-1093



DEMOLITION PLAN
 HIDDEN GARDENS VILLAGE
 TRACTS 1E, 1E2, 1F, 2B, AND 3C1,
 BLOCK 9, UPPER VALLEY SURVEYS,
 CITY OF EL PASO, EL PASO COUNTY, TEXAS

PROJECT #	J20-095	Plot Date:	05-04-2021	SCALE	1"=30'
Design By:	LU	Drawn By:	LU	SHEET:	C-04



LOCATE EXISTING IRRIGATION CROSSING AND PROTECT IN PLACE. COORDINATE WITH EPWID FOR STREET CROSSING INTERCONNECT.

EXISTING IRRIGATION CHANNEL TO BE GRADED AND ROUTED WITH UNDERGROUND 24" RCP IRRIGATION PIPE. COORDINATE WITH EPWID.

LOCATE EXISTING 18" IRRIGATION PIPE CROSSING AND PROTECT IN PLACE. COORDINATE WITH EPWID FOR STREET CROSSING INTERCONNECT.

LOCATE EXISTING 8" WATER MAIN WITHIN GOMEZ ROAD RIGHT-OF-WAY. SEE WATER UTILITY PLANS FOR FURTHER DETAILS.

LOCATE EXISTING SEWER MANHOLE WITHIN GOMEZ ROAD RIGHT-OF-WAY. FIELD VERIFY INVERT. SEE SEWER UTILITY PLANS FOR FURTHER DETAILS.

LOCATE AND PROTECT IN PLACE EXISTING POWER POLES AND OVERHEAD

EXISTING IRRIGATION CHANNEL TO REMAIN. COORDINATE WITH EPWID.

EXISTING IRRIGATION CONCRETE JUNCTION BOX TO REMAIN.

CLEAR, GRUB, AND REMOVE ALL DEBRIS WITHIN LIMITS OF CONSTRUCTION. REMOVE ALL DEAD TREES AND VEGETATION. LIVE TREES TO REMAIN.

EXISTING IRRIGATION PIPE TO REMAIN.

EXISTING IRRIGATION CONCRETE JUNCTION BOX TO REMAIN.

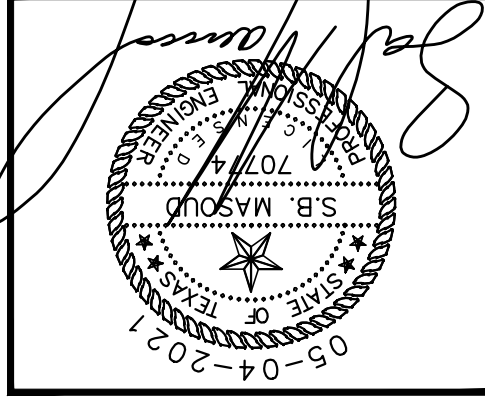
Revisions:	
Release Dates:	

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PROFILES
SCALE: AS NOTED
HORIZONTAL: AS NOTED
VERTICAL: AS NOTED

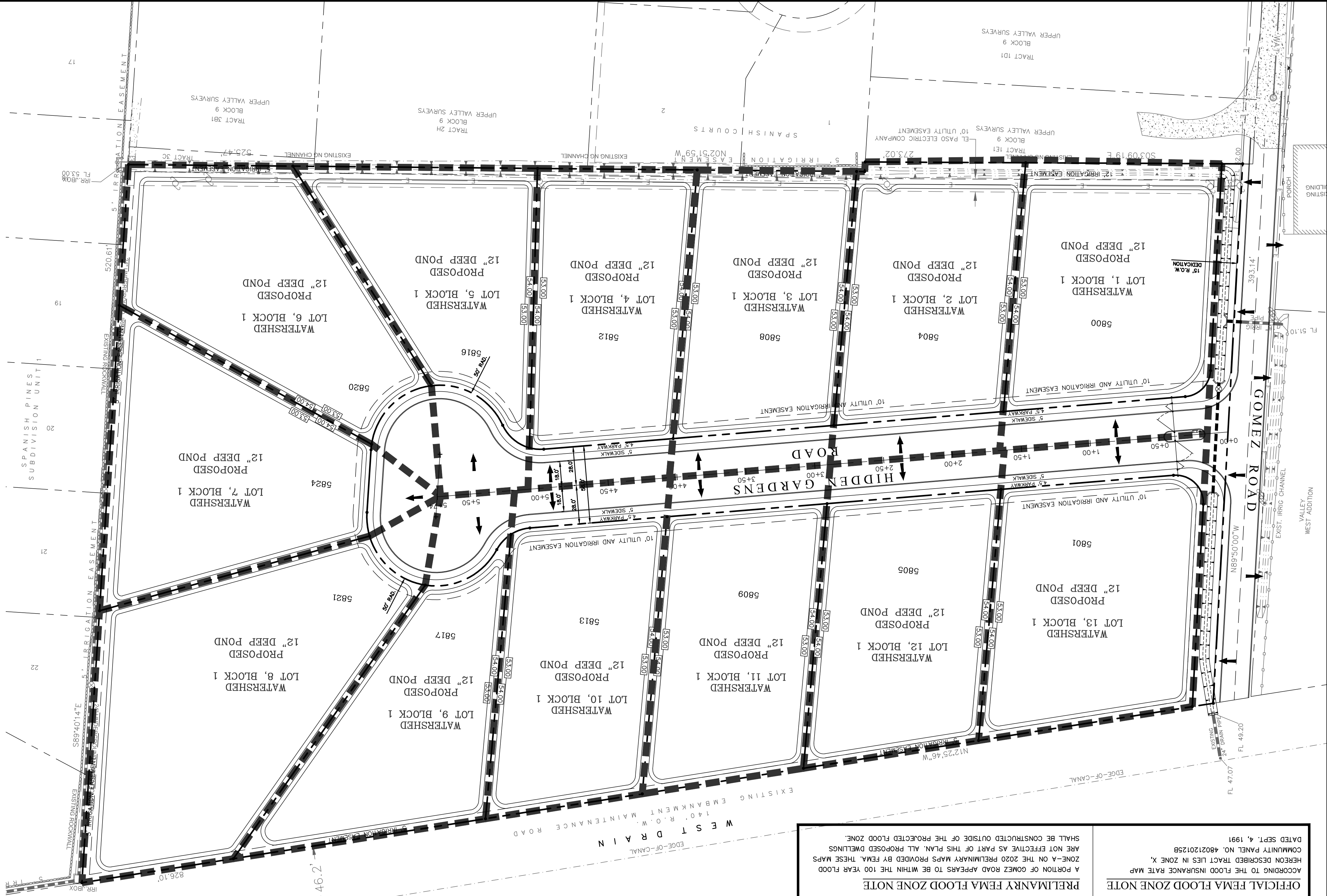
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Del Rio Engineering, Inc.
P.O. Box 220251 El Paso, Texas 79913 915/833-2400 TRPE Firm #: P-1093

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DRAINAGE MAP
HIDDEN GARDENS VILLAGE
TRACTS 1E, 1E2, 1E2B, AND 3C1
BLOCK 9, UPPER VALLEY SURVEYS,
CITY OF EL PASO, EL PASO COUNTY, TEXAS



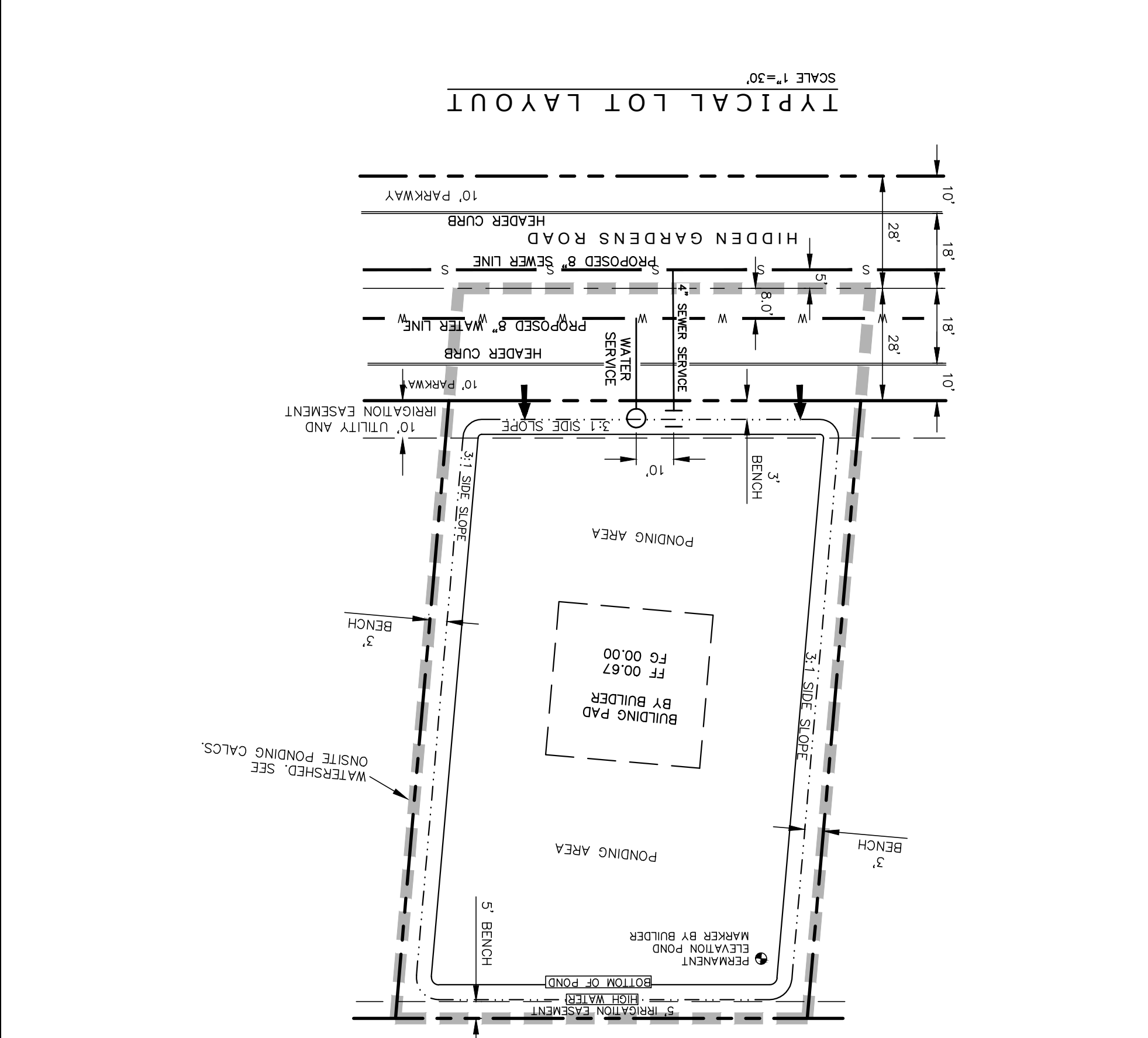
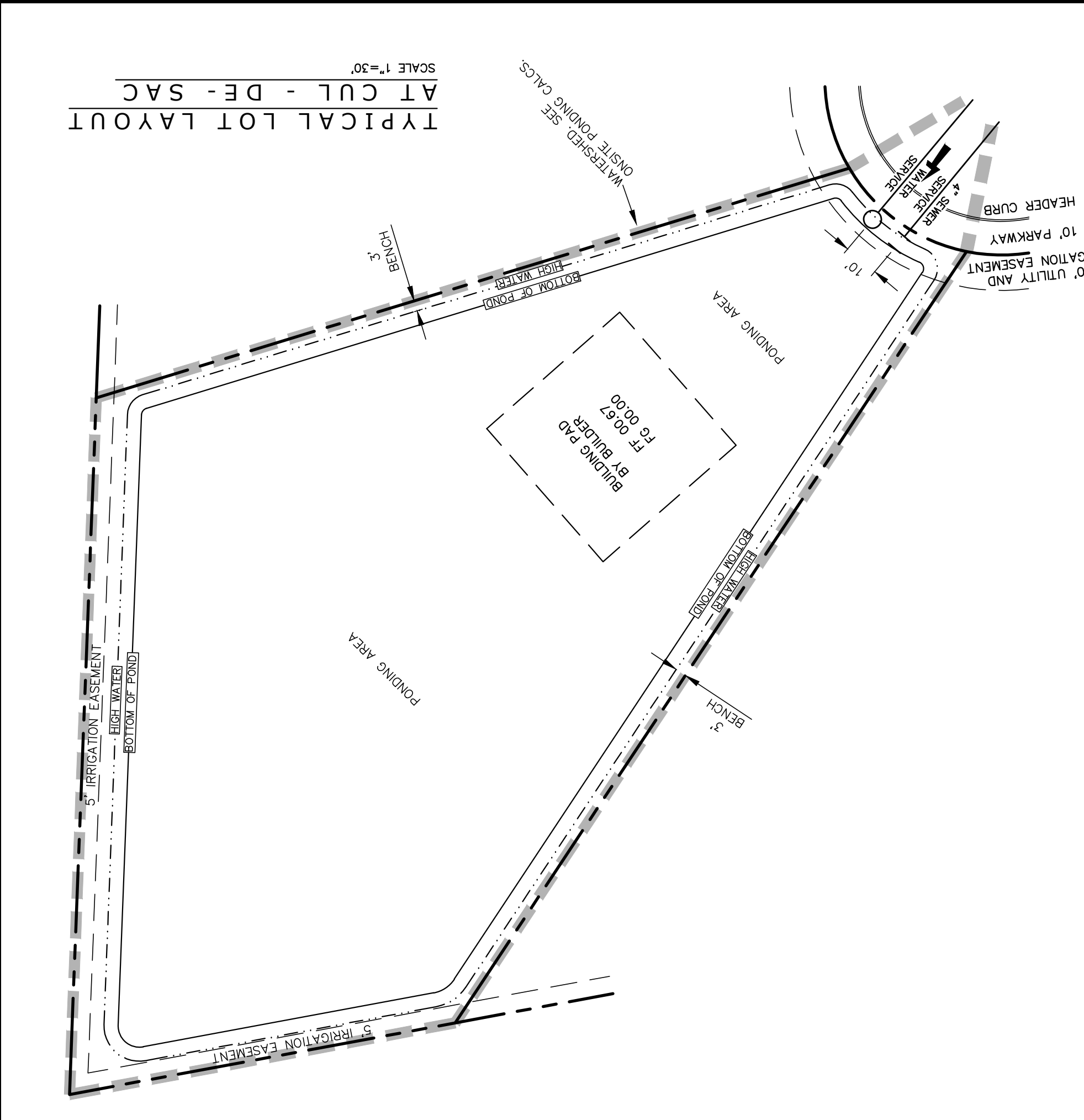
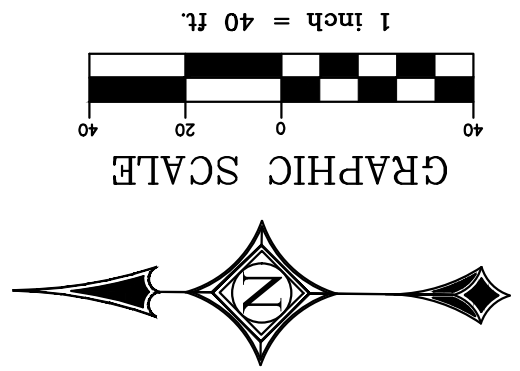
PROJECT #	J20-095
Design By:	LU
Drawn By:	LU
SHEET:	C-06
Plot Date:	05-04-2021
SCALE	1"=30'



OFFICIAL FEMA FLOOD ZONE NOTE
ACCORDING TO THE FLOOD INSURANCE RATE MAP HEREON DESCRIBED TRACT LIES IN ZONE X. A PORTION OF GOMEZ ROAD APPEARS TO BE WITHIN THE 100 YEAR FLOOD ZONE-A ON THE 2020 PRELIMINARY MAPS PROVIDED BY FEMA. THESE MAPS ARE NOT EFFECTIVE AS PART OF THIS PLAN. ALL PROPOSED DWELINGS SHALL BE CONSTRUCTED OUTSIDE OF THE PROJECTED FLOOD ZONE. DATED SEPT. 4, 1991

WATERSHED	AREA (ACRES)	RUNOFF COEFFICIENT (C)	REQUIRED PONDING (CU.FT.)	WATERSHED	AREA (ACRES)	RUNOFF COEFFICIENT (C)	REQUIRED PONDING (CU.FT.)
LOT 1, BLOCK 1	0.60	0.679	5,915 CU.FT.	LOT 7, BLOCK 1	0.60	0.678	5,907 CU.FT.
LOT 2, BLOCK 1	0.60	0.598	5,236 CU.FT.	LOT 8, BLOCK 1	0.60	0.679	5,915 CU.FT.
LOT 3, BLOCK 1	0.60	0.775	5,018 CU.FT.	LOT 9, BLOCK 1	0.60	0.120	5,236 CU.FT.
LOT 4, BLOCK 1	0.60	0.567	4,940 CU.FT.	LOT 10, BLOCK 1	0.60	0.115	5,018 CU.FT.
LOT 5, BLOCK 1	0.60	0.533	4,635 CU.FT.	LOT 11, BLOCK 1	0.60	0.591	5,149 CU.FT.
LOT 6, BLOCK 1	0.60	0.697	6,072 CU.FT.	LOT 12, BLOCK 1	0.60	0.123	5,358 CU.FT.
LOT 7, BLOCK 1	0.60	0.136	6,072 CU.FT.	LOT 13, BLOCK 1	0.60	0.140	6,090 CU.FT.

WATERSHED	AREA (ACRES)	RUNOFF COEFFICIENT (C)	REQUIRED PONDING (CU.FT.)	WATERSHED	AREA (ACRES)	RUNOFF COEFFICIENT (C)	REQUIRED PONDING (CU.FT.)
LOT 1, BLOCK 1	0.60	0.679	5,915 CU.FT.	LOT 7, BLOCK 1	0.60	0.678	5,907 CU.FT.
LOT 2, BLOCK 1	0.60	0.598	5,236 CU.FT.	LOT 8, BLOCK 1	0.60	0.679	5,915 CU.FT.
LOT 3, BLOCK 1	0.60	0.775	5,018 CU.FT.	LOT 9, BLOCK 1	0.60	0.120	5,236 CU.FT.
LOT 4, BLOCK 1	0.60	0.567	4,940 CU.FT.	LOT 10, BLOCK 1	0.60	0.115	5,018 CU.FT.
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LOT 7, BLOCK 1	0.60	0.136	6,072 CU.FT.	LOT 13, BLOCK 1	0.60	0.140	6,090 CU.FT.



Release Date: _____
 Revisions: _____

All drawings submitted in relation to the project shall locate ALL EXISTING UNDERGROUND IMPROVEMENTS IN PROJECT AREA. CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES PRIOR TO ANY EXCAVATION AND/OR POSSIBLE RELOCATION OF UTILITIES ENCOUNTERED. SEE CONTACT LIST BELOW.

PLAN
 SCALE: AS NOTED

PROFILES
 SCALE: AS NOTED

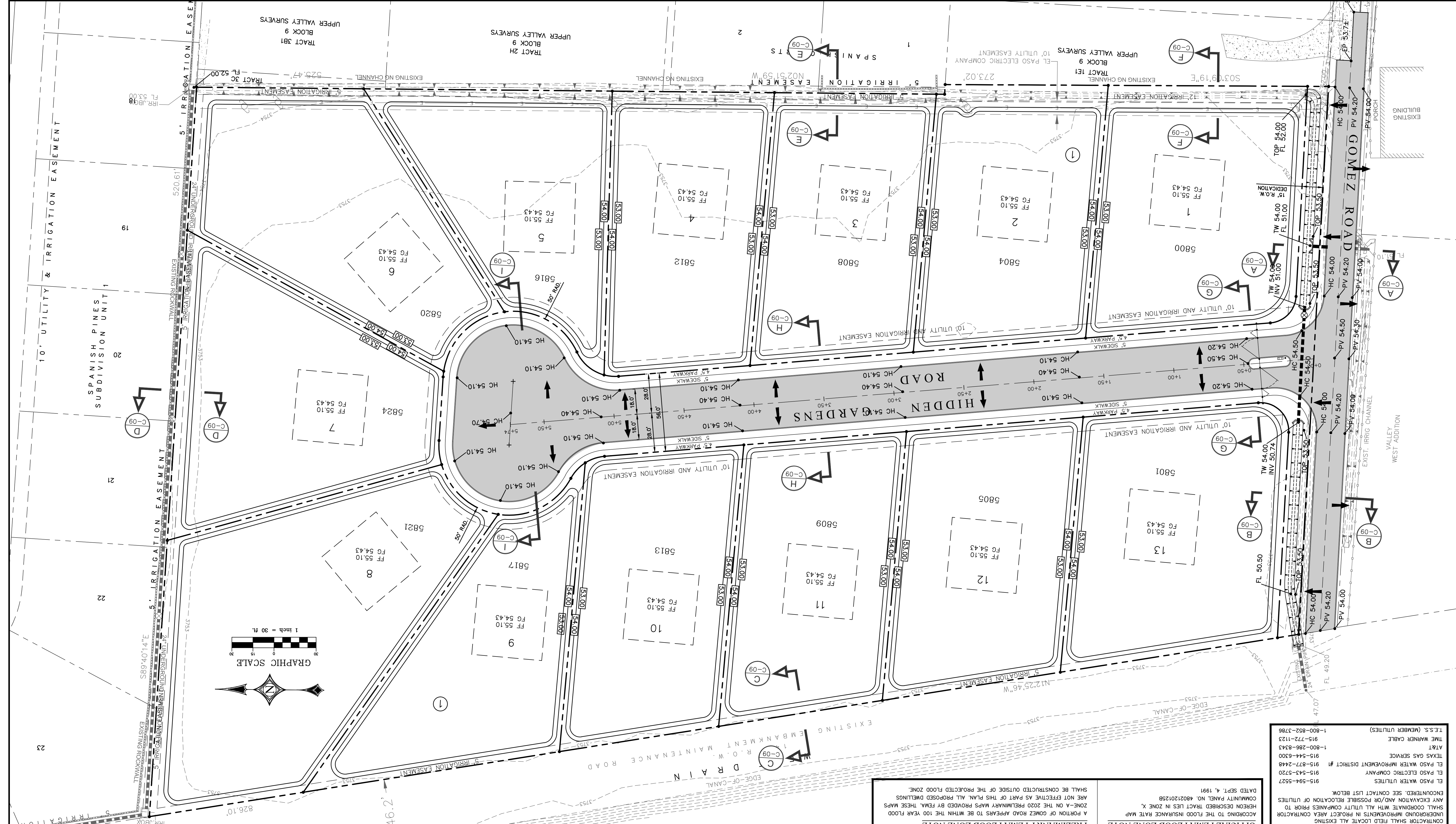
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D R E
 Del Rio Engineering, Inc.
 P. O. Box 220251 El Paso, Texas 79913 915/833-2400 TRPE Firm #: P-1093

GRADING AND DRAINAGE PLAN
HIDDEN GARDENS VILLAGE
 TRACTS 1E, 1E2, 1F, 2B, AND 3C1,
 BLOCK 9, UPPER VALLEY SURVEYS,
 CITY OF EL PASO, EL PASO COUNTY, TEXAS

PROJECT #: J20-095
 Plot Date: 05-04-2021
 SCALE: 1"=30'

DESIGN BY: LU
 DRAWN BY: LU
 SHEET: C-07



- | | |
|---------------------------------------|----------------|
| EL PASO WATER UTILITIES | 915-594-5527 |
| EL PASO ELECTRIC COMPANY | 915-543-5720 |
| EL PASO WATER IMPROVEMENT DISTRICT #1 | 915-877-2448 |
| TEXAS GAS SERVICE | 915-544-6300 |
| AT&T | 1-800-286-8343 |
| TIME WARNER CABLE | 915-772-1123 |
| T.E.S.S. (MEMBER UTILITIES) | 1-800-852-3798 |

WARNING! BEFORE YOU DIG

CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND IMPROVEMENTS IN PROJECT AREA. CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES PRIOR TO ANY EXCAVATION AND/OR POSSIBLE RELOCATION OF UTILITIES ENCOUNTERED. SEE CONTACT LIST BELOW.

EL PASO WATER UTILITIES
 915-594-5527

EL PASO ELECTRIC COMPANY
 915-543-5720

EL PASO WATER IMPROVEMENT DISTRICT #1
 915-877-2448

TEXAS GAS SERVICE
 915-544-6300

AT&T
 1-800-286-8343

TIME WARNER CABLE
 915-772-1123

T.E.S.S. (MEMBER UTILITIES)
 1-800-852-3798

OFFICIAL FEMA FLOOD ZONE NOTE
 ACCORDING TO THE FLOOD INSURANCE RATE MAP HEREON DESCRIBED TRACT LIES IN ZONE X. COMMUNITY PANEL NO. 48021201258 DATED SEPT. 4, 1991 SHALL BE CONSTRUCTED OUTSIDE OF THE PROJECTED FLOOD ZONE.

PRELIMINARY FEMA FLOOD ZONE NOTE
 A PORTION OF GOMEZ ROAD APPEARS TO BE WITHIN THE 100 YEAR FLOOD ZONE-A ON THE 2020 PRELIMINARY MAP PROVIDED BY FEMA. THESE MAPS ARE NOT EFFECTIVE AS PART OF THIS PLAN. ALL PROPOSED DEMLINGS CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES PRIOR TO ANY EXCAVATION AND/OR POSSIBLE RELOCATION OF UTILITIES ENCOUNTERED. SEE CONTACT LIST BELOW.

Revisions:	
Release Dates:	

All drawings submitted in relation to this project shall be the property of Del Rio Engineering, Inc. and shall remain confidential. The contractor shall notify the owner of any changes or modifications to the drawings and specifications for written approval. The contractor shall be responsible for verifying all data shown on the plans. If discrepancies are found, the contractor shall notify the owner of any changes or modifications to the drawings and specifications for written approval. The contractor shall be responsible for verifying all data shown on the plans. If discrepancies are found, the contractor shall notify the owner of any changes or modifications to the drawings and specifications for written approval.

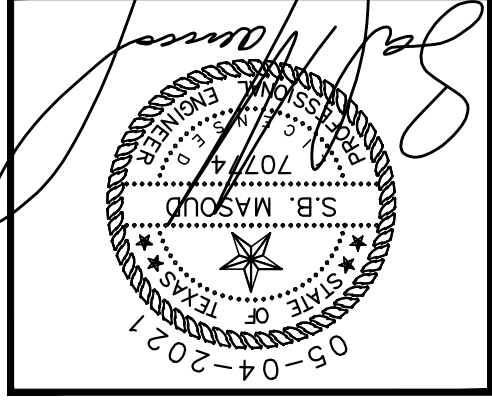
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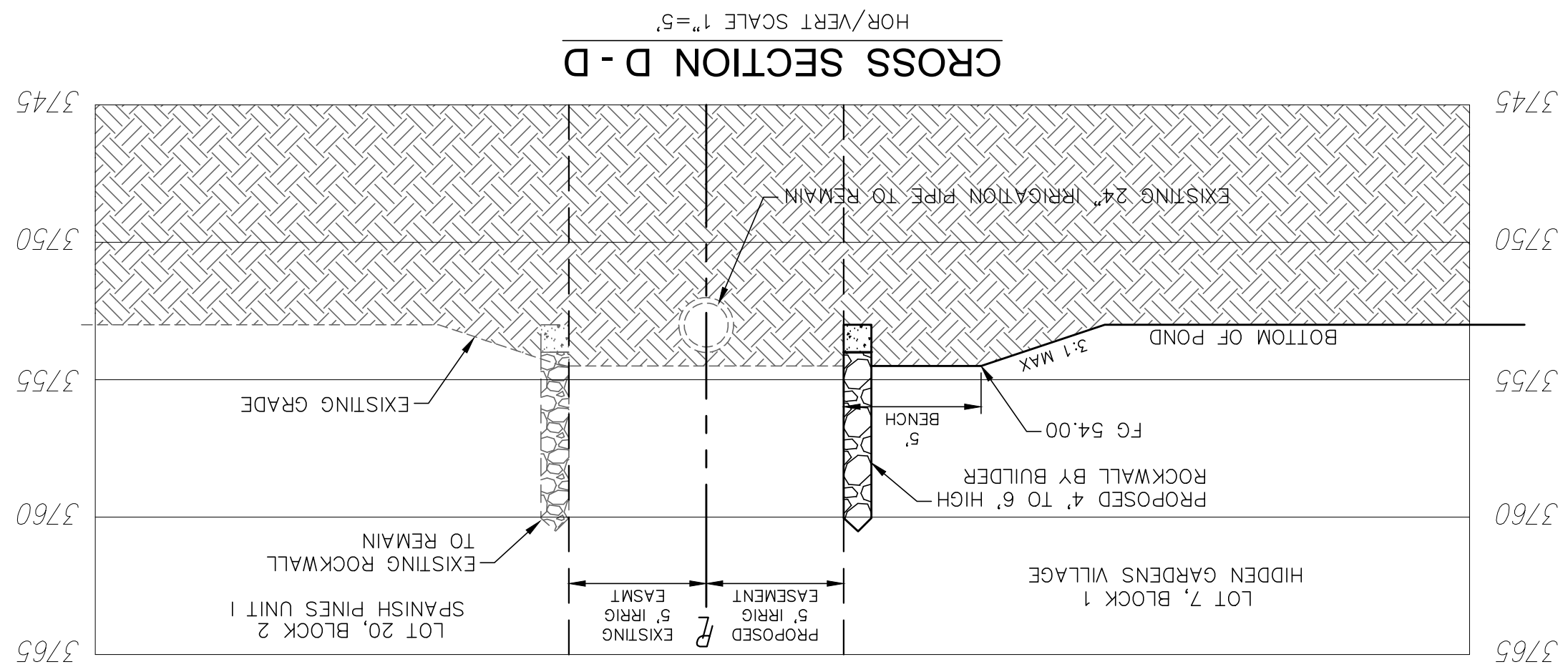
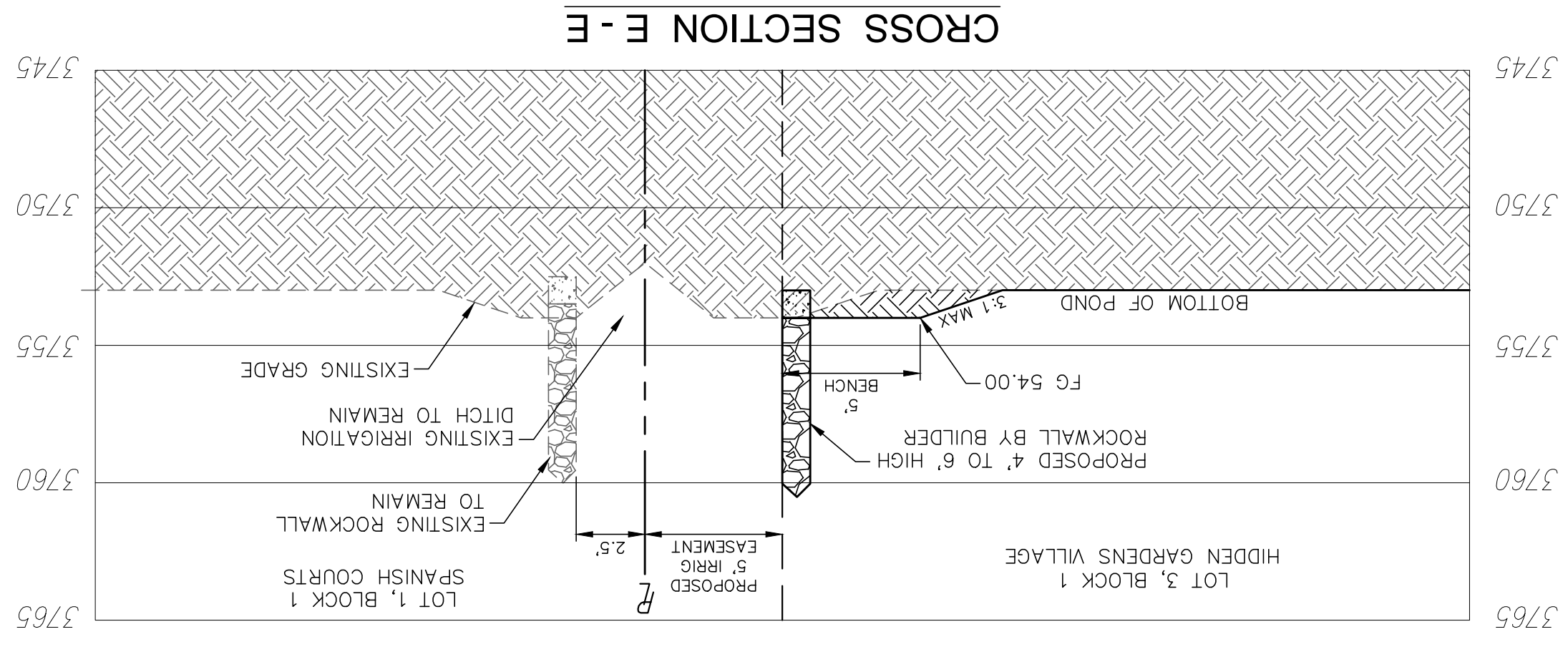
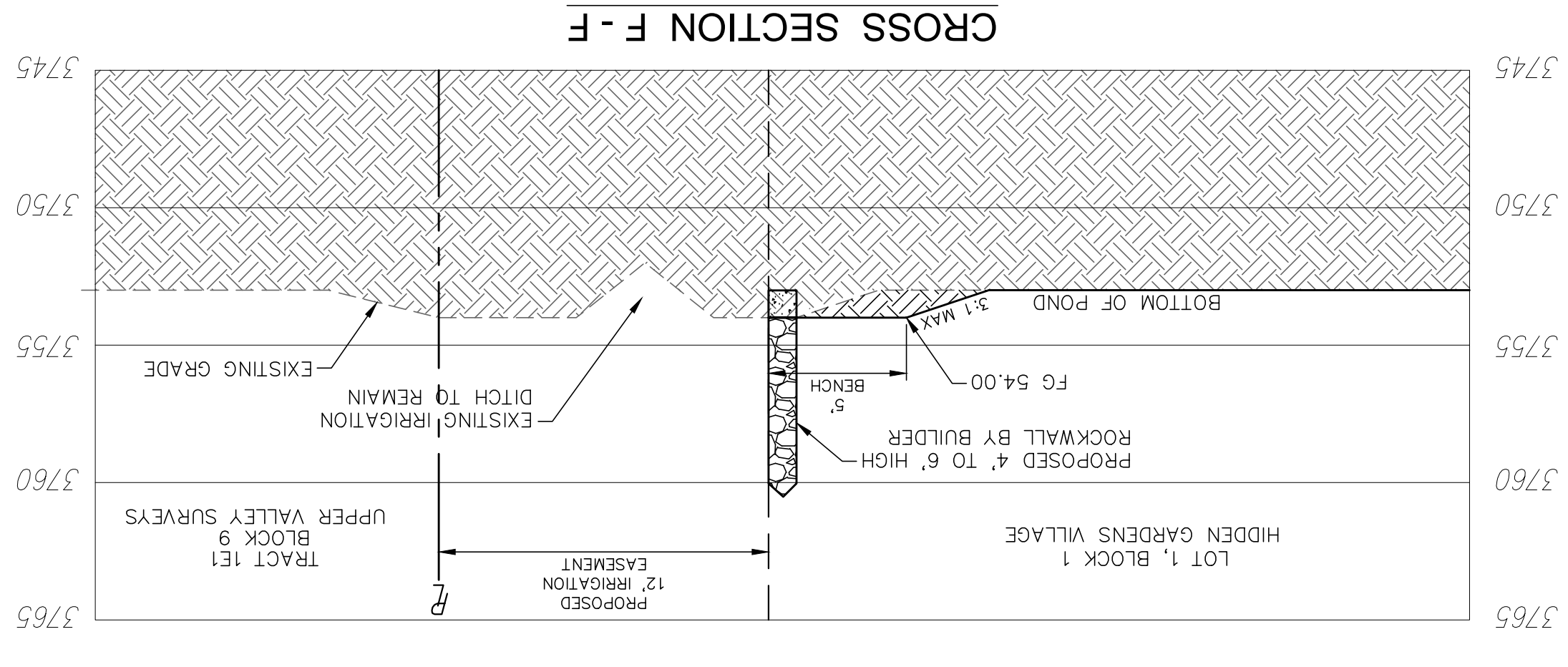
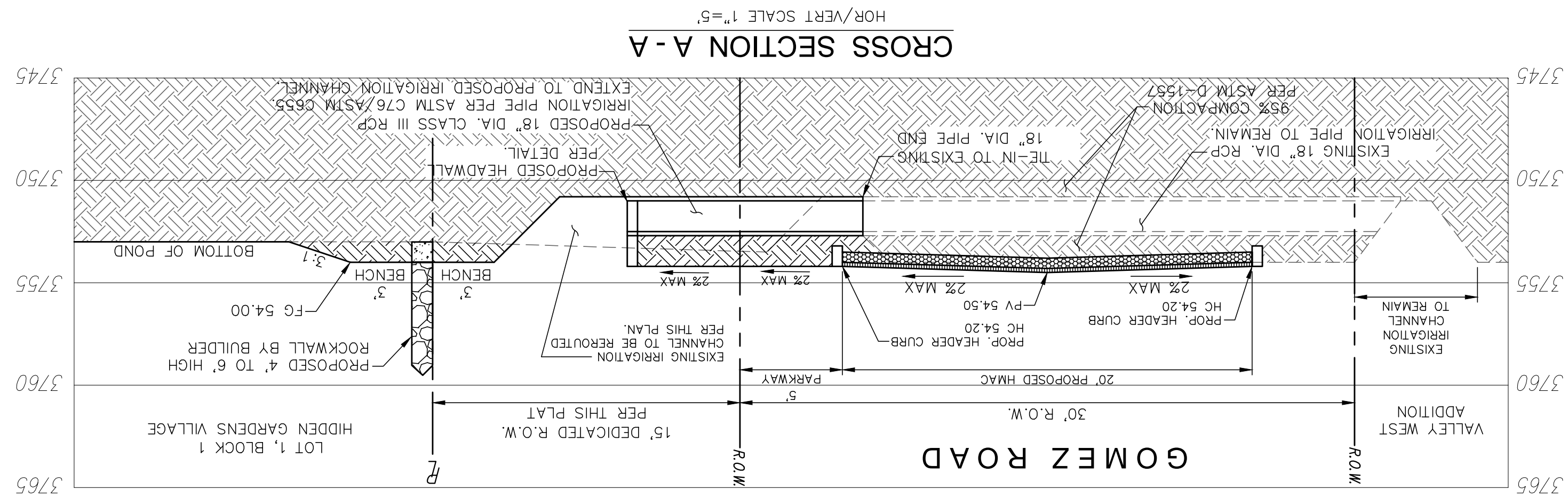
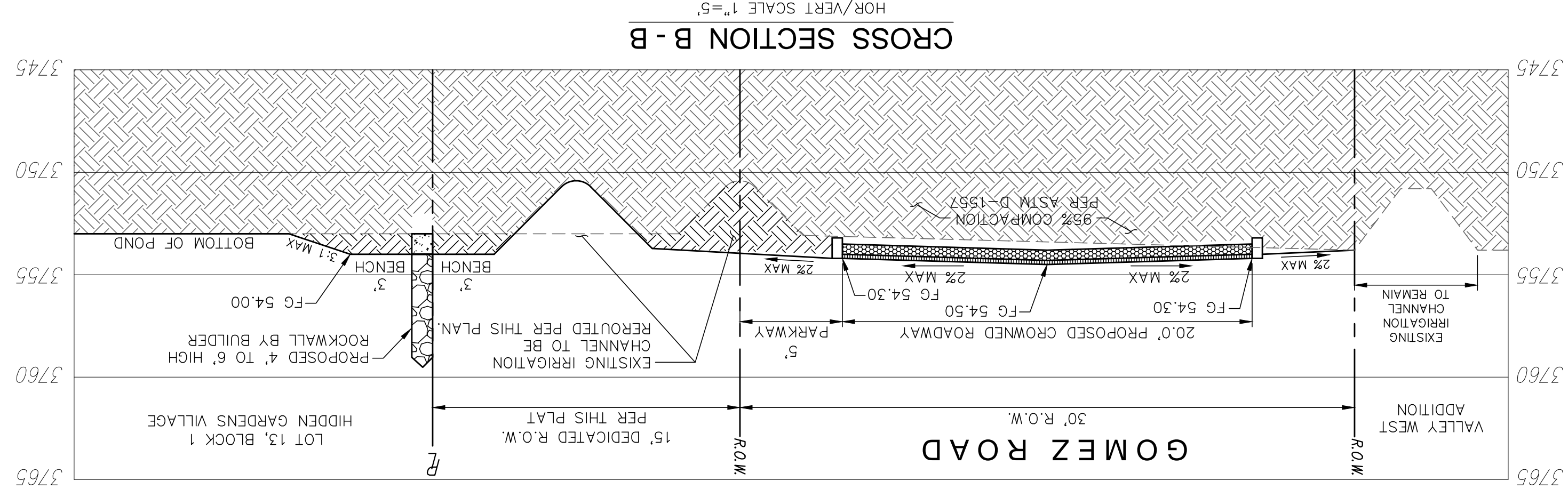
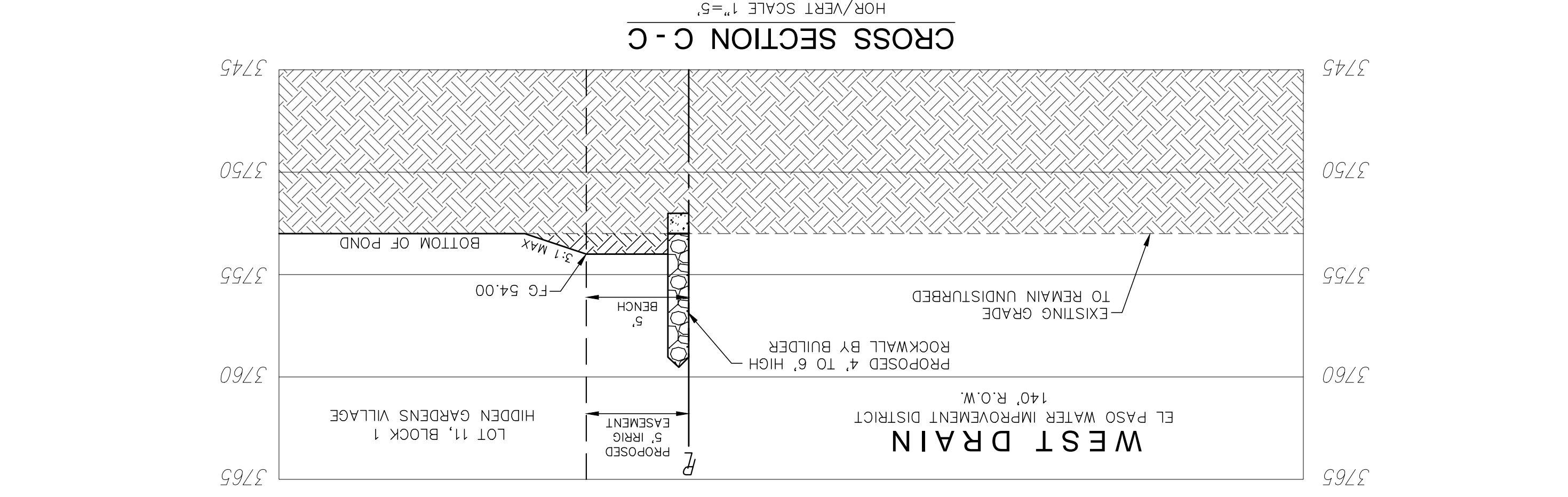
Del Rio Engineering, Inc.
 P. O. Box 220251 El Paso, Texas 79913 915/833-2400 TRPE Firm #: P-1093

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CROSS SECTIONS
HIDDEN GARDENS VILLAGE
TRACTS 1E, 1E2, 1F, 2B, AND 3C1,
BLOCK 9, UPPER VALLEY SURVEYS,
CITY OF EL PASO, EL PASO COUNTY, TEXAS



PROJECT #	J20-095
Plot Date:	05-04-2021
SCALE	1"=5'
SHEET:	C-08
Design By:	LU
Drawn By:	LU



COMPACTION NOTE:
 ALL SUBGRADE UNDER CONCRETE SURFACES SHALL BE 95% COMPACTION PER ASTM D1557. ROADWAY HMAC PAVEMENT SECTION SHALL BE CONSTRUCTED AS PER SOILS REPORT.

Revisions:	
Release Dates:	

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SCALE: AS NOTED
HORIZONTAL: AS NOTED

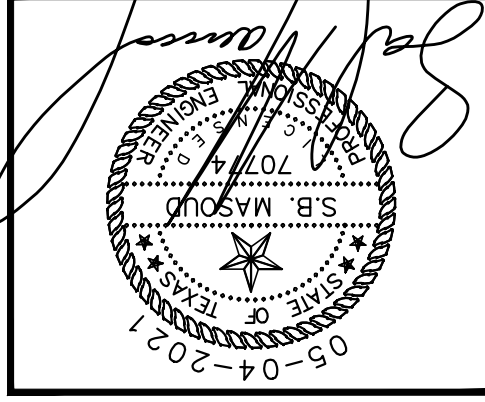
D R E

Del Rio Engineering, Inc.
 P. O. Box 220251 El Paso, Texas 79913 915/833-2400 TRPE Firm #: P-1093

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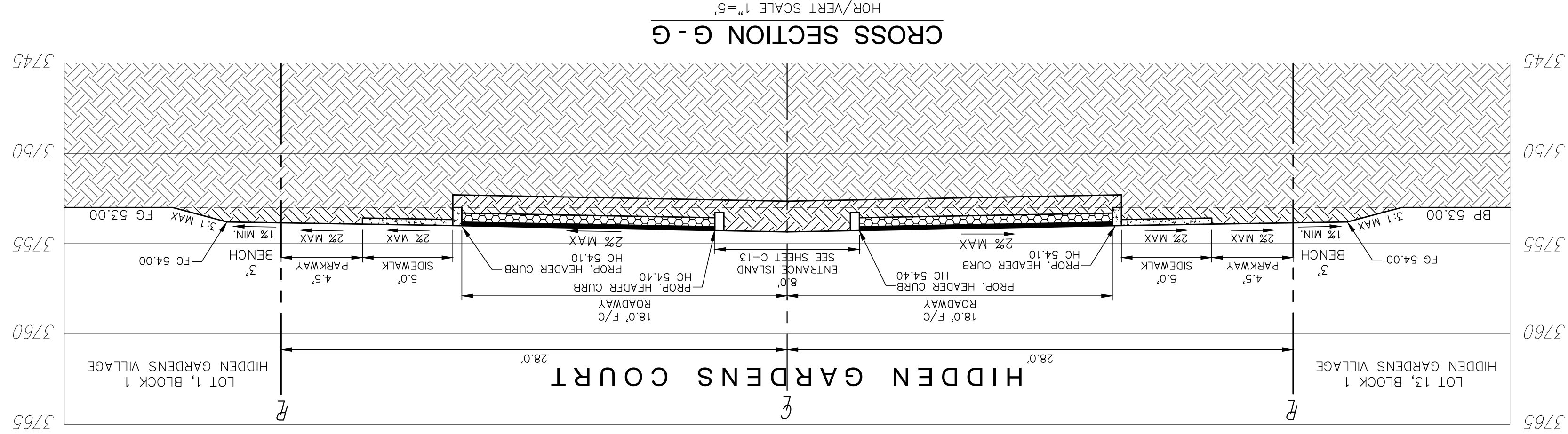
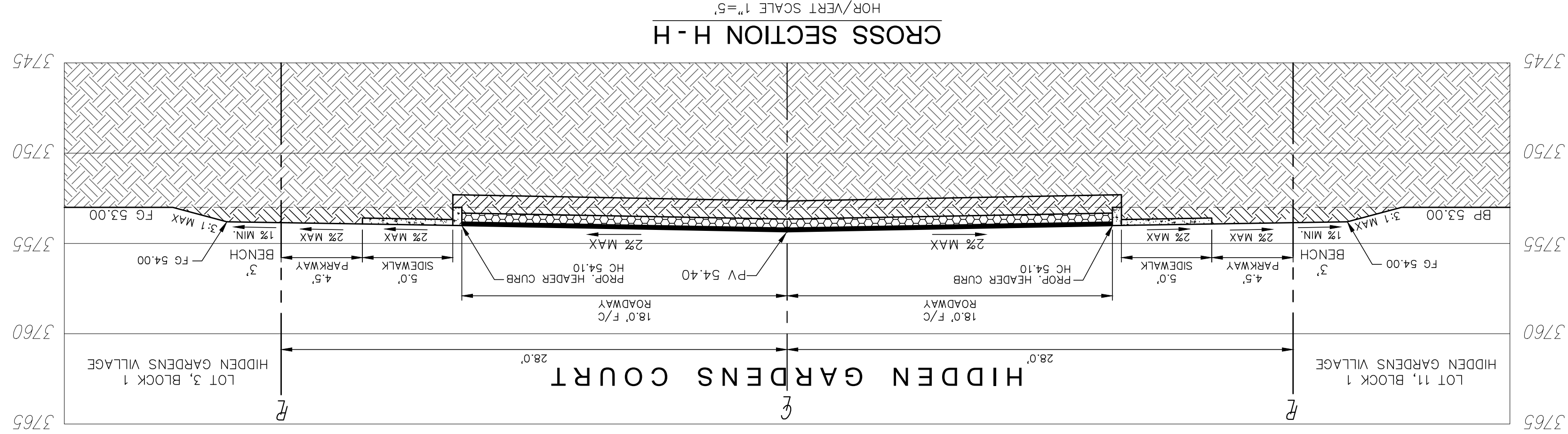
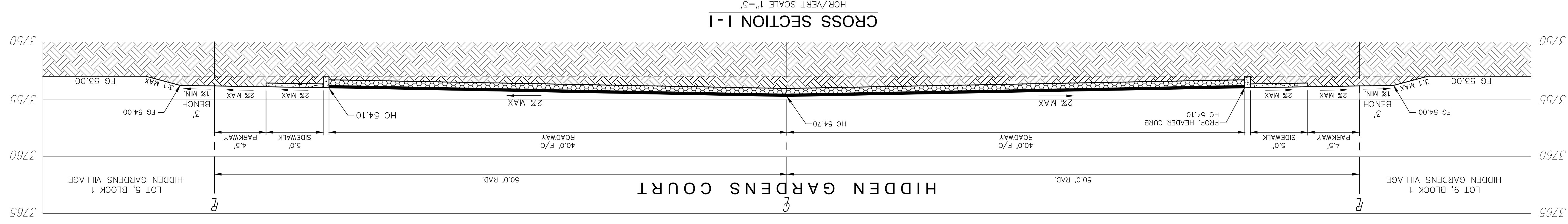
CROSS SECTIONS

HIDDEN GARDENS VILLAGE
 TRACTS 1E, 1B2, 1F, 2B, AND 3C1,
 BLOCK 9, UPPER VALLEY SURVEYS,
 CITY OF EL PASO, EL PASO COUNTY, TEXAS



PROJECT #	J20-095
Design By:	LU
Drawn By:	LU
SHEET:	C-09

COMPACTION NOTE:
 ALL SUBGRADE UNDER CONCRETE SURFACES SHALL BE 95% COMPACTION PER ASTM D1557. ROADWAY HMAc PAVEMENT SECTION SHALL BE CONSTRUCTED AS PER SOILS REPORT.

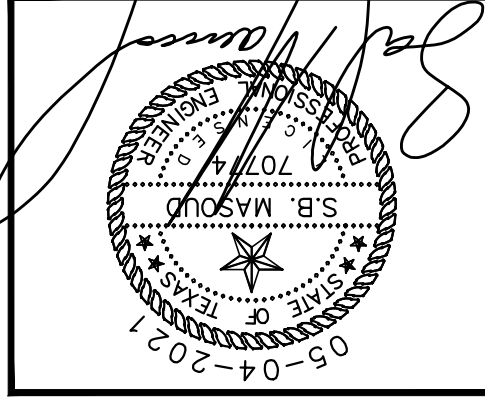


Release Dates:	
Revisions:	

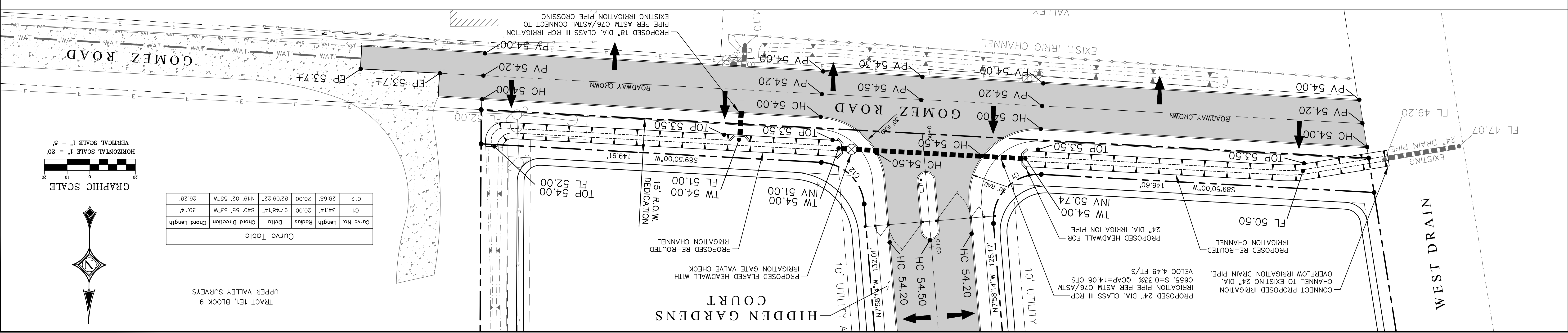
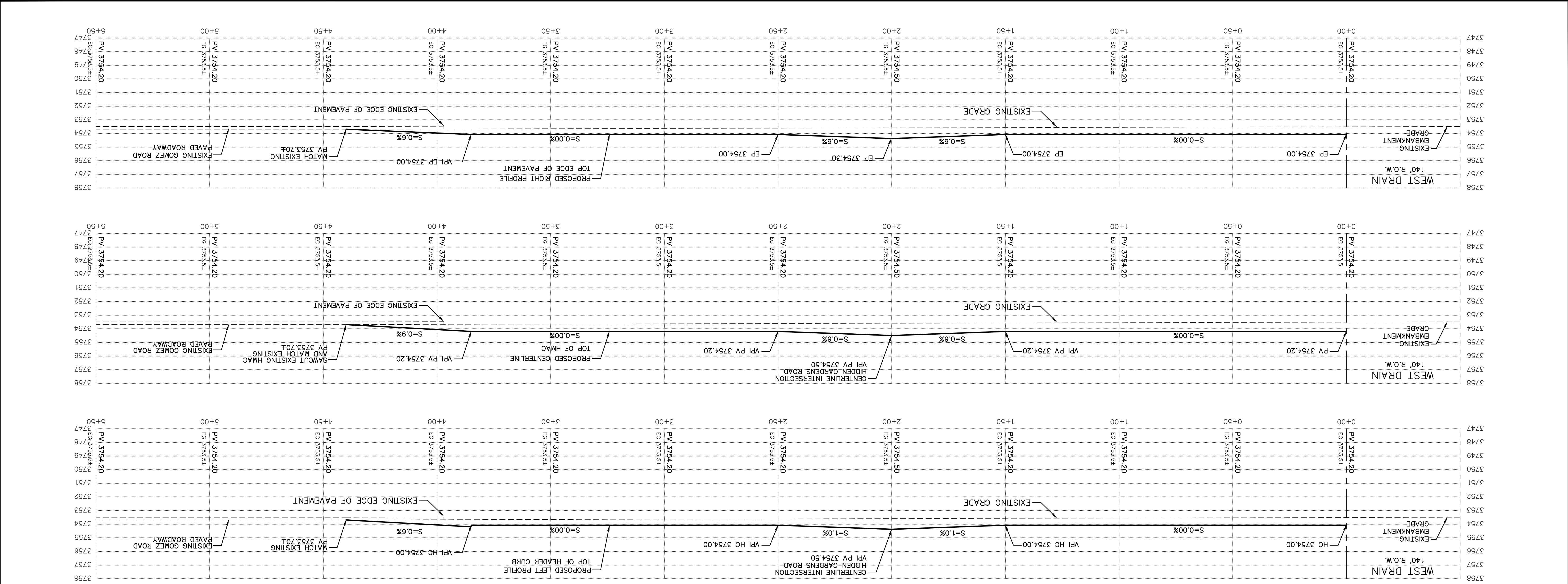
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PROFILES
SCALE: AS NOTED
HORIZONTAL: AS NOTED

DRE
Del Rio Engineering, Inc.
P. O. Box 220251 El Paso, Texas 79913 915/833-2400 TRPE Firm #: P-1093

ROADWAY PLAN AND PROFILE - GOMEZ ROAD
TRACTS 1E, 1E2, 1F, 2B, AND 3C1,
BLOCK 9, UPPER VALLEY SURVEYS,
CITY OF EL PASO, EL PASO COUNTY, TEXAS

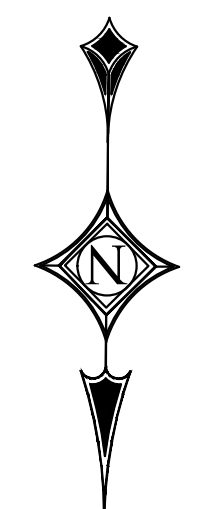
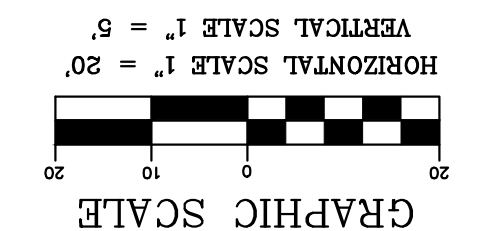


PROJECT #	J20-095
Plot Date:	05-04-2021
SCALE:	1"=20'
SHEET:	C-10
Design By:	LU
Drawn By:	LU



Curve Table

Curve No.	Length	Radius	Delta	Chord Direction	Chord Length
C12	28.68'	20.00'	82.09°22'	N49°02'55"W	26.28'
C1	34.14'	20.00'	97.48°14'	S40°55'53"W	30.14'

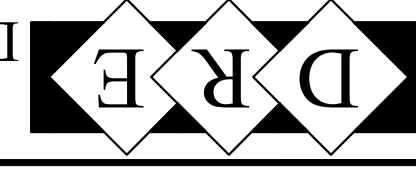


TRACT 1E1, BLOCK 9
UPPER VALLEY SURVEYS

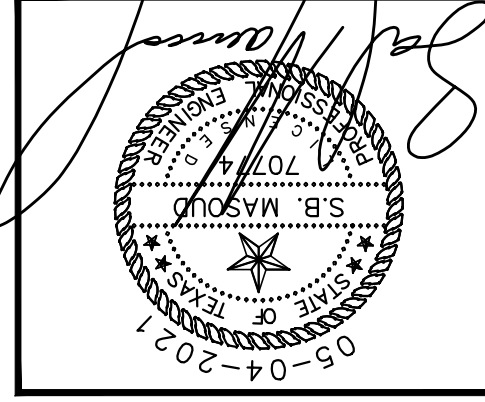
Revisions:	
Release Dates:	

Scale: **PLAN**
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PROFILES
SCALE: AS NOTED
HORIZONTAL: AS NOTED
VERTICAL: AS NOTED

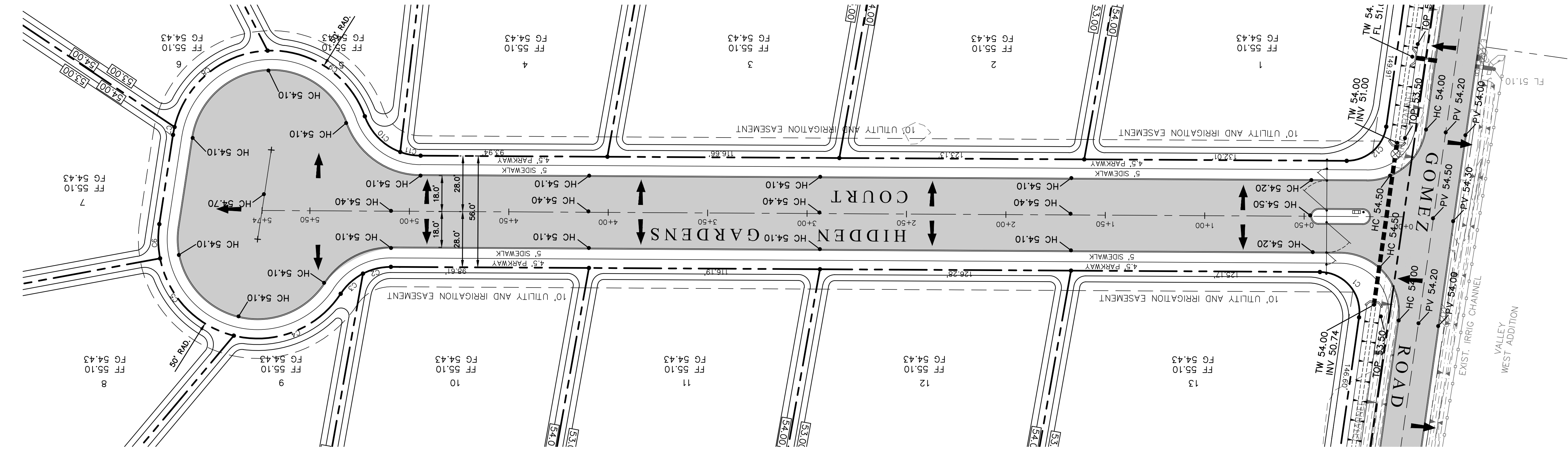
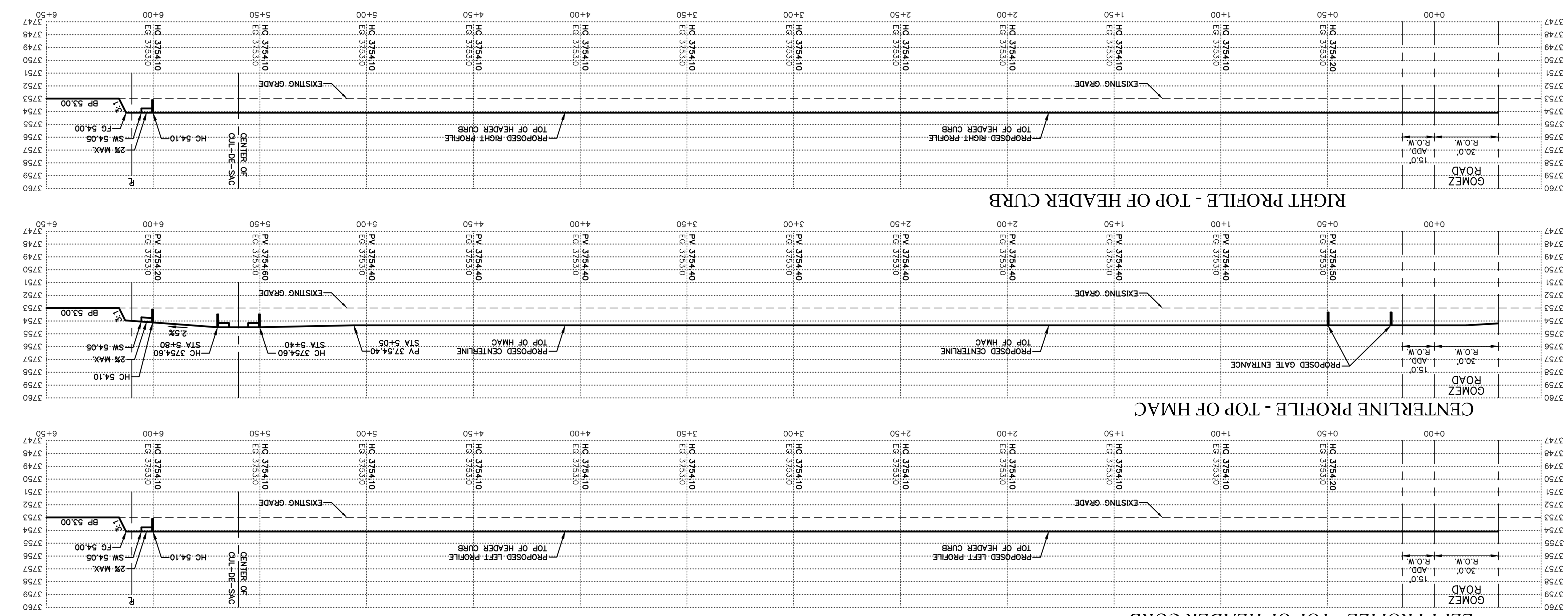
Del Rio Engineering, Inc.
P.O. Box 220251 El Paso, Texas 79913 915/833-2400 TBE Firm #: P-1093



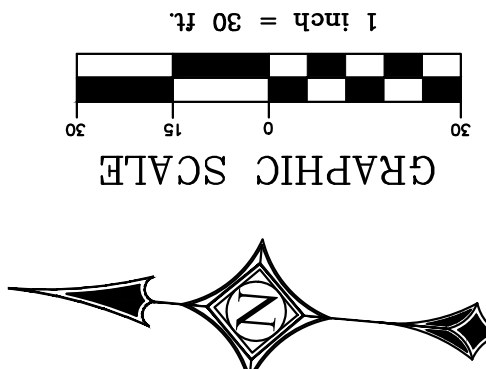
ROADWAY PLAN AND PROFILE - HIDDEN GARDENS COURT
TRACTS 1E, 1E2, 1F, 2B, AND 3C1,
BLOCK 9, UPPER VALLEY SURVEYS,
CITY OF EL PASO, EL PASO COUNTY, TEXAS



PROJECT #	J20-095
Plot Date:	05-04-2021
SCALE:	1"=30'
SHEET:	C-11
Design By:	LU
Drawn By:	LU



Curve No.	Length	Radius	Delta	Chord Direction	Chord Length
C1	34.14	20.00	97.4814°	S40°55'53"W	30.14'
C2	14.59	30.00	27.5138°	N21°54'03"W	14.44'
C3	15.26	30.00	29.0830°	N50°24'06"W	15.09'
C4	62.75	50.00	71.5412°	N29°01'15"W	58.71'
C5	55.52	50.00	63.3732°	N38°44'37"E	52.71'
C6	17.33	50.00	19.5137°	N80°29'11"E	17.24'
C7	5.17	50.00	5.5523°	S86°37'18"E	5.17'
C8	60.93	50.00	69.4903°	S48°45'05"E	57.23'
C9	66.11	50.00	75.4508°	S24°02'00"W	61.40'
C10	26.14	30.00	49.5505°	S36°57'02"W	25.32'
C11	10.45	30.00	19.5743°	S2°00'38"W	10.40'
C12	28.68	20.00	82.0922°	N49°02'55"W	26.28'



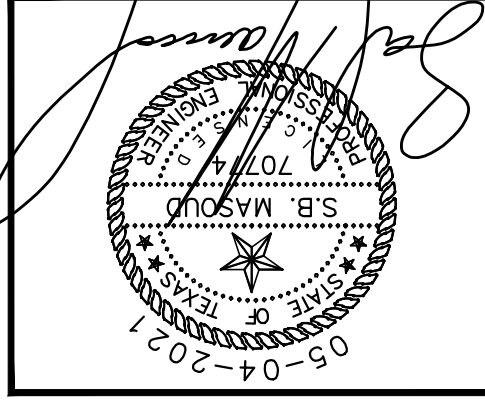
Revisions:	
Release Dates:	

Scale: PLAN
SCALE: AS NOTED
PROFILES
SCALE: AS NOTED
HORIZONTAL: AS NOTED

DRE
Del Rio Engineering, Inc.
P.O. Box 220251 El Paso, Texas 79913 915/833-2400 TBPPE Firm # : P-1093

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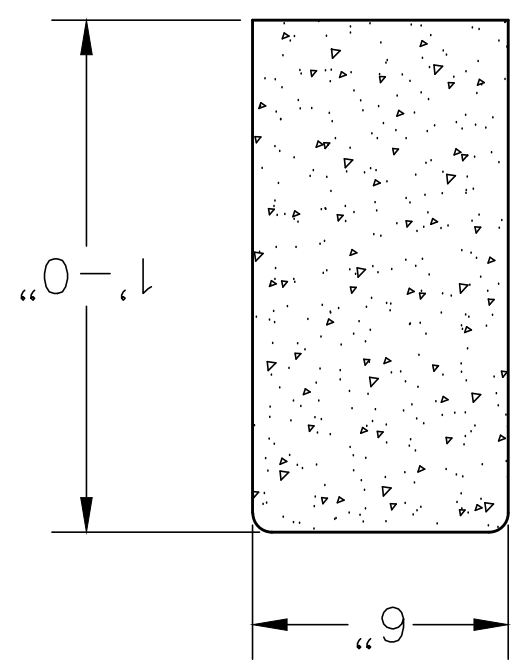
STANDARD DETAILS
HIDDEN GARDENS VILLAGE
TRACTS 1E, 1E2, 1F, 2B, AND 3C1,
BLOCK 9, UPPER VALLEY SURVEYS,
CITY OF EL PASO, EL PASO COUNTY, TEXAS



PROJECT #	J20-095
Design By:	LU
Drawn By:	LU
SHEET:	C-12
SCALE:	NTS
Plot Date:	05-04-2021

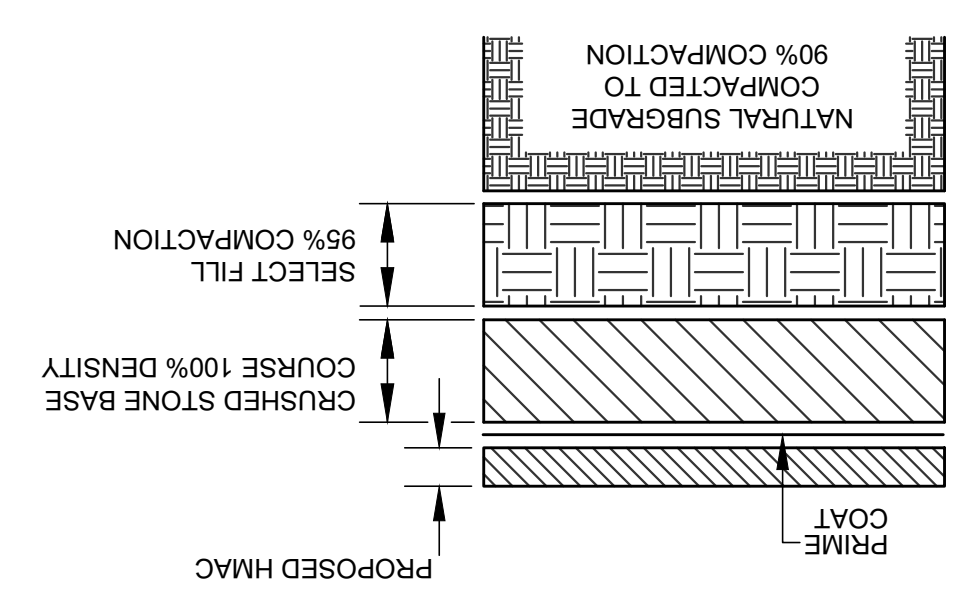
STANDARD HEADER CURB DETAIL
SCALE: NTS

- HEADER CURBS SHALL BE 3,000 PSI CONCRETE STRENGTH.
- HEADER CURBS HAND POURED AND PLACED SHALL INCLUDE:
 - WITH 1/2" INCH EXPANSION JOINTS EVERY 20.0 FEET AND CONTROL JOINTS EVERY 5.0 FEET, AND A BROOM FINISH.
 - HEADER CURBS MACHINE INSTALLED SHALL INCLUDE:
 - WITH 1/2" INCH EXPANSION JOINTS EVERY 20.0 FEET AND (b) WITH 1/2" INCH EXPANSION JOINTS EVERY 5.0 FEET AND CONTROL JOINTS EVERY 20.0 FEET AND A BROOM FINISH.
 - 2.0 POUNDS OF LONG FIBERGLASS MESH CUBIC YARD.
- HEADER CURBS SHALL BE 3,000 PSI CONCRETE STRENGTH. CONTROL JOINTS EVERY 5.0 FEET, AND A BROOM FINISH.



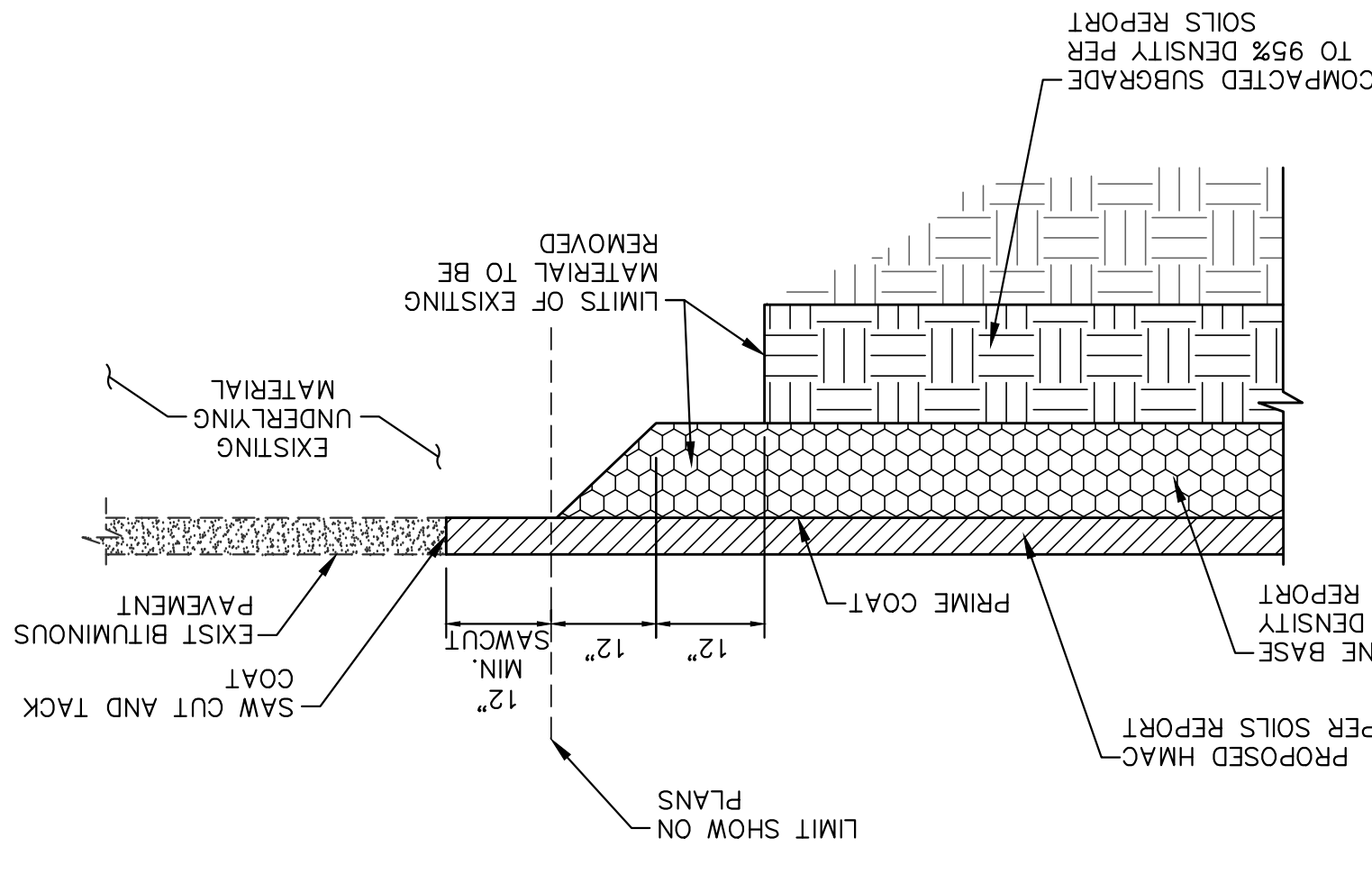
HEADER CURB NOTES:

PAVEMENT SECTION DETAIL
SCALE: NTS

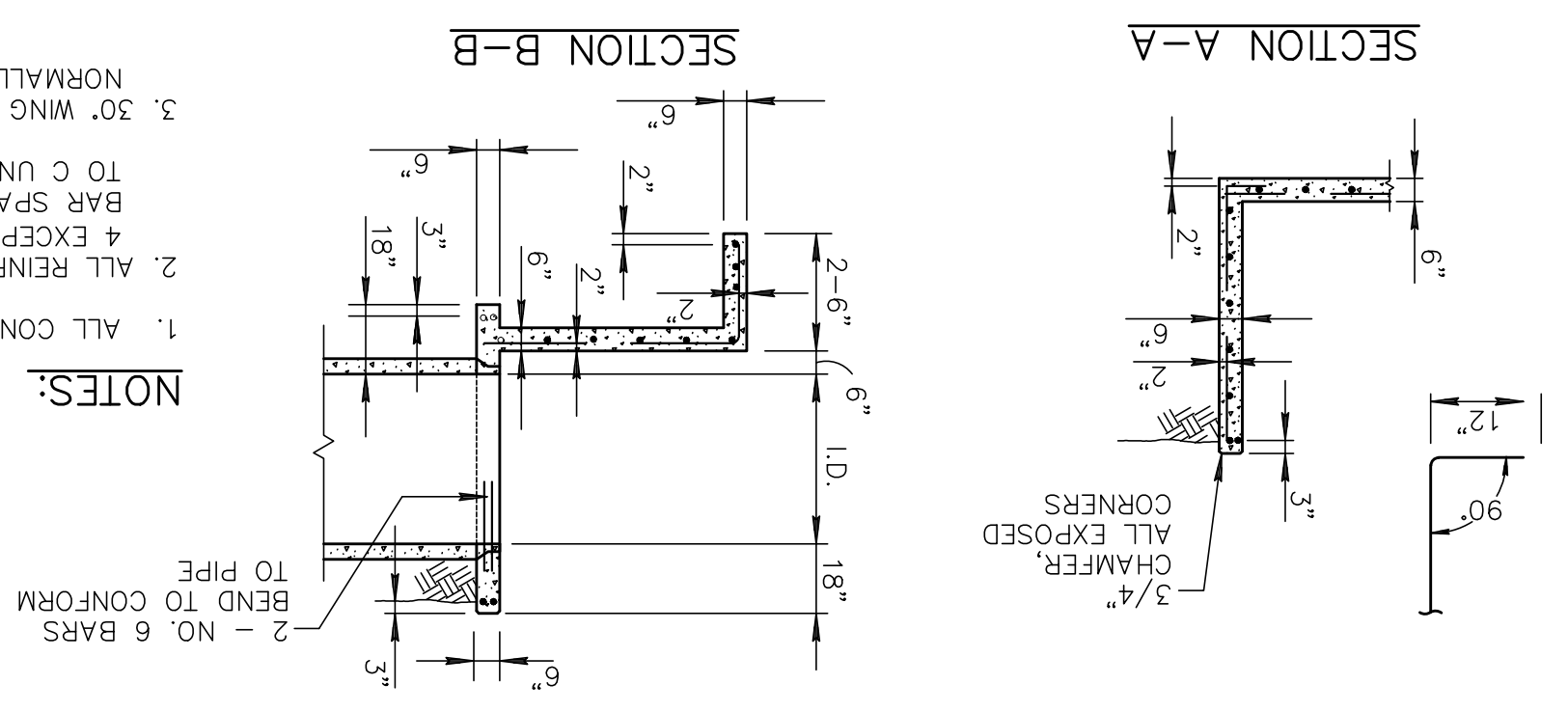


- PAVEMENT DESIGN CRITERIA SHALL FOLLOW THE RECOMMENDATIONS FROM GEOTECHNICAL ENGINEERING REPORT (L012-123) PREPARED BY LOI ENGINEERS. IF SIGHT CONDITIONS WERE FOUND DIFFERENT THAN THE SOIL DESCRIBED IN GEOTECHNICAL REPORT, CONTRACTOR MUST NOTIFY THE OWNER AND ENGINEER OF RECORD (DEL RIO ENGINEERING).
- THE RECOMMENDATION OPTIONS DESCRIBED IN THE GEOTECHNICAL REPORT SHALL BE COORDINATED WITH THE OWNER AND ENGINEER OF RECORD (DEL RIO ENGINEERING) PRIOR TO CONSTRUCTION.

PAVEMENT SAWCUT AND REPLACEMENT DETAIL
SCALE: NTS



HEADWALL DETAIL FOR 18" TO 24" IRRIGATION PIPE
SCALE: NTS



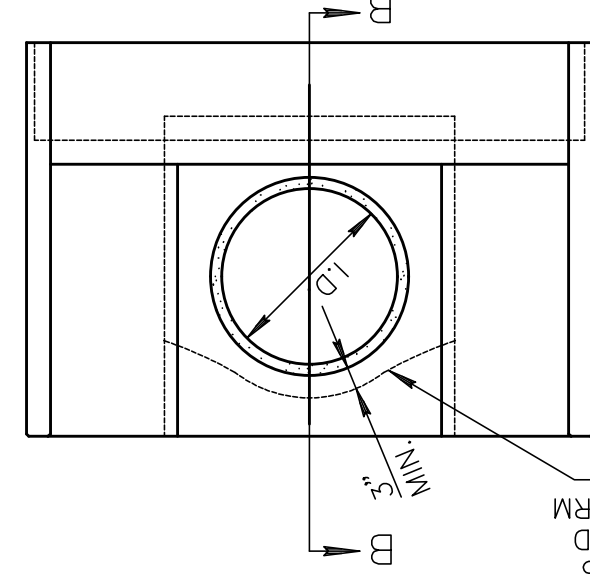
NOTES:

- ALL CONCRETE SHALL BE CLASS 'A'.
- ALL REINFORCING BARS SHALL BE NO. 4 EXCEPT NO. 6 BARS OVER PIPE. BAR SPACING APPROXIMATELY 12" C TO C UNLESS OTHERWISE NOTED.
- 30° WING WALL FLARE SHOWN, 45° NORMALLY DESIRABLE.

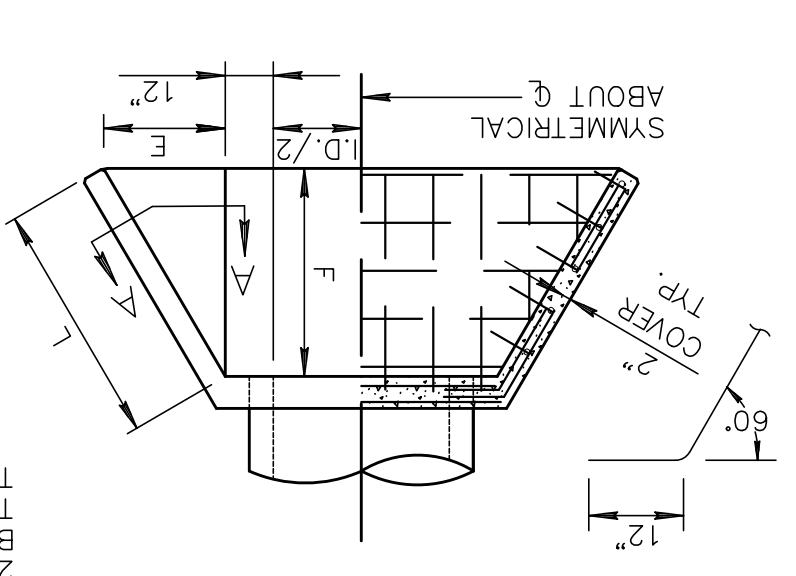
PIPE CHART

PIPE	DIMENSIONS
1.0"	L E (APPROX)
1.8"	2'-0" 1'-0" 1'-9"
2.4"	2'-0" 1'-0" 2'-7"
3.0"	3'-0" 1'-6" 2'-7"
3.6"	4'-0" 2'-0" 3'-6"
4.2"	5'-0" 2'-6" 4'-4"
4.8"	6'-0" 3-0" 5-2"
5.4"	7'-0" 3-6" 6-1"
6.0"	8'-0" 4-0" 6-11"

ELEVATION



PLAN



PERMANENT ELEVATION MARKER
FOR ON-SITE PONDING
SCALE: NTS

MARKERS TO BE PLACED AT CORNER OF FRONT AND BACK YARDS.

ROCKWALL DESIGN
FOR CONSTRUCTION
DESIGN STANDARDS
ENGINEERING DEPARTMENT
TITLE 19 - SUBDIVISION ORDINANCE

APPROVED BY: H.M.E. CHECKED BY: H.M.E. DATE: JUNE 03, 2008

ROCKWALL
ADJACENT TO RESIDENTIAL LOTS

NOTES:

- RETENTION: THE STONE SHALL BE AS NEARLY UNIFORM IN SECTIONS AS IS PRACTICABLE. THE STONE SHALL BE DENSE AND RESISTANT TO AIR AND WATER.
- MORTAR SHALL BE TYPE "S" 1800 P.S.I. AS PER ASTM C270.
- MASONRY WALLS OVER SIX (6) FEET IN HEIGHT AND THOSE USED FOR EARTH RETENTION OVER TWO (2) FEET SHALL BE DESIGNED AS STRUCTURAL WALLS.
- WALLS ADJACENT TO PONDING AREAS OR DRAINAGE DITCHES MAY BE CONSTRUCTED OF BRICK OR GINDER BLOCK AND SHALL NOT BE LESS THAN SIX (6) FEET HIGH.
- ROCKWALL MORTAR JOINTS SHALL NOT EXCEED TWO (2) INCHES.
- PROVIDE ONE (1) INCH EXPANSION JOINTS AT EVERY 100 FEET.
- ALL STONE SHALL BE THOROUGHLY SOAKED BEFORE BEING PLACED.
- NO RIVER ROCK SHALL BE ALLOWED FOR ROCKWALLS.

DRIVEWAY DESIGN
FOR CONSTRUCTION
DESIGN STANDARDS
ENGINEERING DEPARTMENT
TITLE 19 - SUBDIVISION ORDINANCE

APPROVED BY: H.M.E. CHECKED BY: H.M.E. DATE: JUNE 03, 2008

DRIVEWAY SECTION

DRIVEWAY PLAN

MIN MAX

DRIVEWAY WIDTH	MIN	MAX
RESIDENTIAL	10'	20'
COMMERCIAL/INDUSTRIAL	15'	25'

(REFER TO PLATE 6-10)

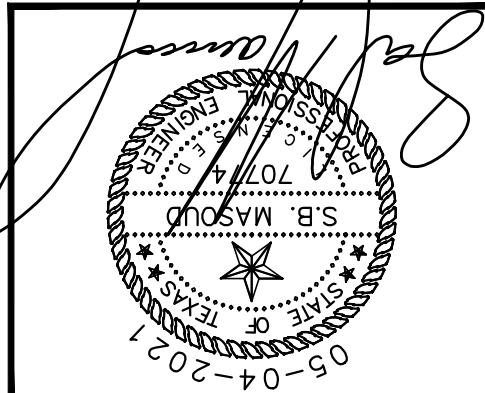
Revisions:	
Release Dates:	

Scale: PLAN SCALE: AS NOTED PROFILES SCALE: AS NOTED HORIZONTAL: AS NOTED VERTICAL: AS NOTED

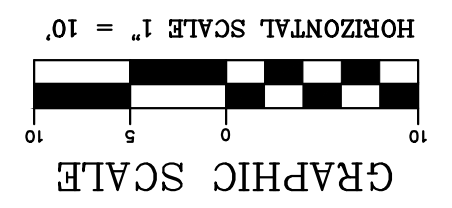
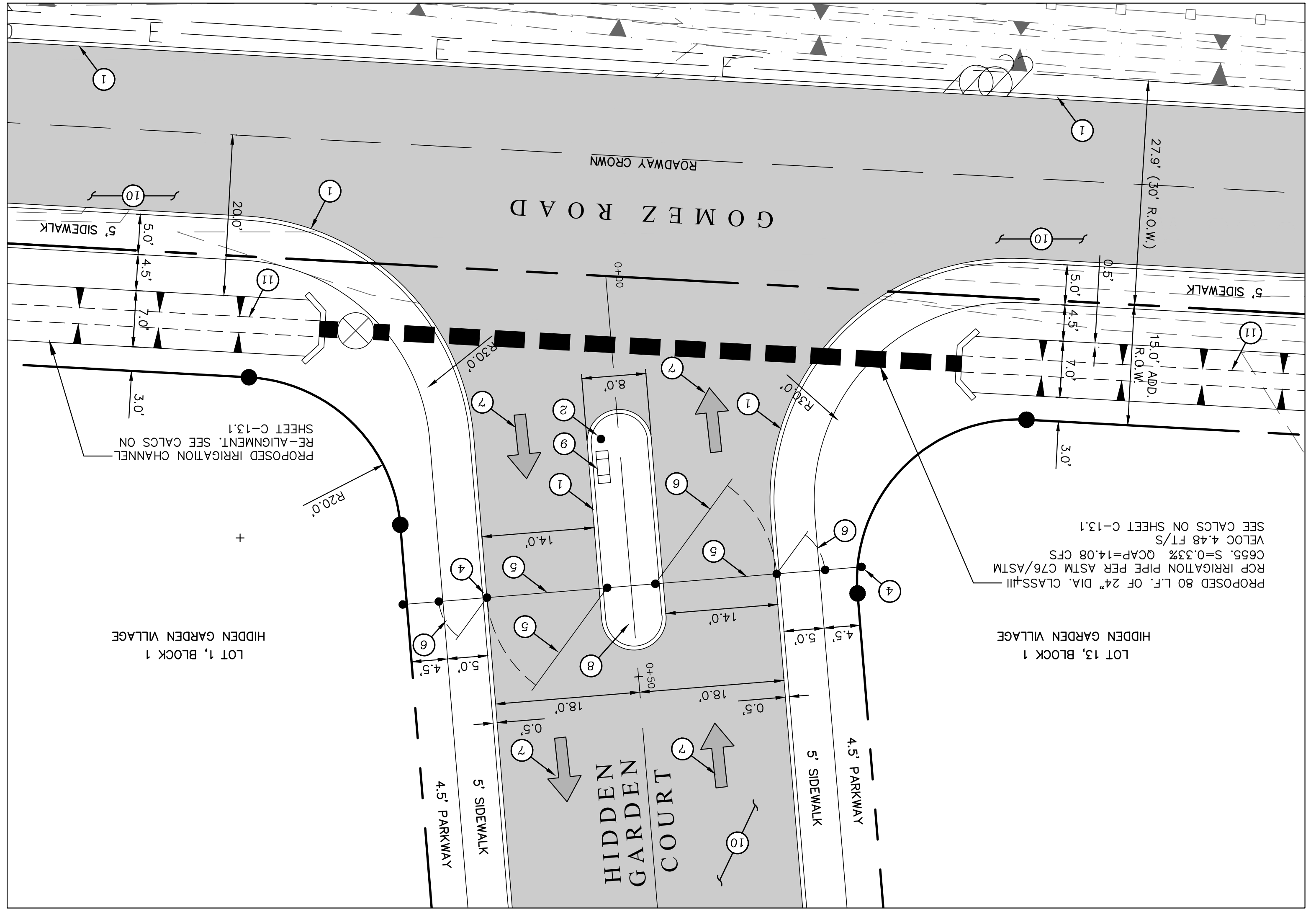
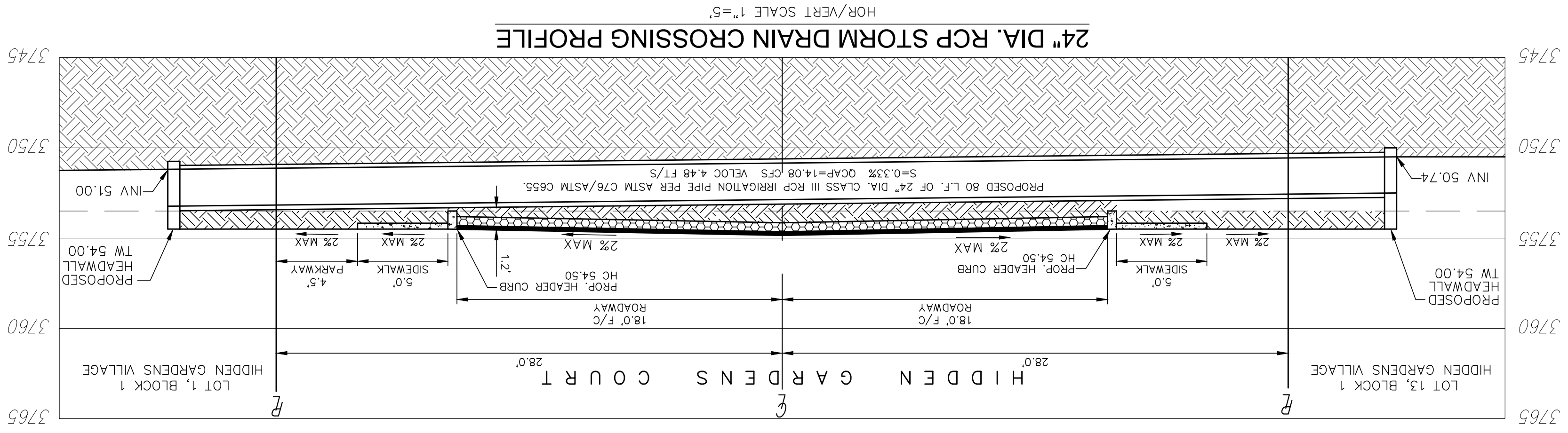
Del Rio Engineering, Inc. P.O. Box 220251 El Paso, Texas 79913 915/833-2400 TBPE Firm #: P-1093



IRRIGATION CULVERT CROSSING PLAN
HIDDEN GARDENS VILLAGE
TRACTS 1E, 1E2, 1F, 2B, AND 3C1,
BLOCK 9, UPPER VALLEY SURVEYS,
CITY OF EL PASO, EL PASO COUNTY, TEXAS



PROJECT #	J20-095
Plot Date:	05-04-2021
SCALE	NTS
SHEET:	C-13
Design By:	LU
Drawn By:	LU



- CONSTRUCTION KEY NOTES**
- 1) PROPOSED 6" WIDE HEADER CURB
 - 2) PROPOSED DECORATIVE GUARD POST BOLLARD
 - 3) PROPOSED ACCESS GATE ASSEMBLY BY OTHERS
 - 4) PROPOSED SUPPORTING ACCESS GATE POSTS
 - 5) PROPOSED VEHICULAR GATE
 - 6) PROPOSED PEDESTRIAN GATE
 - 7) PROPOSED TRAFFIC FLOW ARROW, DO NOT STRIPE.
 - 8) PROPOSED DECORATIVE LIGHT POLE
 - 9) PROPOSED KEY-IN ELECTRICAL ACCESS CABINET BY OTHERS
 - 10) PROPOSED ROADWAY HMAc PAVEMENT SECTION PER SOILS REPORT
 - 11) PROPOSED RELOCATED IRRIGATION CHANNEL PER EPWD STANDARDS AND BYLAWS.
- NOTE:**
- SEE SHEET C-13.1 FOR IRRIGATION PIPE HYDRAULIC CALCULATIONS.

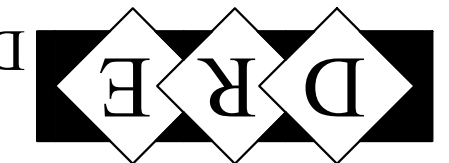
Revisions:	
Release Dates:	

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PLAN
SCALE: AS NOTED

PROFILES
SCALE: AS NOTED

HORIZONTAL: AS NOTED
VERTICAL: AS NOTED

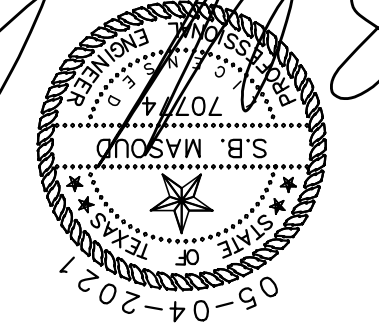


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P.O. Box 220251 El Paso, Texas 79913 915/833-2400 TBPE Firm # : F-1093

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IRRIGATION CULVERT CALCULATIONS

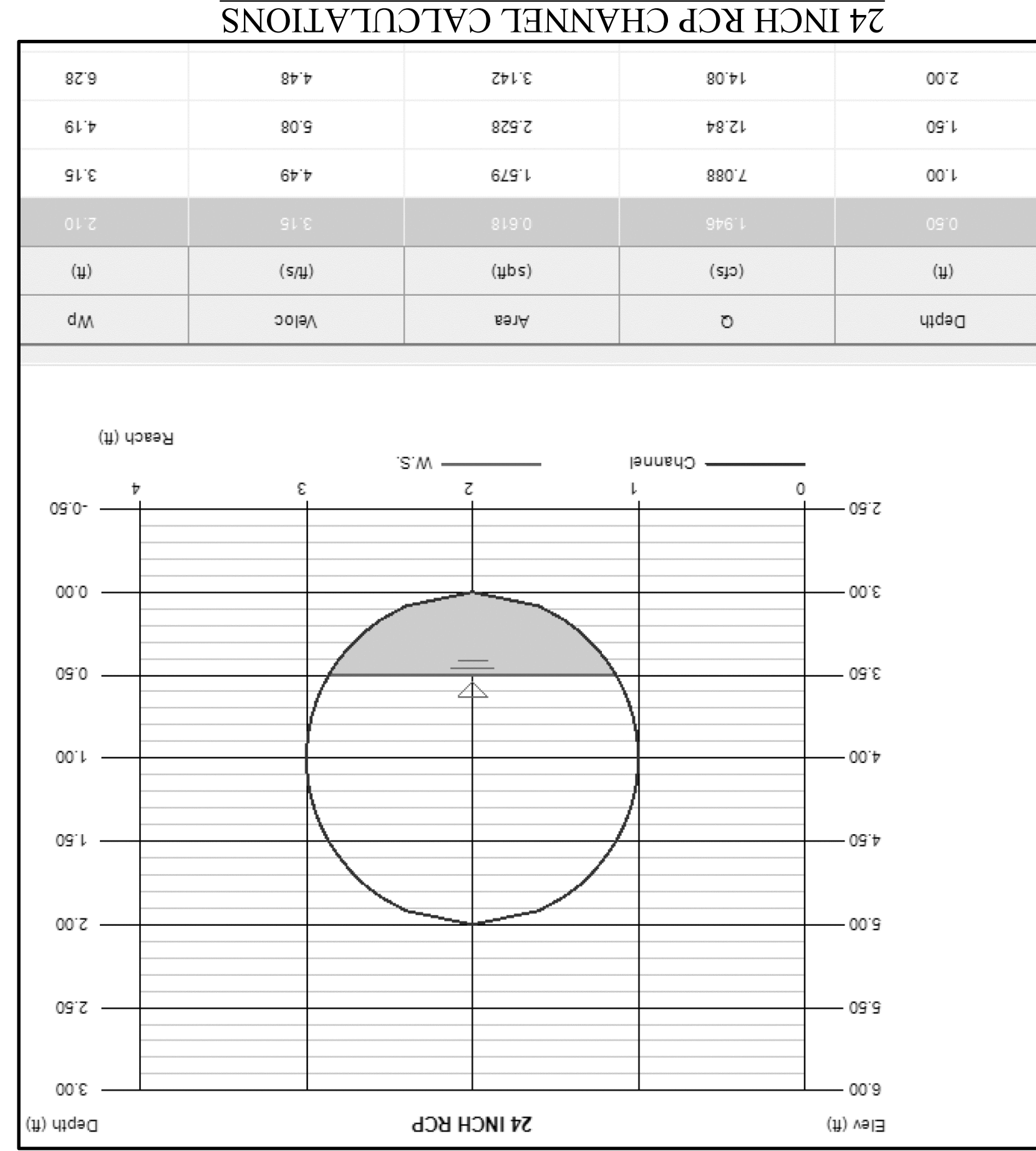
TRACTS 1E, 1E2, 1F, 2B, AND 3C1,
BLOCK 9, UPPER VALLEY SURVEYS,
CITY OF EL PASO, EL PASO COUNTY, TEXAS



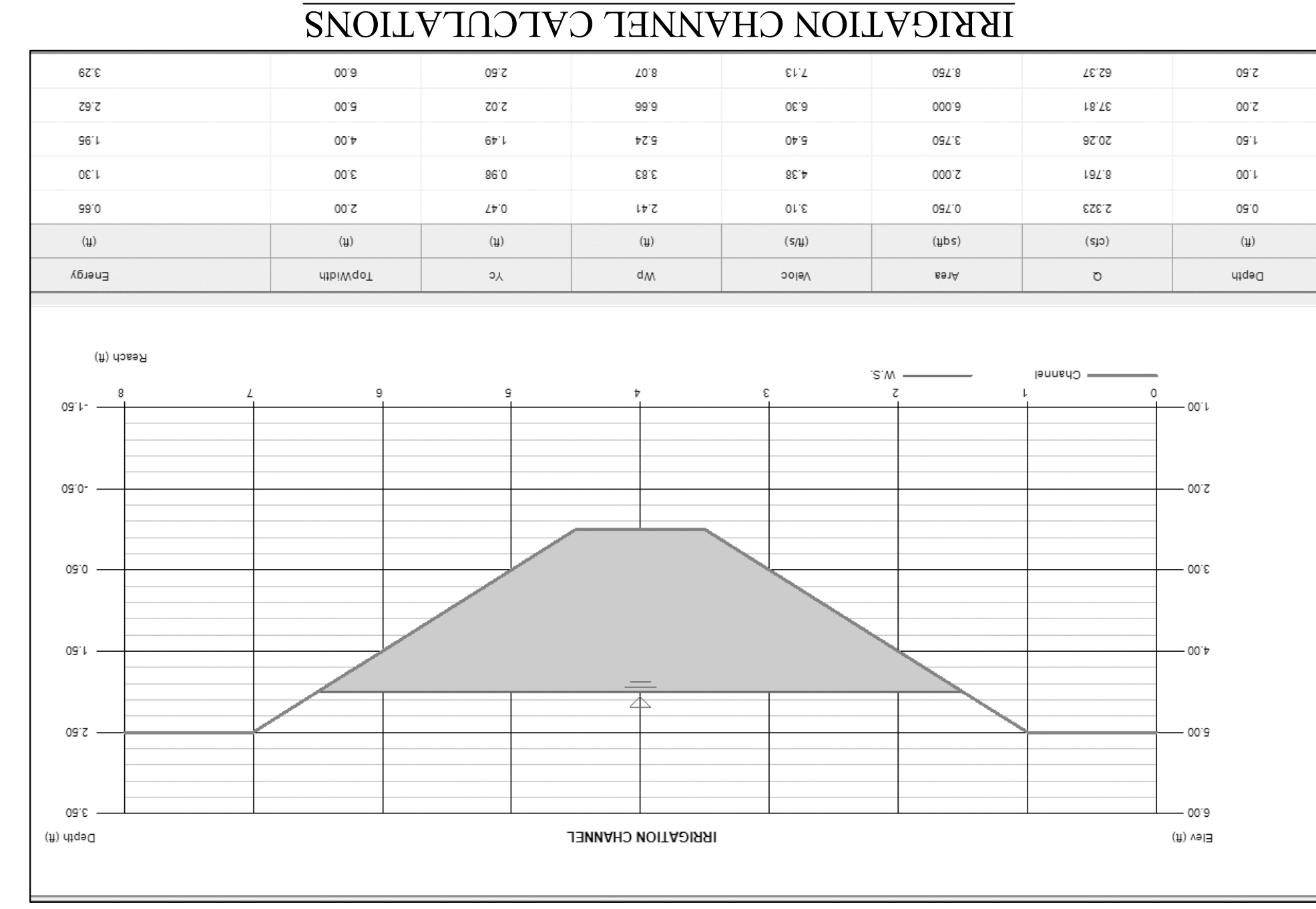
S.S. MARRAS
Professional Engineer
No. 05-04-2021

PROJECT #	J20-095
SCALE	NTS
SHEET	C-13.1
Design By:	LU
Drawn By:	LU

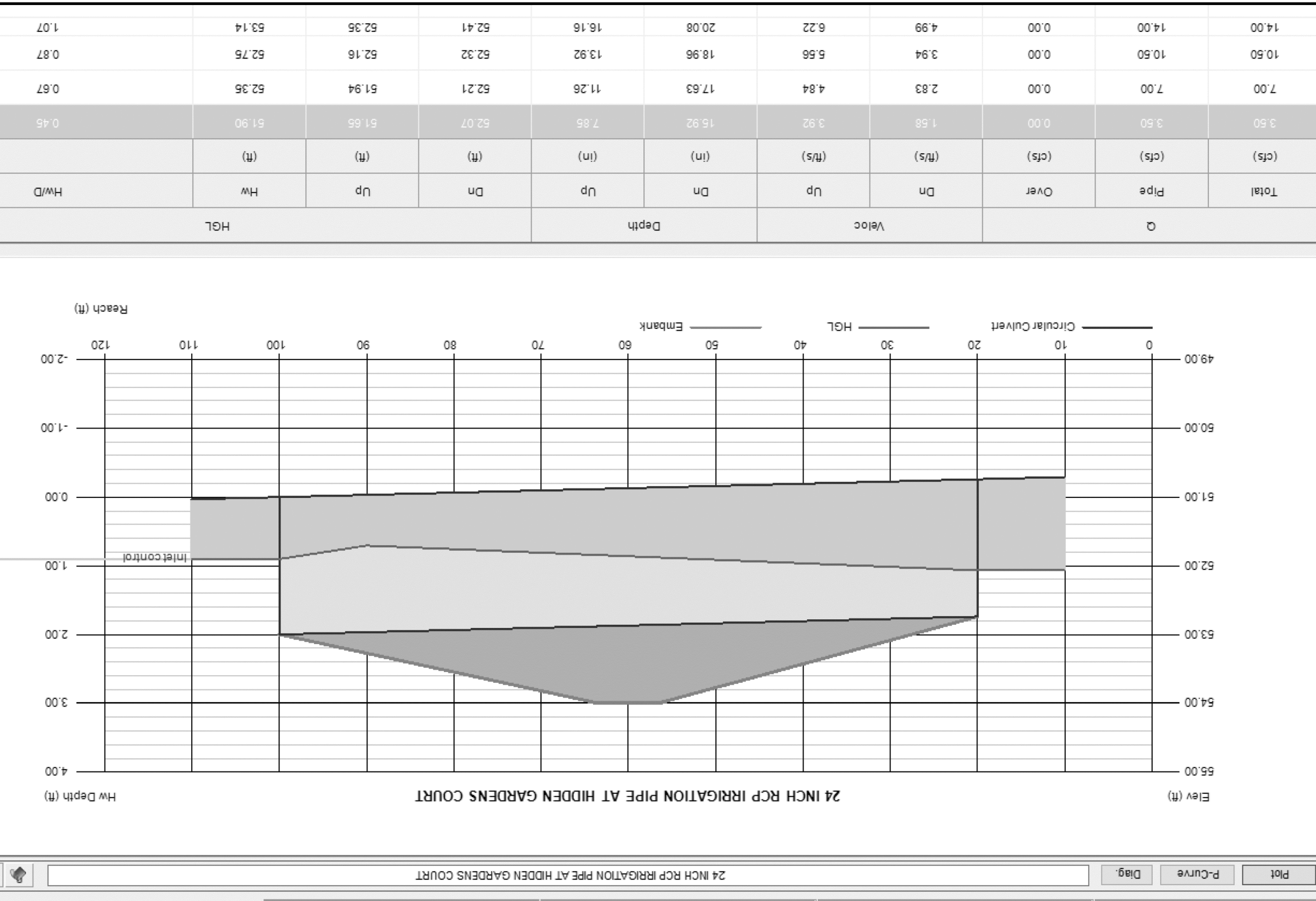
Section	Item	Value
Channel	Section Type =	Circular
	Btm Width (ft) =	-0-
	Side Slope, z:1 =	-0-
	Diameter(ft) =	2.00
	Inv Elev(ft) =	3.00
	Slope (%) =	0.33
n-value =	0.012	
Q vs Depth		4
Calcs	Clear	Run



Section	Item	Value
Channel	Section Type =	Trapezoidal
	Btm Width (ft)	1.00
	Slide Slope, z:1 =	1.00:1.00
	Totl Depth (ft) =	2.50
	Inv Elev(ft) =	1.00
	Slope (%) =	1.00
	n-value =	0.22
Q vs Depth		5
Calcs	Clear	Run



Section	Item	Value
Pipe	Inv Elev Dn =	50.74
	Length (ft) =	80.00
	Slope (%) =	0.32
	Inv Elev Up =	61.00
	Rise (in) =	24.0
	Shape =	Circular
	Span (in) =	24.0
	No. Barrels =	1
	n-value =	0.012
	Culvert Type =	Circular Concrete
	Culvert Entrance =	Square edge wheelwall (C)
	Top Elev =	64.00
Top Width (ft) =	7.00	
Crest Len (ft) =	80.00	
Q Min (cfs) =	0.00	
Q Max (cfs) =	14.08	
Q Inlet (cfs) =	3.50	
Tailwater (ft) =	(d-c)/2	
Clear	Run	Run



Release Dates:	
Revisions:	

Scale:
PLAN
 SCALE: AS NOTED
PROFILES
 HORIZONTAL: AS NOTED
 VERTICAL: AS NOTED

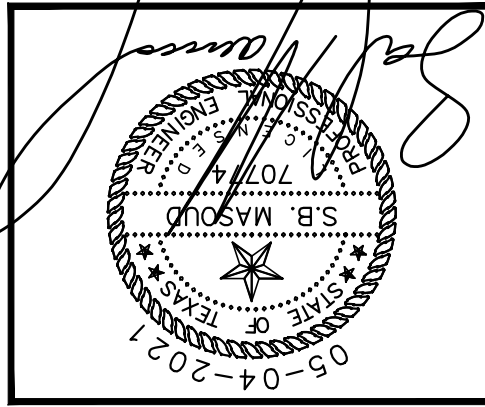
D R E

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ILLUMINATION PLAN

HIDDEN GARDENS VILLAGE
 TRACTS 1E, 1E2, 1F, 2B, AND 3C1,
 BLOCK 9, UPPER VALLEY SURVEYS,
 CITY OF EL PASO, EL PASO COUNTY, TEXAS



PROJECT #	J20-095
Design By:	LU
Drawn By:	LU
SHEET:	C-14
Plot Date:	05-04-2021
SCALE:	1"=30'

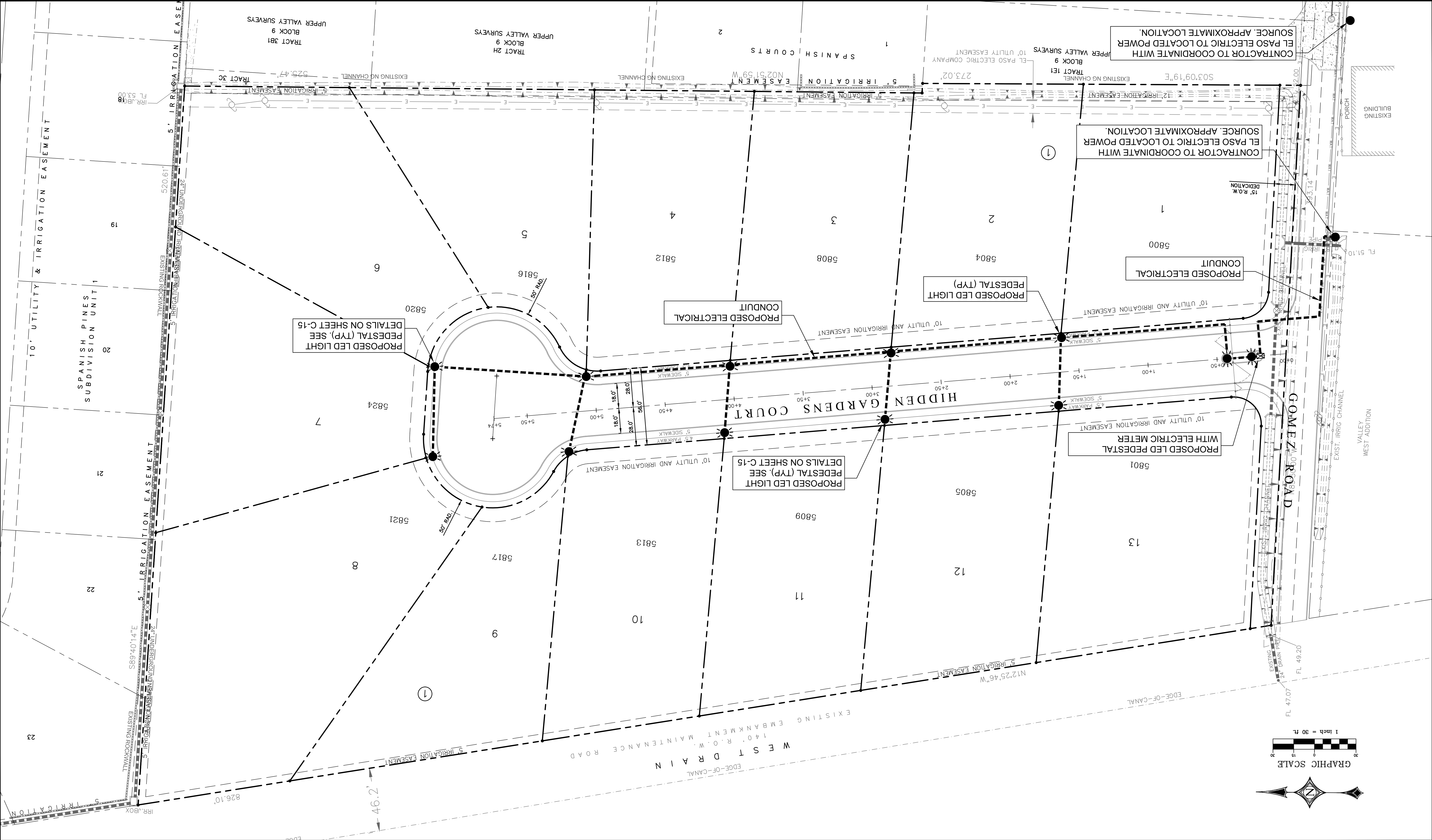


Table with 2 columns: Description, Revisions. Includes 'Release Dates' and 'Revisions' headers.

Text block containing project metadata, drawing title, and scale information.

SCALE: AS NOTED
PLAN
SCALE: AS NOTED
PROFILES
SCALE: AS NOTED
HORIZONTAL: AS NOTED
VERTICAL: AS NOTED

DRE logo and contact information for Del Rio Engineering, Inc. in El Paso, Texas.

ILLUMINATION DETAILS
HIDDEN GARDENS VILLAGE
TRACTS 1E, 1E2, 1F, 2B, AND 3C1,
BLOCK 9, UPPER VALLEY SURVEYS,
CITY OF EL PASO, EL PASO COUNTY, TEXAS



Table with project details: PROJECT # J20-095, DATE 05-04-2021, SHEET C-15.

LED LIGHT PEDESTAL DETAIL AND SPECIFICATIONS (OR EQUAL)

Logos for LightPolesPlus.com and various industry certifications (UL, ENEC, etc.).



Table with 2 columns: Accessories, Color. Lists various components like LMF, MAB, and MABP with descriptions.

Ordering Information

EX 42-RBC-15-50-MV-5-BB-PC1

308 N. Brookes St. Ford Rd. LAC, WI 54935

LightPolesPlus.com logo and certification icons.

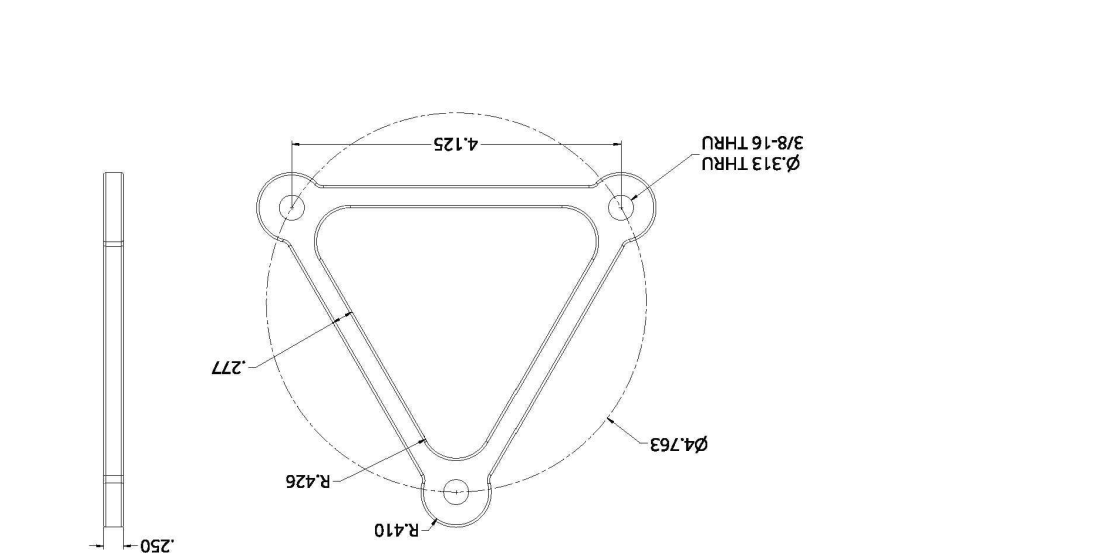


Product Overview
Engineered and manufactured in Wisconsin, USA from domestic and imported components.

308 N. Brookes St. Ford Rd. LAC, WI 54935

LightPolesPlus.com logo and certification icons.

- Electric: Operating temp: -40 °C to +45 °C
Energy Control Options: Daylight harvesting and photo controls
Anchor Bolt Cage & Bolt Circle Diagram



308 N. Brookes St. Ford Rd. LAC, WI 54935

LightPolesPlus.com logo and certification icons.

- Light Engine Warranty: 5-year standard limited warranty on all light engine components
Common Applications: Minimum CRI of 80, custom CRI available
Product Overview: Engineered and manufactured in Wisconsin, USA from domestic and imported components.

Table with 2 columns: Lumens Maintenance Factor (LMF), Wattage. Shows LMF values for different types and wattages.

Table with 2 columns: Ampere Load, Wattage. Shows ampere load and wattage for different pole sizes and heights.

Table with 2 columns: Light Engine Specifications (Values Listed for Type V, 5000K), Pole Height. Lists specifications for different pole heights and wattages.

308 N. Brookes St. Ford Rd. LAC, WI 54935

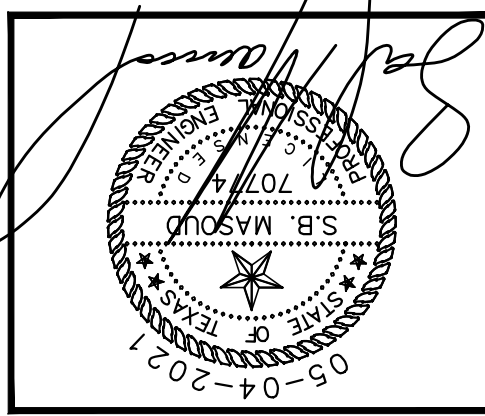
Light Engine Specifications (Values Listed for Type V, 5000K)

Table with 2 columns: Lumens Maintenance Factor (LMF), Wattage.

Table with 2 columns: Ampere Load, Wattage.

Table with 2 columns: Light Engine Specifications (Values Listed for Type V, 5000K).

PROJECT # J20-095
 Plot Date: 05-04-2021
 Design By: LU
 Drawn By: LU
 SHEET: C-16
 NTS
 SCALE



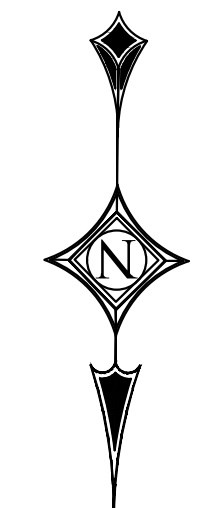
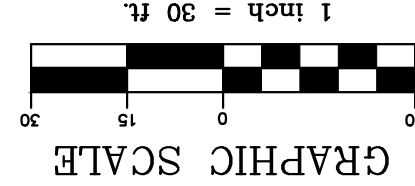
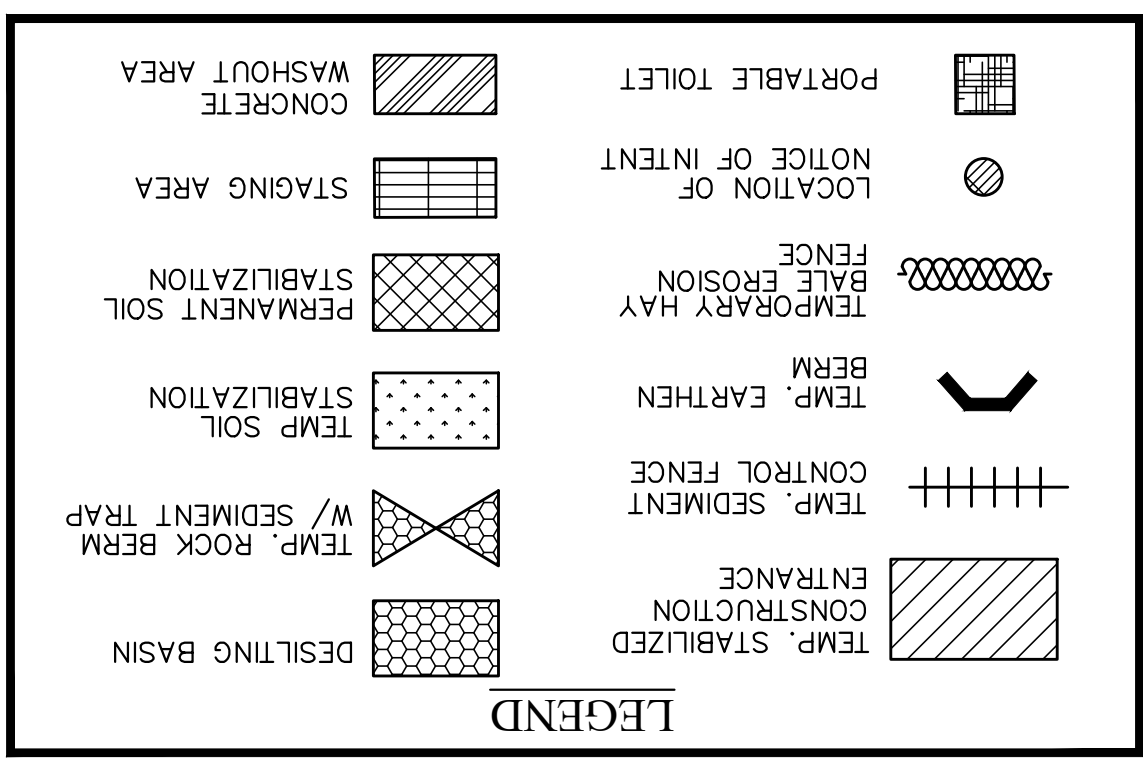
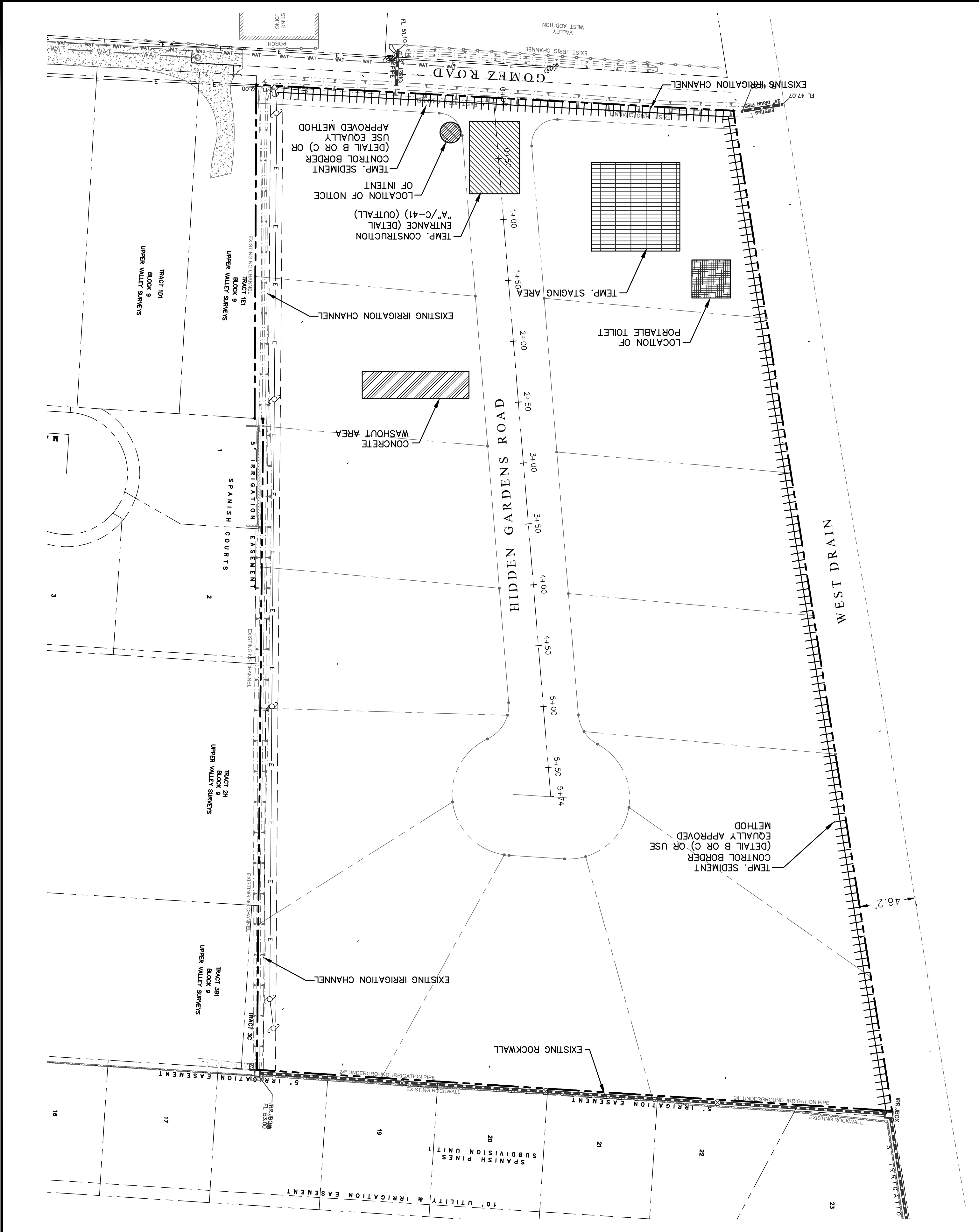
STORM WATER POLLUTION PREVENTION PLAN
 HIDDEN GARDENS VILLAGE
 TRACTS 1E, 1E2, 1F, 2B, AND 3C1
 BLOCK 9, UPPER VALLEY SURVEYS,
 CITY OF EL PASO, EL PASO COUNTY, TEXAS

Del Rio Engineering, Inc.
 P.O. Box 220251 El Paso, Texas 79913 915/833-2400 TDDP Firm #: P-1093

PLAN
 SCALE: AS NOTED
 PROFILES
 HORIZONTAL: AS NOTED
 VERTICAL: AS NOTED

Revisions:	Date:

Release Dates:	Revisions:



- OTHERS:
- ASPHALT PATCH PLANT
 - ASPHALT PATCH PLANT
 - ENHANCED SPECIES NOTE
 - THERE ARE NO ENHANCED SPECIES LOCATED ON THE PROPERTY AT THE TIME OF CONSTRUCTION.
 - HISTORICAL SURVEY.
 - REMARKS:
 - MINIMIZE AND CONTROL THE AMOUNT OF SEDIMENT THAT MAY ENTER RECEIVING WATERS. DISPOSAL AREAS SHALL NOT BE @ ANY WEIAND, WATERBOOD OR STREAME.
 - INSPECTION IN FINAL STABILIZED AREAS OR DURING AND PERIODS WILL BE CONDUCTED MONTHLY.
 - BEST MANAGEMENT PRACTICES AND POLLUTION CONTROL PROCEDURES SHALL BE INSPECTED FOR ADVANCY.
 - C. CONSTRUCTION STAGING AREAS AND VEHICLE MAINTENANCE AREAS SHALL BE CONSTRUCTED BY THE CONTRACTOR IN A MANNER TO MINIMIZE THE RELEASE OF POLLUTANTS. ALL SERVICES TO THE VEHICLES MUST BE PERFORMED IN THIS AREA. FOLLOW ALL EPA AND TCEQ GUIDELINES WHEN CONSTRUCTING THIS AREA. THIS STAGING AREA, FOLLOW ALL EPA AND TCEQ GUIDELINES WHEN CONSTRUCTING THIS AREA.
 - D. ALL WATERWAYS SHALL BE CLEARED AS SOON AS PRACTICABLE OF TEMPORARY EMBANKMENT TEMPORARY BRIDGES, MATINGS, PILING DEBRIS OR OTHER OBSTRUCTIONS PLACED DURING CONSTRUCTION OPERATIONS THAT ARE NOT A PART OF THE FINISHED WORK.
 - E. OFFSITE VEHICLE TRACKING
 - IN ADDITION TO THE STABILIZED CONSTRUCTION ENTRANCES, THE FOLLOWING MEASURES SHALL BE OBSERVED DURING CONSTRUCTION:
 - HAIL ROADS SHALL BE DAMPED FOR DUST CONTROL.
 - EXCESS DIRT ON ROAD SHALL BE REMOVED IMMEDIATELY.
 - LOADS HAIL TRUCKS SHALL BE COVERED WITH TARP.
 - STABILIZED CONSTRUCTION ENTRANCE.
 - OTHER:
 - SEQUENCE OF CONSTRUCTION (STORM WATER MANAGEMENT) ACTIVITIES:
 - 1. INSTALL TEMPORARY EROSION AND SEDIMENT CONTROLS (E.G. TEMPORARY DESILTING BASINS AND STABILIZED CONSTRUCTION ENTRANCES).
 - 2. PERFORM CLEANING AND GRUBBING.
 - 3. COMPLETE LOT GRADING.
 - 4. WHEN ALL CONSTRUCTION ACTIVITY RELATED TO DEVELOPMENT OF THE SITE IS COMPLETE.
 - EPA, TCEQ, AND CITY OF EL PASO ENGINEERS.

- OTHERS:
- RESERVATION OF NATURAL RESOURCES.
 - BUFFER ZONES.
 - SOIL RETENTION BLANKET.
 - MULCHING.
 - SEEDING.
 - PERMANENT PLANTING, SOODING, OR TEMPORARY SEEDING.
 - SOIL STABILIZATION PRACTICES.
 - EROSION & SEDIMENT CONTROL.
 - NOT ALLOWING SEDIMENT RUNOFF TO ENTER UNTO PUBLIC STREETS.
 - F. FOLLOW MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL OF HAZARDOUS PRODUCTS. (PRACTICES USED TO REDUCE RISKS.)
 - A. KEEP PRODUCTS IN THEIR ORIGINAL CONTAINER IF AT ALL POSSIBLE.
 - B. RETAIN ORIGINAL LABELS, PRODUCT INFORMATION AND MATERIAL SAFETY DATA SHEETS (MSDS) TO REDUCE THE RISK OF LEAKAGE.
 - A. ALL ON-SITE VEHICLES SHALL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTIVE MAINTENANCE TO REDUCE THE CHANGE OF LEAKAGE.
 - EROSION PRODUCTS.
 - RECOMMENDED METHODS:
 - SPILL CONTROL PRACTICES:
 - A. MAINTAINERS RECOMMENDED METHODS FOR SPILL CLEANUP SHALL BE CLEARLY POSTED AND SITE PERSONNEL SHALL BE MADE AWARE OF THE PROCEDURES.
 - B. MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP SHALL BE KEPT IN THE MATERIAL STORAGE AREA ON-SITE.
 - C. SPILLS SHALL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY.
 - D. SPILL AREA SHALL BE WELL VENTILATED AND APPROPRIATE CLOTHING WILL BE WORN.
 - E. SPILLS SHALL BE REPROOFED TO PREVENT RE-ENTRY.
 - F. MEASURES SHALL BE TAKEN TO PREVENT A SPILL FROM REOCCURRING.
 - MAINTENANCE AND INSPECTION PROCEDURES:
 - 24-HOURS PRIOR TO ANTICIPATED STORM EVENT AND INSPECTION AT LEAST ONCE A MONTH OR WHEN ALL POLLUTION MEASURES SHALL BE INSPECTED AT LEAST ONCE A MONTH OR WHEN ADVANCY.
 - A. INSPECTION IN FINAL STABILIZED AREAS OR DURING AND PERIODS WILL BE CONDUCTED MONTHLY.
 - BEST MANAGEMENT PRACTICES AND POLLUTION CONTROL PROCEDURES SHALL BE INSPECTED FOR ADVANCY.
 - C. REPORT SUMMARIZING THE SCOPE OF INSPECTION SHALL BE DONE AND RETAINED ALONG WITH THE SWPPP. THE SWPPP SHALL BE MAINTAINED A LOG OF ALL MAINTENANCE AND INSPECTIONS PERFORMED ON-SITE WITH THE SWPPP PLAN AND PERMITS AS PER EPA, TCEQ AND CITY OF EL PASO REGULATIONS. THE DESIGN ENGINEER AND TCEQ MUST BE NOTIFIED IMMEDIATELY AS TO ANY VIOLATIONS TO THE SWPPP PLAN IN WRITING.
 - ALLOWABLE NON-STORMWATER:
 - A. WATER FROM LINE FLUSHINGS (WHERE NO SPILLS HAVE OCCURRED)
 - B. UNCONTAMINATED GROUND WATER (FROM DEWATERING)
 - D. FIRE FIGHTING
 - ASPHALT PATCH PLANT.

OWNER NAME PRINTED: _____ TITLE: _____ SIGNED DATE: _____

SIGNATURE: _____ COMPANY: _____ ADDRESS: _____ TELEPHONE: _____

SIGNATURE: _____ COMPANY: _____ ADDRESS: _____ TELEPHONE: _____

DATE: _____

GENERAL CONTRACTOR CERTIFICATION:
 I, _____, UNDER PENALTY OF LAW, THAT I UNDERSTAND THE TERMS AND CONDITIONS OF THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) GENERAL PERMIT SITE IDENTIFIED AS PART OF THIS CERTIFICATION.
 I CERTIFY, UNDER PENALTY OF LAW, THAT THIS DOCUMENT AND ALL ATTACHMENTS WERE PREPARED UNDER MY DIRECTION OR SUPERVISION IN ACCORDANCE WITH A SYSTEM DESIGNED TO ASSURE THAT QUALIFIED PERSONNEL PROPERLY GATHERED AND EVALUATED THE INFORMATION SUBMITTED BASED ON MY OWNERY OF THE PERSONS WHO MANAGE THE SYSTEM OR THOSE PERSONS DIRECTLY RESPONSIBLE FOR GATHERING THE INFORMATION, AND COMPLETE I AM AWARE THAT THERE ARE SIGNIFICANT KNOWLEDGE AND BELIEF TRUE, ACCURATE AND COMPLETE I AM AWARE THAT THERE ARE SIGNIFICANT REASONS FOR SUBMITTING FALSE INFORMATION, INCLUDING THE POSSIBILITY OF FINE AND IMPRISONMENT FOR KNOWING VIOLATIONS.
 LOTS WILL BE DESILTED DURING FINAL GRADING. REFER TO THE GRADING AND DRAINAGE PLAN.
 PLANS FOR DESIGN CERTAIN (INCLUDING THE DESIGN COEFFICIENT FOR RUNOFF), SHOWN IN THIS PLAN IS A TYPICAL LOT PONDING DESIGN FOR REFERENCE PURPOSES. ALL POTENTIAL SILT DURING CONSTRUCTION ACTIVITY WILL BE CONTAINED IN THE LOT BY SILT FENCE, AND THE LOTS WILL BE DESILTED DURING FINAL GRADING.
 TO WEST, ALL STORMWATER RUNOFF IS DESIGNED TO GO TO OFF-SITE DRAINAGE STRUCTURES. THE FINAL UTILITIES AND CONSTRUCTION OF DRAINWAYS AS PER THE CONSTRUCTION PLANS THAT LIES EAST OF THIS CONSTRUCTION SITE SHALL INCLUDE GRADING, INSTALLATION OF ALL REQUIRED TO COMPLETE THIS CONSTRUCTION SITE UPON COMPLETION. ALL ACTIVITY INVOLVED IN THIS CONSTRUCTION SITE WILL BE A REDEVELOPMENT OF THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) GENERAL PERMIT FOR THIS CERTIFICATION.
 BEST MANAGEMENT PRACTICES SHALL BE MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT IN EFFECTIVE 2. OPERATIONAL CONTROLS, MATERIAL STORAGE AREAS, VEHICLES ENTRANCE AND EXITS, ACTIONS TAKEN AND INSPECTION NAME
 3. CONSTRUCTION SITE NOTICE WILL BE MAINTAINED ON SITE
 4. PERMITS MUST RETAIN THE SWPP PLAN FOR A MINIMUM OF 3 YEARS FROM THE TERMINATION AND FINAL STABILIZATION OF PROJECT.
 WASTE MATERIALS:
 A. ALL WASTE MATERIALS, INCLUDING CONSTRUCTION WASTE MATERIAL SHALL BE BURIED ON SITE.
 B. ALL WASTE MATERIALS, INCLUDING CONSTRUCTION WASTE MATERIAL SHALL BE BURIED ON SITE.
 C. STORE ONLY EXCESS SUBSTANCES WITH ONE ANOTHER, UNLESS OTHERWISE RECOMMENDED BY THE MANUFACTURER.
 D. USE EXCESS CONTENTS OF A PRODUCT BEFORE DISPOSING THE CONTAINER.
 E. KEEP PRODUCTS IN THEIR ORIGINAL CONTAINER.
 F. NEARLY STORE MATERIALS ON-SITE IN AN ORDERLY MANNER.
 G. STORE ONLY EXCESS SUBSTANCES WITH ONE ANOTHER, UNLESS OTHERWISE RECOMMENDED BY THE MANUFACTURER.
 H. USE EXCESS CONTENTS OF A PRODUCT BEFORE DISPOSING THE CONTAINER.
 I. FOLLOW MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL OF HAZARDOUS PRODUCTS. (PRACTICES USED TO REDUCE RISKS.)
 J. KEEP PRODUCTS IN THEIR ORIGINAL CONTAINER IF AT ALL POSSIBLE.
 K. RETAIN ORIGINAL LABELS, PRODUCT INFORMATION AND MATERIAL SAFETY DATA SHEETS (MSDS) TO REDUCE THE RISK OF LEAKAGE.
 L. ALL ON-SITE VEHICLES SHALL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTIVE MAINTENANCE TO REDUCE THE CHANGE OF LEAKAGE.
 M. EROSION PRODUCTS.
 N. RECOMMENDED METHODS:
 O. SPILL CONTROL PRACTICES:
 P. MAINTAINERS RECOMMENDED METHODS FOR SPILL CLEANUP SHALL BE CLEARLY POSTED AND SITE PERSONNEL SHALL BE MADE AWARE OF THE PROCEDURES.
 Q. MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP SHALL BE KEPT IN THE MATERIAL STORAGE AREA ON-SITE.
 R. SPILLS SHALL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY.
 S. SPILLS SHALL BE REPROOFED TO PREVENT RE-ENTRY.
 T. MEASURES SHALL BE TAKEN TO PREVENT A SPILL FROM REOCCURRING.
 U. MAINTENANCE AND INSPECTION PROCEDURES:
 V. 24-HOURS PRIOR TO ANTICIPATED STORM EVENT AND INSPECTION AT LEAST ONCE A MONTH OR WHEN ALL POLLUTION MEASURES SHALL BE INSPECTED AT LEAST ONCE A MONTH OR WHEN ADVANCY.
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 BB. UNCONTAMINATED GROUND WATER (FROM DEWATERING)
 CC. FIRE FIGHTING
 DD. ASPHALT PATCH PLANT.

OWNER NAME PRINTED: _____ TITLE: _____ SIGNED DATE: _____

SIGNATURE: _____ COMPANY: _____ ADDRESS: _____ TELEPHONE: _____

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 DD. ASPHALT PATCH PLANT.

Revisions:	
Release Dates:	

Scale: _____
 PLAN
 SCALE: AS NOTED
 PROFILES
 SCALE: AS NOTED
 HORIZONTAL: AS NOTED

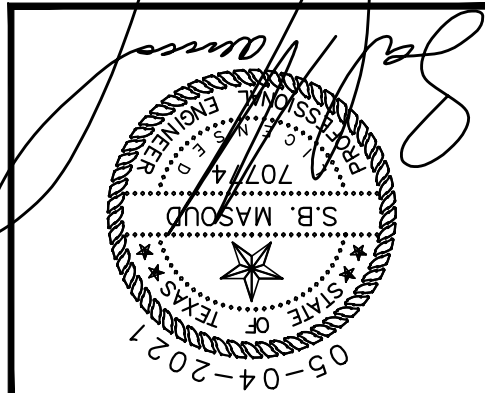
D R E

Del Rio Engineering, Inc.
 P. O. Box 220251 El Paso, Texas 79913 915/833-2400 TBPE Firm #: P-1093

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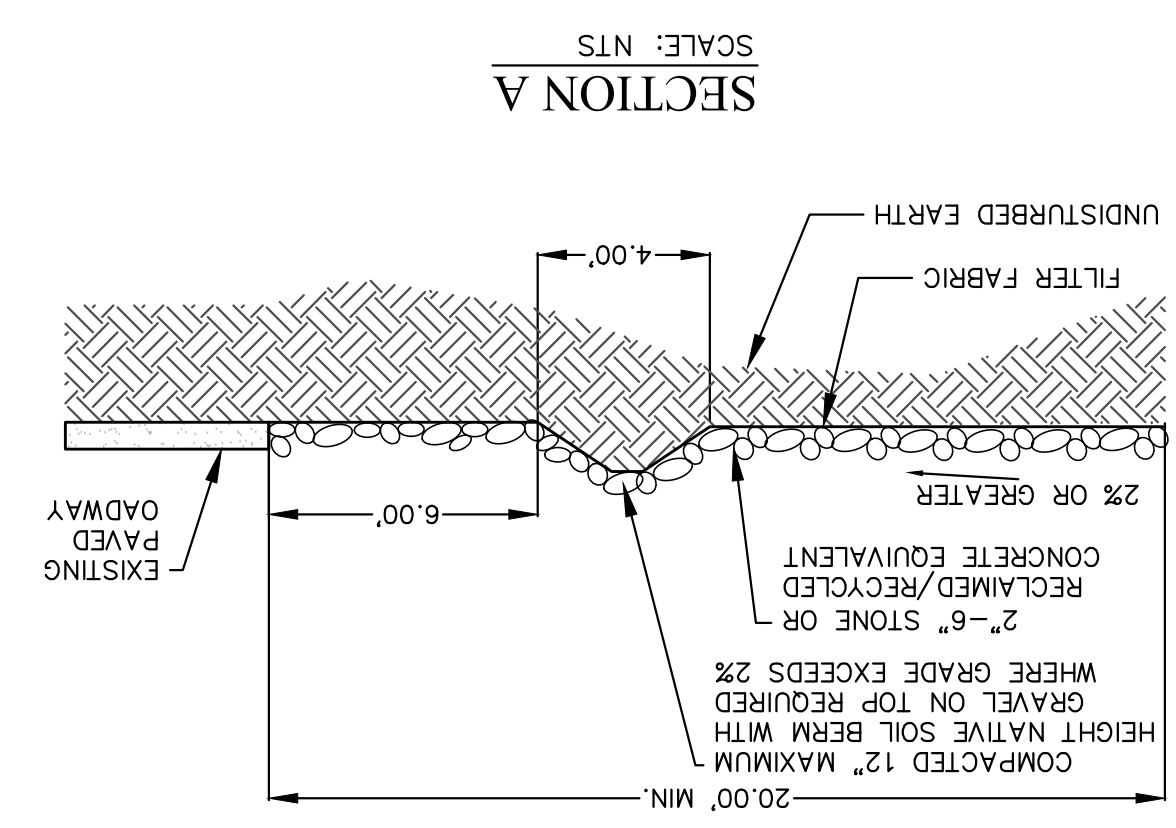
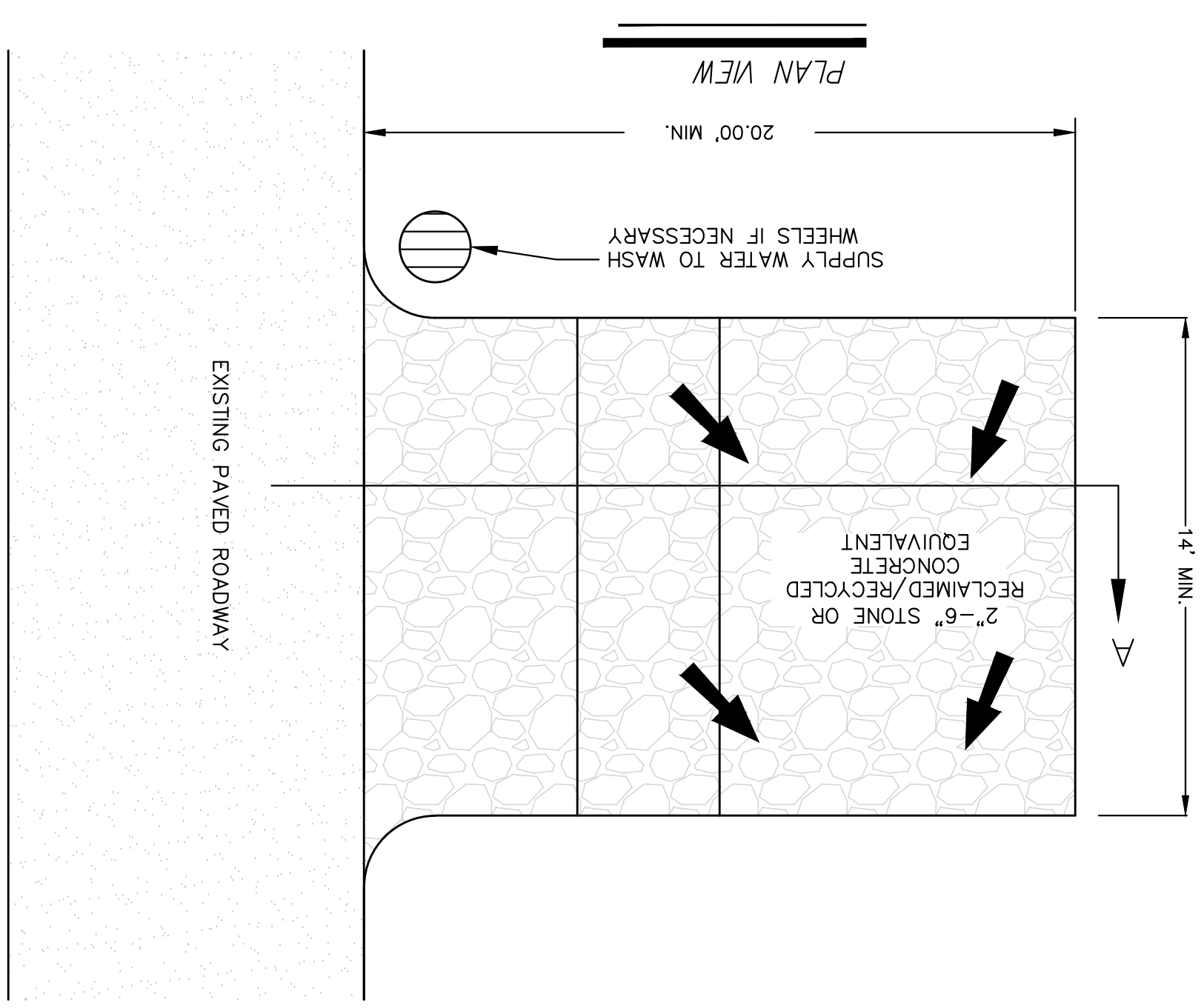
SWPPP DETAILS

HIDDEN GARDENS VILLAGE
 TRACTS 1E, 1E2, 1F, 2B, AND 3C1,
 BLOCK 9, UPPER VALLEY SURVEYS,
 CITY OF EL PASO, EL PASO COUNTY, TEXAS

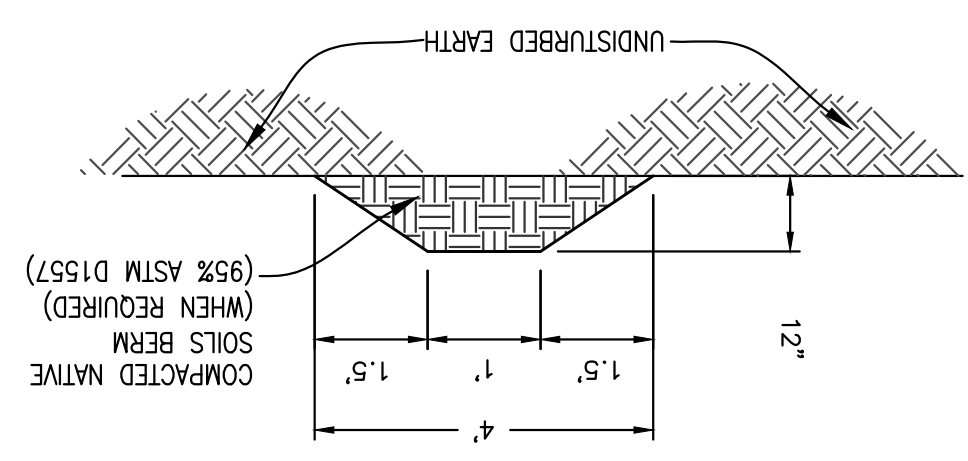


PROJECT #	J20-095
Design By:	LU
Drawn By:	LU
SHEET:	C-17

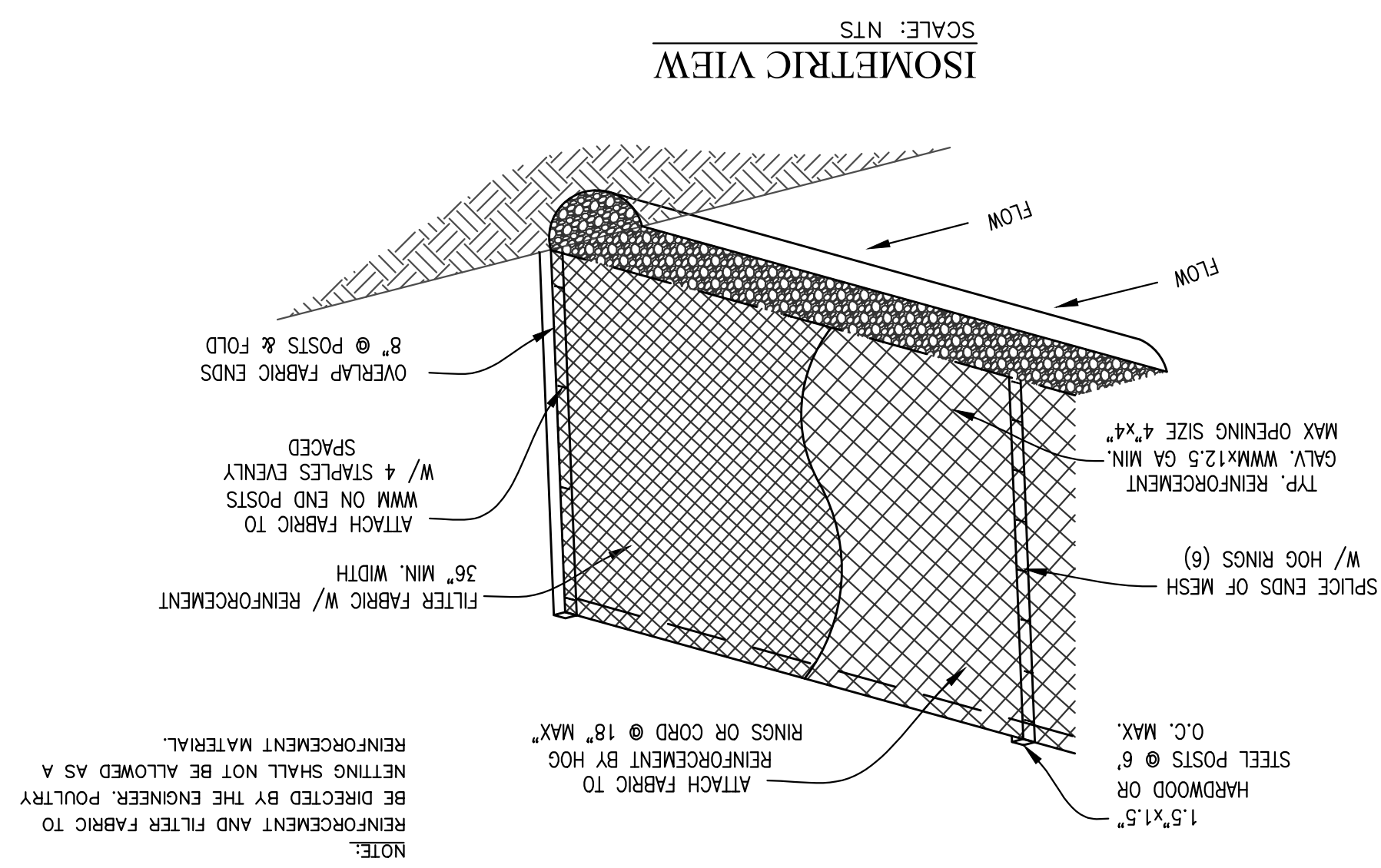
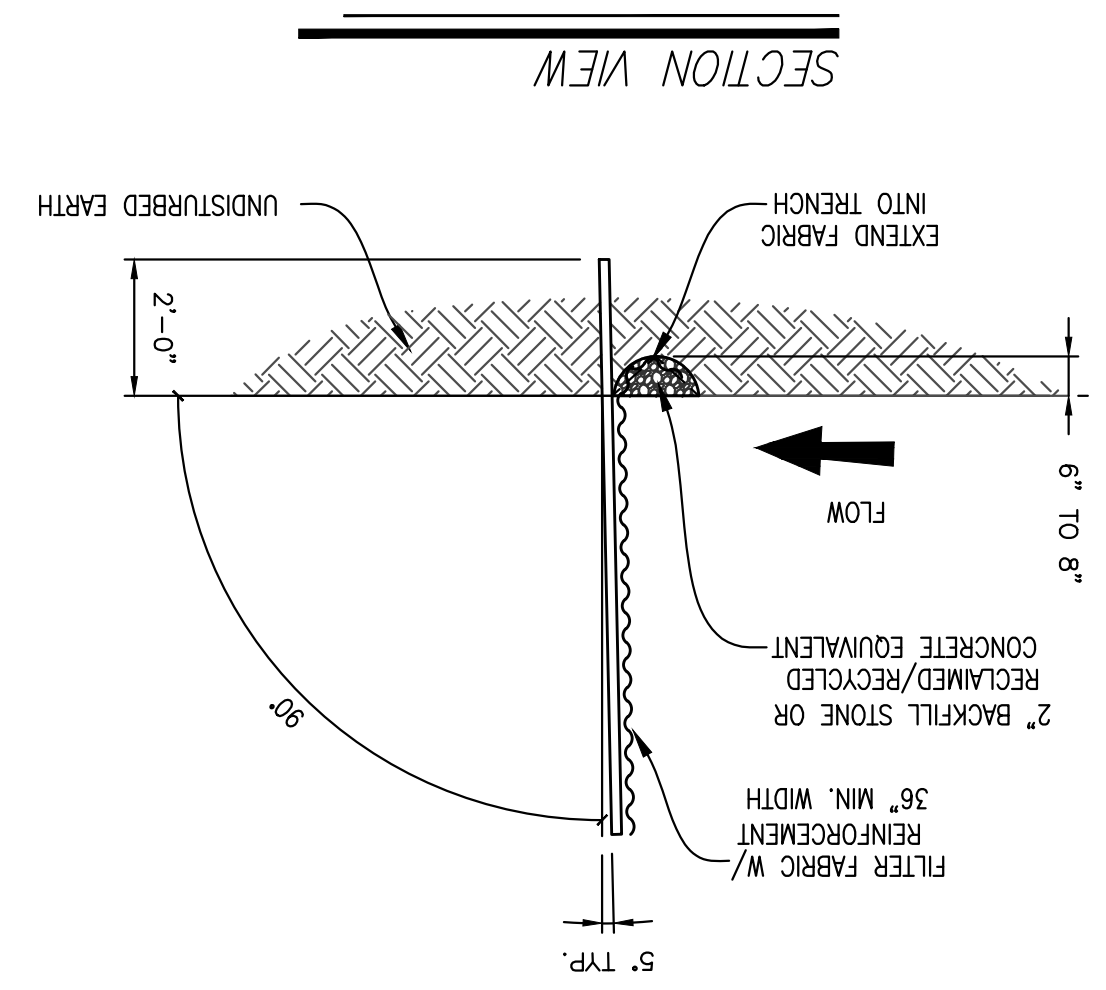
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 SCALE: NTS



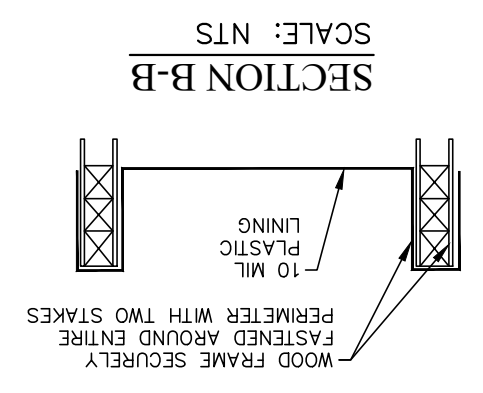
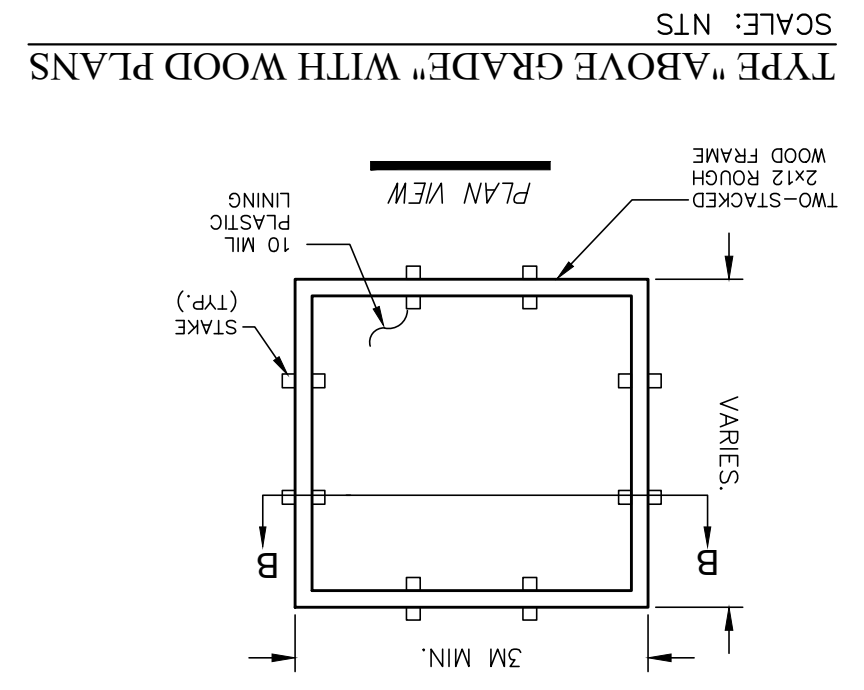
C TEMPORARY EARTHEN BERM
 SCALE: NTS



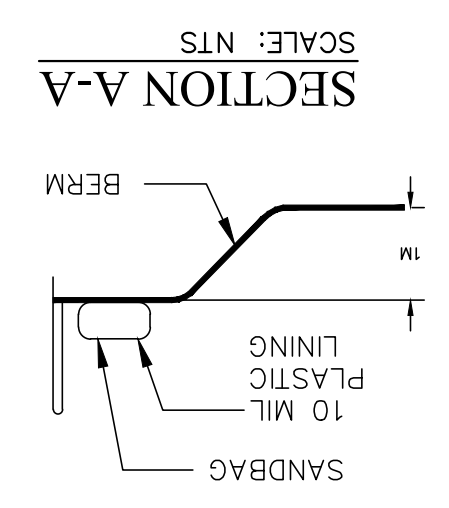
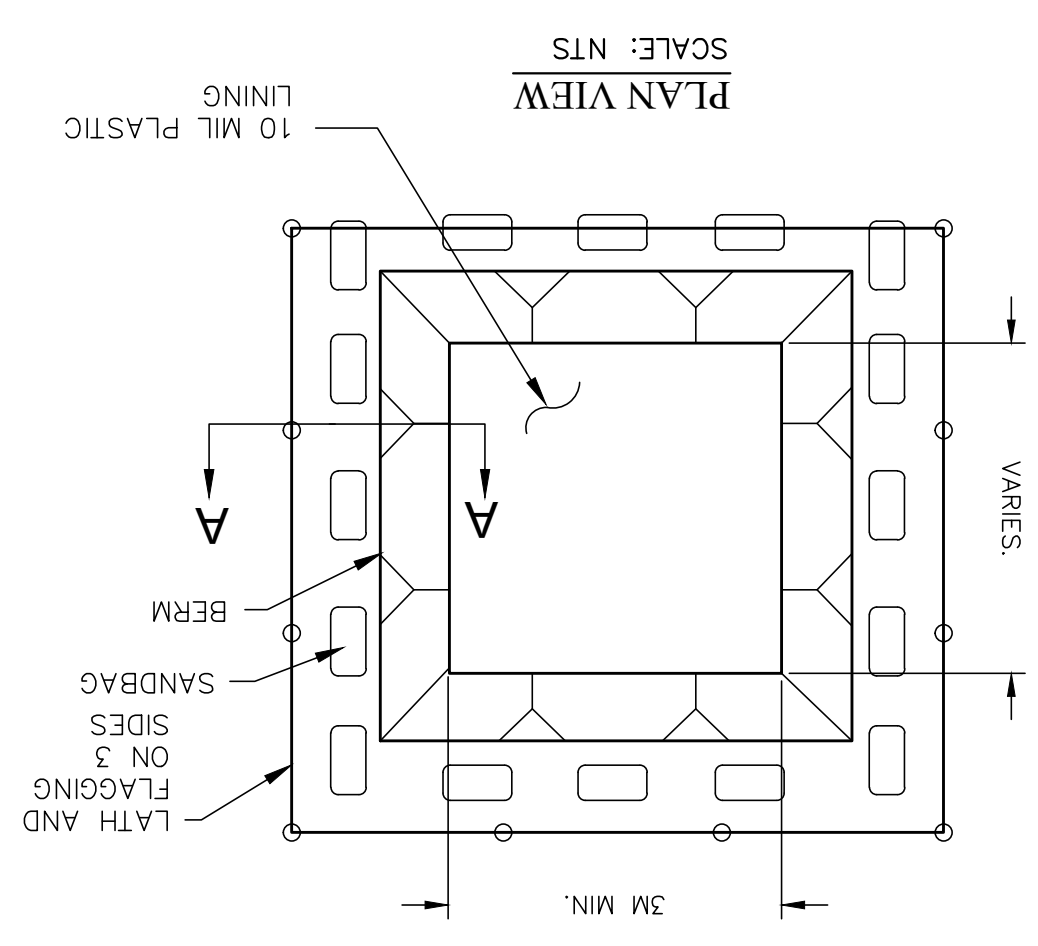
B TEMPORARY SEDIMENT CONTROL FENCE OPTION
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D CONCRETE WASHOUT AREA
 SCALE: NTS



TYPE \"BELOW GRADE\"
 SCALE: NTS

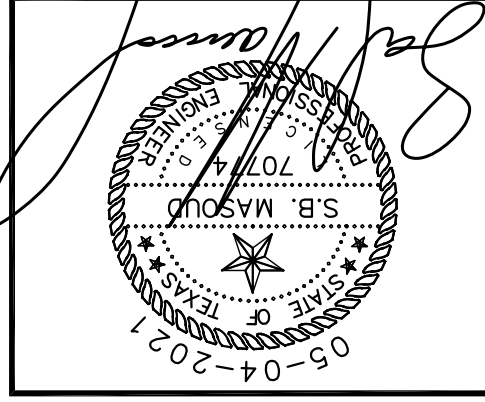


Revisions:	
Revised:	
By:	
Date:	

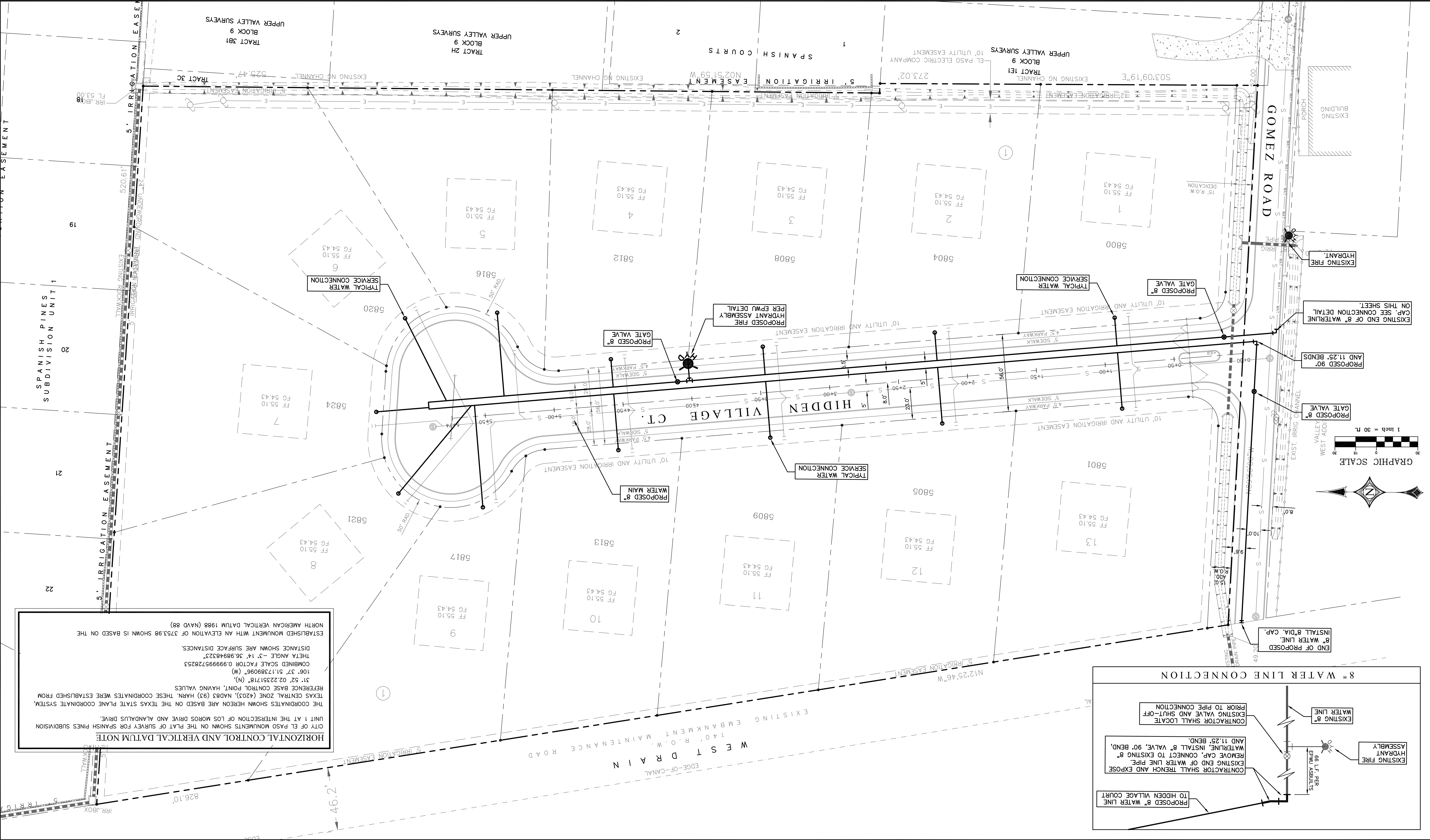
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SCALE: AS NOTED
PROFILES
SCALE: AS NOTED
HORIZONTAL: AS NOTED
VERTICAL: AS NOTED

DRE
Del Rio Engineering, Inc.
P.O. Box 220251 El Paso, Texas 79913 915/833-2400 TBEPE Firm #: 1-1093

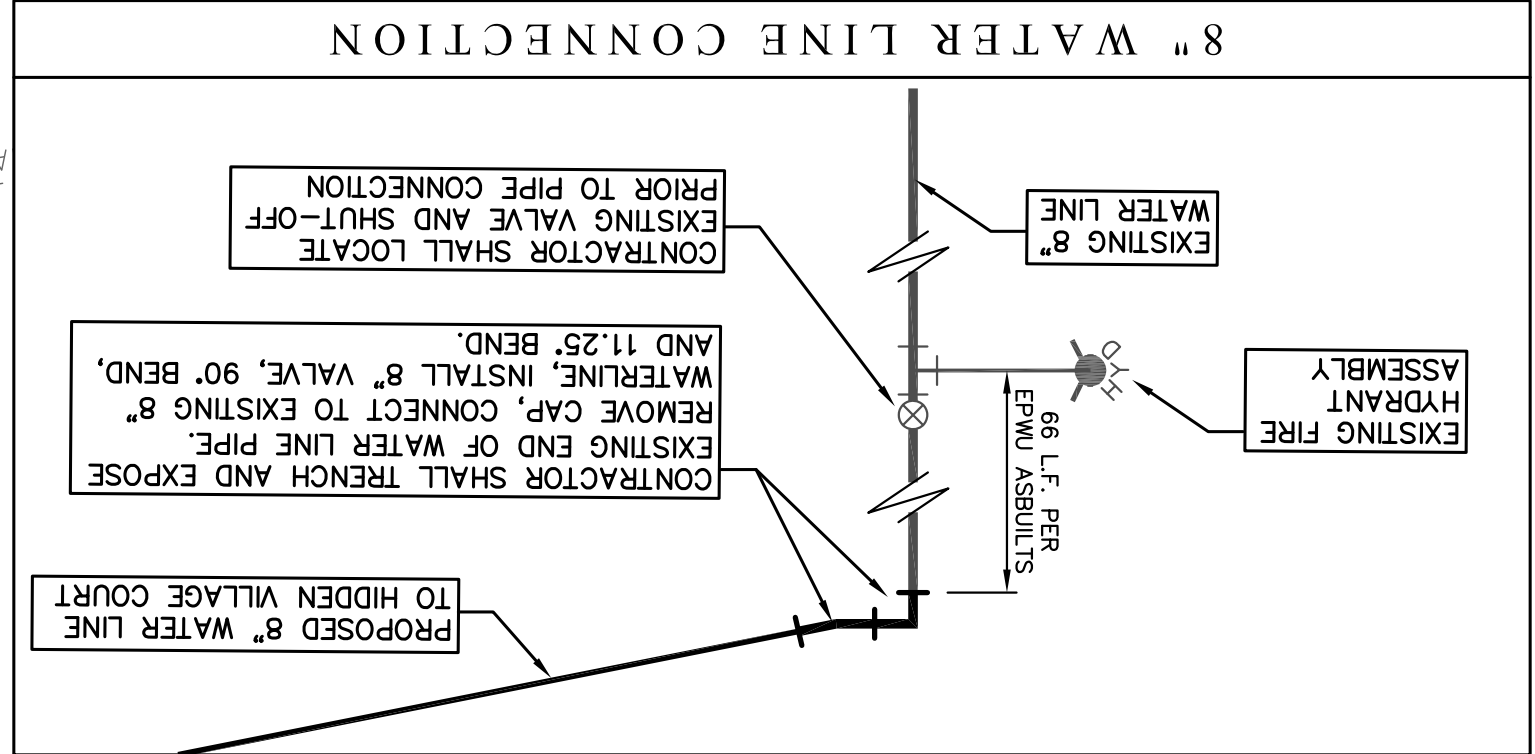
WATER SERVICE PLAN
HIDDEN GARDENS VILLAGE
TRACTS 1E, 1E2, 1F, 2B, AND 3C1,
BLOCK 9, UPPER VALLEY SURVEYS,
CITY OF EL PASO, EL PASO COUNTY, TEXAS



PROJECT #	J20-095
Design By:	LU
Drawn By:	LU
SHEET:	C-18
Plot Date:	05-04-2021
SCALE:	1"=30'



HORIZONTAL CONTROL AND VERTICAL DATUM NOTE
CITY OF EL PASO MONUMENTS SHOWN ON THE PLAT OF SURVEY FOR SPANISH PINES SUBDIVISION UNIT 1 AT THE INTERSECTION OF LOS MOROS DRIVE AND ALDADULS DRIVE.
THE COORDINATES SHOWN HEREON ARE BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM, TEXAS CENTRAL ZONE (4203), NAD83 (93) HARN. THESE COORDINATES WERE ESTABLISHED FROM REFERENCE BASE CONTROL POINT, HAVING VALUES
31° 52' 02.22351718" (N),
106° 37' 51.17389096" (W)
COMBINED SCALE FACTOR 0.999995728253
THETA ANGLE -3° 14' 36.98948323"
DISTANCE SHOWN ARE SURFACE DISTANCES.
ESTABLISHED MONUMENT WITH AN ELEVATION OF 3753.98 SHOWN IS BASED ON THE NORTH AMERICAN VERTICAL DATUM 1988 (NAVD 88)



Revisions:	
Release Dates:	

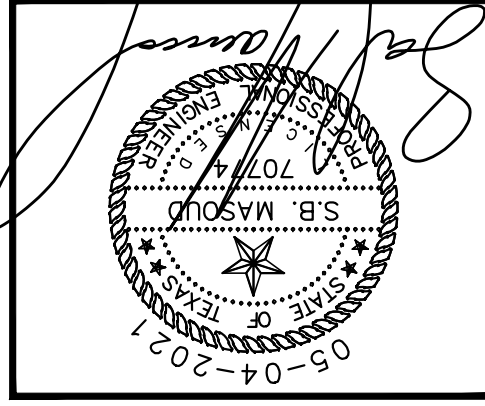
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SCALE: AS NOTED
PROFILES
SCALE: AS NOTED
HORIZONTAL: AS NOTED

Scale: **PLAN**
SCALE: AS NOTED
PROFILES
SCALE: AS NOTED
HORIZONTAL: AS NOTED

DRE
Del Rio Engineering, Inc.
P. O. Box 20251 El Paso, Texas 79911 915/833-2400 TTEP Form # F-1093

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WATER SERVICE STANDARD DETAILS
TRACTS 1E, 1E2, 1F, 2B, AND 3C1,
BLOCK 9, UPPER VALLEY SURVEYS,
CITY OF EL PASO, EL PASO COUNTY, TEXAS



PROJECT #	J20-095
Design By:	LU
Drawn By:	LU
SHEET:	C-19

STANDARD DETAIL DATE: 2/19/94 REV: N.T.S.
BONNET BOX

CONSTRUCTION KEY NOTES:
1. CASTING TO BE SMOOTH AND VOID OF AIR HOLES.
2. WEIGHT OF BONNET BOX IS 95 POUNDS.
3. FLANK EXTENSION TO BONNET BOX SHALL BE WITH SPOOL.

GENERAL NOTES:
1. CASTING TO BE SMOOTH AND VOID OF AIR HOLES.
2. WEIGHT OF BONNET BOX IS 95 POUNDS.

STANDARD DETAIL DATE: 2/16/2006 REV: 12/14/2007 N.T.S.
BONNET BOX COVER (FLIP RESISTANT)

CONSTRUCTION KEY NOTES:
1. CASTINGS TO BE SMOOTH AND VOID OF AIR HOLES.
2. WEIGHT OF COVER IS 18 POUNDS.
3. THAT WOULD PREVENT A SNUG FIT.

GENERAL NOTES:
1. CASTINGS TO BE SMOOTH AND VOID OF AIR HOLES.
2. WEIGHT OF COVER IS 18 POUNDS.
3. THAT WOULD PREVENT A SNUG FIT.

STANDARD DETAIL DATE: 5/19/94 REV: 6/23/2009 N.T.S.
GATE VALVE INSTALLATION

CONSTRUCTION KEY NOTES:
1. VALVE AND VALVE ENDS SHALL BE AS PROVIDED WITH SOLID STEEL EXTENSION STEM.
2. ALL RUBBER VALVES 5" AND DEEPER SHALL BE PROVIDED WITH SOLID STEEL EXTENSION STEM.
3. PIPE SHALL NOT REST ON VALVE BODY.
4. THICK STEEL TRASH RING VALVE BOX INSIDE CLEAN BONNET BOX OF ALL DEBRIS AND SOIL.
5. SPECIFICATIONS VALVE SHALL BE WELDED IN PLACE IN ACCORDANCE WITH SPECIFICATIONS.

GENERAL NOTES:
1. VALVE AND VALVE ENDS SHALL BE AS PROVIDED WITH SOLID STEEL EXTENSION STEM.
2. ALL RUBBER VALVES 5" AND DEEPER SHALL BE PROVIDED WITH SOLID STEEL EXTENSION STEM.
3. PIPE SHALL NOT REST ON VALVE BODY.
4. THICK STEEL TRASH RING VALVE BOX INSIDE CLEAN BONNET BOX OF ALL DEBRIS AND SOIL.
5. SPECIFICATIONS VALVE SHALL BE WELDED IN PLACE IN ACCORDANCE WITH SPECIFICATIONS.

STANDARD DETAIL DATE: 10/17/2008 REV: 10/17/2008 N.T.S.
COMBINATION AIR RELEASE VALVE FOR LINES 16" AND SMALLER BEHIND CURB INSTALLATION

CONSTRUCTION KEY NOTES:
1. INSTALLATION SHALL GENERALLY BE FOR A MAIN-LINE 16" AND SMALLER (1" AIR RELEASE VALVE SHOWN).
2. VALVE SHALL BE TYPE "D" - SEE DETAIL 294. SET TOP OF VALVE SLIGHTLY HIGHER THAN SURROUNDING GROUND OR AT CURB LEVEL.
3. VALVE AND PIPE SIZES AS SPECIFIED.
4. MANUFACTURER, PROVIDE TAPPING SADDLE TO SIZE OF AIR RELEASE VALVE.
5. ANCHOR PIPING TO VALVE VALVE WITH 3"x3"x6" ANGLE.
6. 1" COPPER PIPE.
7. FEMALE THREADED BRASS BALL VALVE.
8. 1" FEMALE THREADED BRASS NIPPLE.
9. 1" MALE THREADED BRASS NIPPLE.
10. 1/2" FEMALE THREADED BRASS 90° ELBOW.
11. AIR RELEASE VALVE, SIZE AS SPECIFIED.
12. VALVE THREADED BRASS 90° ELBOW.
13. VALVE THREADED BRASS 90° ELBOW.
14. VALVE THREADED BRASS 90° ELBOW.
15. VALVE THREADED BRASS 90° ELBOW.
16. GRAVEL FILL.

GENERAL NOTES:
1. INSTALLATION SHALL GENERALLY BE FOR A MAIN-LINE 16" AND SMALLER (1" AIR RELEASE VALVE SHOWN).
2. VALVE SHALL BE TYPE "D" - SEE DETAIL 294. SET TOP OF VALVE SLIGHTLY HIGHER THAN SURROUNDING GROUND OR AT CURB LEVEL.
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11. AIR RELEASE VALVE, SIZE AS SPECIFIED.
12. VALVE THREADED BRASS 90° ELBOW.
13. VALVE THREADED BRASS 90° ELBOW.
14. VALVE THREADED BRASS 90° ELBOW.
15. VALVE THREADED BRASS 90° ELBOW.
16. GRAVEL FILL.

STANDARD DETAIL DATE: 9/19/94 REV: 8/9/2006 N.T.S.
TAPPING SLEEVE AND VALVE INSTALLATION

CONSTRUCTION KEY NOTES:
1. TAPPING SLEEVE SHALL BE 18" MINIMUM FROM ANY BELT, COUPLING, VALVE OR FITTING LOCATED ALONG EXISTING WATER LINE TO BE TAPPED.
2. TAPPING SLEEVE SHALL BE 18" MINIMUM FROM TRENCH.
3. TAPPING SLEEVE SHALL BE 18" MINIMUM FROM TRENCH.
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10. TAPPING SLEEVE SHALL BE 18" MINIMUM FROM TRENCH.
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14. TAPPING SLEEVE SHALL BE 18" MINIMUM FROM TRENCH.
15. TAPPING SLEEVE SHALL BE 18" MINIMUM FROM TRENCH.
16. TAPPING SLEEVE SHALL BE 18" MINIMUM FROM TRENCH.

STANDARD DETAIL DATE: 4/24/2007 REV: 2/21/2011 N.T.S.
EMBEDMENT CLASS "A" FOR PRESSURE PIPE AND GRAVITY PIPE

CONSTRUCTION KEY NOTES:
1. BEDDING FOR PRESSURE AND GRAVITY PIPE IN SAND CONDITIONS.
2. PROVIDE TRENCH SAFETY SYSTEM FROM 18" DEPTH TO EXCEED 5 FEET.
3. IF THE NATURAL EXCAVATED MATERIAL IS UNSATISFACTORY, THE CONTRACTOR SHALL PLACE EXCAVATED MATERIAL IN PLACE OF THE NATURAL MATERIAL. SELECT MATERIAL TO BE WELDED WITH OR USED IN PLACE OF THE NATURAL MATERIAL.
4. APPROVED MAKING TAPE.
5. UNSATISFACTORY MATERIAL SHALL BE BACKFILL TO THE TRENCH IS UNSATISFACTORY AS BACKFILL.
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GENERAL NOTES:
1. BEDDING FOR PRESSURE AND GRAVITY PIPE IN SAND CONDITIONS.
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STANDARD DETAIL DATE: 8/9/2006 REV: 5/11/2017 N.T.S.
CONCRETE COLLAR INSTALLATION IN PAVED AREAS

CONSTRUCTION KEY NOTES:
1. CONCRETE COLLAR SHALL BE CAST WITH COMPRESSIVE STRENGTH 4000 PSI. HIGH EARLY CONCRETE (MINIMUM 28 DAY COMPRESSIVE STRENGTH 4000 PSI) SHALL BE USED WHEN TRENCH DEPTH EXCEEDS 5 FEET.
2. TOP OF CONCRETE COLLAR SHALL BE FLUSH WITH ROADWAY SURFACE OR FINISHED GRADE UNLESS OTHERWISE SPECIFIED.
3. ANY DISTRIBUTED SUBGRADE UNDER THE CONCRETE COLLAR SHALL BE COMPACTED TO 100% DENSITY ± 2% OF MINIMUM MOISTURE CONTENT IN ACCORDANCE WITH ASTM D-1557.
4. ANY DISTRIBUTED SUBGRADE UNDER THE CONCRETE COLLAR SHALL BE COMPACTED TO 95% DENSITY ± 2% OF MINIMUM MOISTURE CONTENT IN ACCORDANCE WITH ASTM D-1557.
5. PROVIDE A MINIMUM OF 1/2" OF CONCRETE COVER FOR ALL REINFORCEMENT STEEL.
6. REINFORCEMENT SHALL MEET ASTM C-478 AND TAPING SHALL BE COMPACTED TO 95% DENSITY ± 2% OF MINIMUM MOISTURE CONTENT IN ACCORDANCE WITH ASTM D-1557.
7. NO. 3 REINFORCING STEEL HOOPS SHALL BE SPACED EQUALLY.
8. APPROVED MAKING TAPE.
9. UNSATISFACTORY MATERIAL SHALL BE BACKFILL TO THE TRENCH IS UNSATISFACTORY AS BACKFILL.
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STANDARD DETAIL DATE: 8/3/2006 REV: 8/3/2006 N.T.S.
COVER FOR WATER MAINS

CONSTRUCTION KEY NOTES:
1. REFER TO UTILITY DETAIL FOR REINFORCEMENT AND BACKFILL REQUIREMENTS.
2. TRENCH SAFETY SYSTEMS SHALL BE USED WHEN TRENCH DEPTH EXCEEDS 5 FEET.
3. COVER FOR WATER MAINS SHALL DEPEND ON THE PIPE SIZE AND THE FOLLOWING INSTALLATION CONDITIONS.
4. CONDITION A - NORMAL LINE INSTALLATION, STREET AND RELOCATION.
5. CONDITION B - NEW SUBDIVISIONS, NON-PAVED AREA AND SHALL BE AS FOLLOWS:
6. PIPE SIZE CONDITION DIMENSION
7. 12" & LARGER A OR B D1 = 5"
8. 8" B D1 = 4"
9. 6" B D1 = 4"
10. 4" B D1 = 5"

GENERAL NOTES:
1. REFER TO UTILITY DETAIL FOR REINFORCEMENT AND BACKFILL REQUIREMENTS.
2. TRENCH SAFETY SYSTEMS SHALL BE USED WHEN TRENCH DEPTH EXCEEDS 5 FEET.
3. COVER FOR WATER MAINS SHALL DEPEND ON THE PIPE SIZE AND THE FOLLOWING INSTALLATION CONDITIONS.
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7. 12" & LARGER A OR B D1 = 5"
8. 8" B D1 = 4"
9. 6" B D1 = 4"
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Revisions:	
Release Dates:	

Scale: PLAN
SCALE: AS NOTED
PROFILES
HORIZONTAL: AS NOTED
VERTICAL: AS NOTED

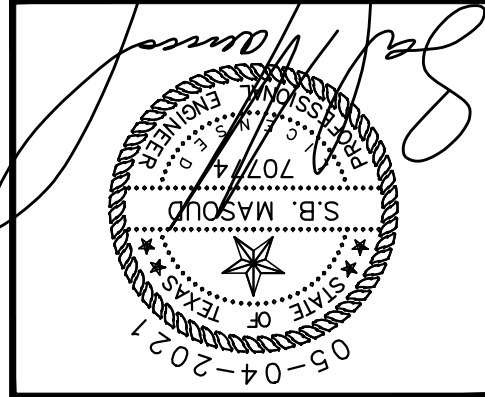
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P. O. Box 220251 El Paso, Texas 79913 915/833-2400 TBEF Form # 1-1093

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WATER SERVICE STANDARD DETAILS
HIDDEN GARDENS VILLAGE
TRACTS 1E, 1E2, 1F, 2B, AND 3C1,
BLOCK 9, UPPER VALLEY SURVEYS,
CITY OF EL PASO, EL PASO COUNTY, TEXAS



PROJECT #	J20-095
Design By:	LU
Drawn By:	LU
SHEET:	C-20

STANDARD DETAIL No. 281
DATE: 2/1994
REV: FEB. 1994
N.T.S.

FIRE HYDRANT CAP

GENERAL NOTES:

- STEEL CAPS TO BE MACHINED FROM STEEL PIPE. WALL THICKNESS = 0.203
- CAPS ARE TO BE TACK WELDED OR BRAZED ON FIRE HYDRANT BONNET OR WELDED CAP.
- THE CAPS OVER THE OPERATING NUT WILL PREVENT ACCESS TO THE UNAUTHORIZED USE OF HYDRANT WATER.

STANDARD DETAIL No. 282
DATE: 5/9/2017
REV: 5/9/2017
N.T.S.

FIRE HYDRANT LOCATIONS

STANDARD LOCATIONS

SPECIAL LOCATIONS

GENERAL NOTES:

- FOR CASE 1 FIRE HYDRANT SHALL BE LOCATED AT THE PROPERTY LINE OR AT THE BEGINNING OF CURB RETURN.
- FOR CASE 2 FIRE HYDRANT SHALL BE LOCATED AT THE PROPERTY LINE OR AT THE EDGE OF PAVEMENT OR CURB AND OUTER WHEEL CHAIR RAMP.
- FOR CASE 3 AND 4 THE DISTANCE BETWEEN THE VALVE AND THE HYDRANT AS LESS THAN 7 FT. PLACE HYDRANT AS DETAIL 280-1 OR 280-2.
- FOR INSTALLATION OF FIRE HYDRANT SEE DETAIL 280-1 OR 280-2.
- A MINIMUM CLEARANCE OF 5 FT. WILL BE PROVIDED BETWEEN A FIRE HYDRANT AND A PERMANENT OBSTRUCTION (UTILITY POLE, LIGHT STANDOFF, TRAFFIC SIGNAL, WHEEL CHAIR RAMP, FENCE PROTECTIVE POSTS, ETC.).
- WHEN INSTALLATION IS WITHIN 10 FT. RIGHT OF WAY, HYDRANT SHALL NOT BE PLACED IN SIDEWALK AREA OR ANY CLOSER THAN 5' FROM BACK OF CURB.

STANDARD DETAIL No. 270
DATE: 2/1994
REV: 8/17/2006
N.T.S.

CONCRETE THRUST BLOCKING

GENERAL NOTES:

- TABLE IS BASED ON 2000#/SQ. FT. SOIL. IF CONDITIONS ARE FOUND TO INDICATE SOIL BEARING IS LESS, THE AREAS SHALL BE INCREASED ACCORDINGLY.
- AREAS FOR PIPE LARGER THAN 18\"/>

CONSTRUCTION KEY NOTES:

- WHEN NECESSARY ADDITIONAL THRUST RESISTANT FLAG OR OTHER LOCATIONS AS REQUIRED.
- FLAG IN A SIMILAR MANNER AT TEES, HYDRANTS, SPIGOT JOINTS.
- KEEP CONCRETE CLEAR OF M.I. OR BELL AND GASKET JOINTS.
- SIZE MAY BE DECREASED FOR LESSER CONCRETE STRENGTH.
- THRUST BLOCK IS TO EXTEND TO UNDISTURBED SOIL.
- CONCRETE SHALL HAVE A MINIMUM COMPRESSION STRENGTH OF 2500 PSI.
- CONCRETE SHALL BE PLACED IN 18\"/>

STANDARD DETAIL No. 271
DATE: 2/1994
REV: 12/12/2011
N.T.S.

VALVE ANCHOR

GENERAL NOTES:

- THE ENGINEER SHALL PROVIDE DESIGN FOR ALL VALVES.
- VALVES GREATER THAN 12\"/>

CONSTRUCTION KEY NOTES:

- TWO NO. 5 REBAR HAIR PINS PAINT UNBEDDED PORTION OF REBAR WITH TWO COATS OF COAL TAR EPOXY.
- CONCRETE VALVE SUPPORT, 2500 PSI, CONCRETE. REQUIRED BEARING AREA.
- APPROVED PIPE.

STANDARD DETAIL No. 290-1
DATE: 12/1994
REV: 5/2/2007
N.T.S.

SERVICE LINE 3/4\"/>

GENERAL NOTES:

- DETAIL SHOWN FOR A 3/4\"/>

CONSTRUCTION KEY NOTES:

- THE EPWM WILL FURNISH AND INSTALL ALL NECESSARY PIPE FITTINGS, METERS, BOXES, AND FLUMBER INSTALL A BACKFLOW PREVENTER AND EXTEND SERVICE LINE ON DISCHARGE SIDE OF METER.
- WHERE NO CURB EXISTS (TYPE 1), THE SERVICE LINE SHALL BE AT DESIGNATED LOCATION.
- WHERE CURB EXISTS (TYPE 2), THE SERVICE LINE SHALL BE AT DESIGNATED LOCATION.
- THE EPWM WILL FURNISH AND INSTALL ALL NECESSARY PIPE FITTINGS, METERS, BOXES, AND FLUMBER INSTALL A BACKFLOW PREVENTER AND EXTEND SERVICE LINE ON DISCHARGE SIDE OF METER.

STANDARD DETAIL No. 280-1
DATE: 2/1993
REV: 5/9/2017
N.T.S.

FIRE HYDRANT INSTALLATION

GENERAL NOTES:

- NO OBSTRUCTIONS WILL BE PERMITTED WITHIN 5 FT. MINIMUM CLEARANCE FROM FIRE HYDRANT.
- ALL DIRECTIONS OF FIRE HYDRANT (PER EL PASO WATER SERVICE STANDARD DETAILS) SHALL BE PLACED IN WHEEL CHAIR RAMP OR DRIVEWAY.
- FIRE HYDRANT SHALL BE LOCATED AT THE COMMON PROPERTY LINE OR AT THE PROPERTY LINE OR AT THE BEGINNING OF CURB RETURN OR AT THE PROPERTY LINE OR AT THE BEGINNING OF CURB RETURN OR AT THE PROPERTY LINE OR AT THE BEGINNING OF CURB RETURN.
- VALVE MAY BE CONNECTED TO THE 1\"/>

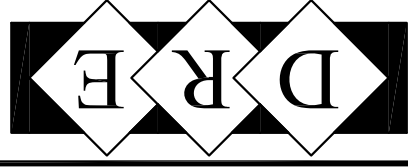
CONSTRUCTION KEY NOTES:

- FIRE HYDRANT PER SPECS.
- PUMPER NOZZLE 4\"/>

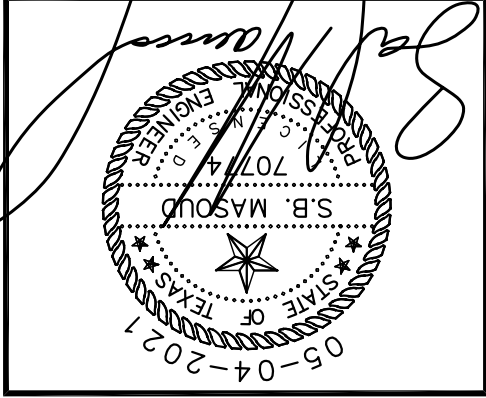
Revisions:	
Release Dates:	

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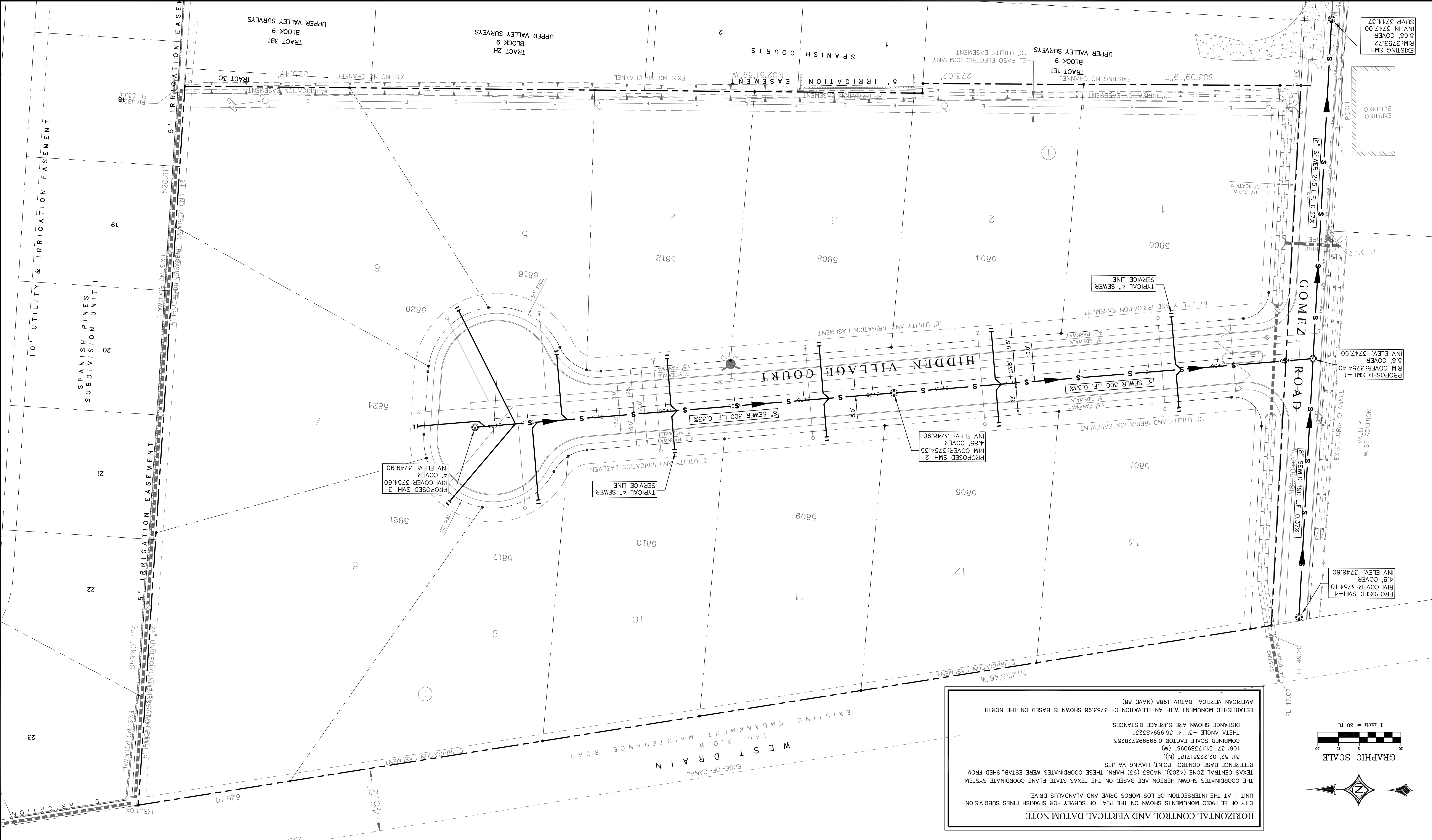
Del Rio Engineering, Inc.
 P.O. Box 220251 El Paso, Texas 79913 915/833-2400 TRPE Firm #: 1-1093



SEWER SERVICE PLAN
HIDDEN GARDENS VILLAGE
 TRACTS 1E, 1E2, 1F, 2B, AND 3C1,
 BLOCK 9, UPPER VALLEY SURVEYS,
 CITY OF EL PASO, EL PASO COUNTY, TEXAS



PROJECT #	J20-095
Design By:	LU
Drawn By:	LU
SHEET:	C-21
Plot Date:	05-04-2021
SCALE	1"=30'



HORIZONTAL CONTROL AND VERTICAL DATUM NOTE
 CITY 1 AT THE INTERSECTION OF LOS MOROS DRIVE AND ALANDALUS DRIVE.
 TEXAS CENTRAL ZONE (4203), NAD83 (93) HARN. THESE COORDINATES WERE ESTABLISHED FROM
 REFERENCE BASE CONTROL POINT, HAVING VALUES
 31.52' 02.22351718" (N)
 106.37' 51.17389096" (W)
 COMBINED SCALE FACTOR 0.999995728253
 THETA ANGLE -3' 14" 36.98948323"
 DISTANCE SHOWN ARE SURFACE DISTANCES.
 ESTABLISHED MONUMENT WITH AN ELEVATION OF 3753.98 SHOWN IS BASED ON THE NORTH
 AMERICAN VERTICAL DATUM 1988 (NAVD 88)

Release Dates:	
Revisions:	

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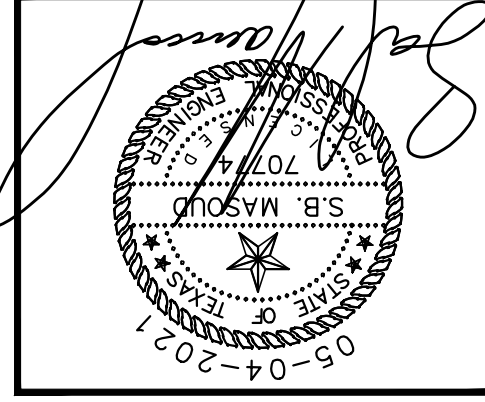
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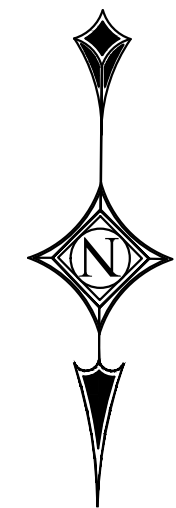
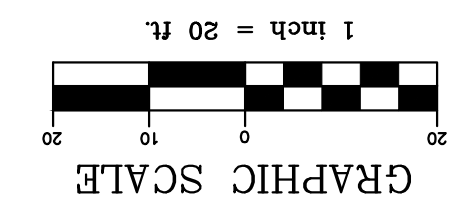
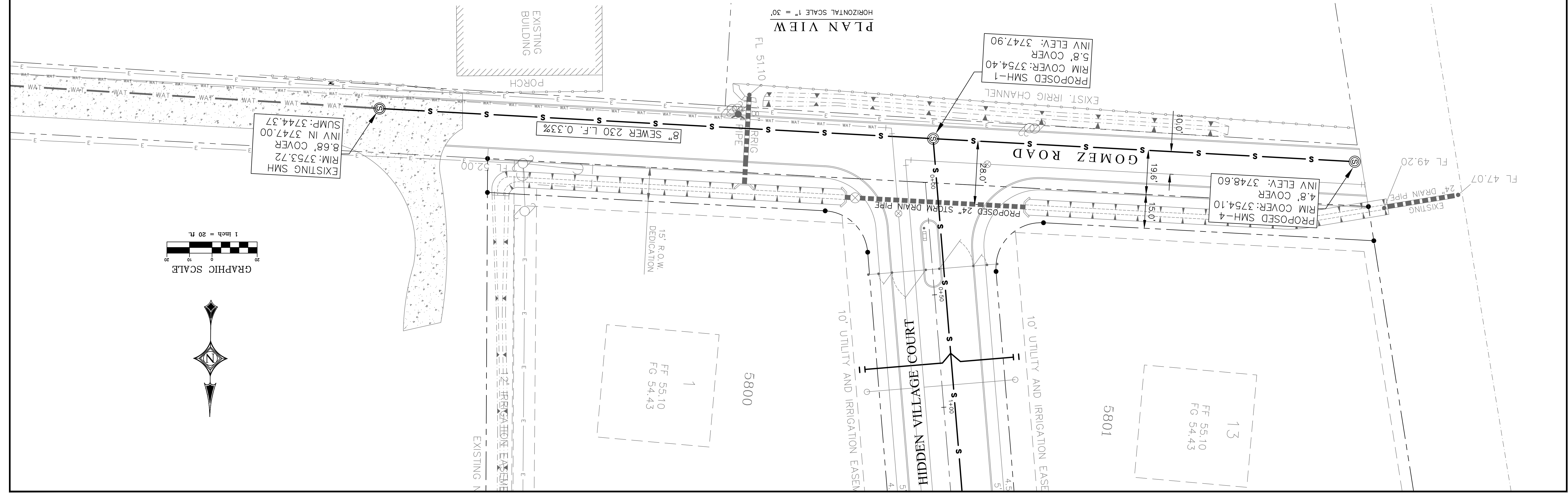
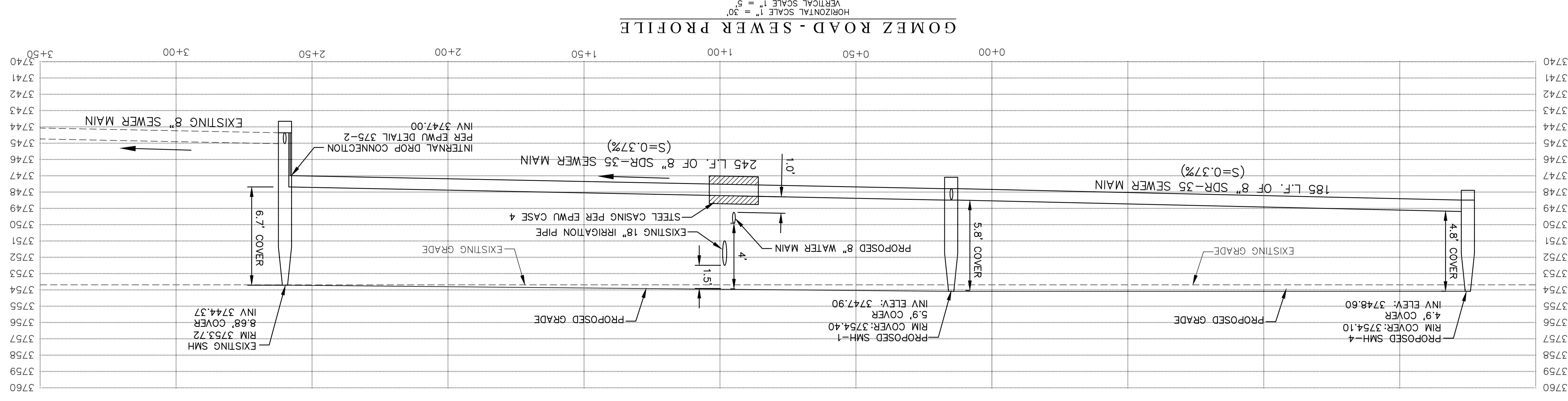
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SEWER PLAN AND PROFILE - GOMEZ ROAD
 HIDDEN GARDENS VILLAGE
 TRACTS 1E, 1E2, 1F, 2B, AND 3C1,
 BLOCK 9, UPPER VALLEY SURVEYS,
 CITY OF EL PASO, EL PASO COUNTY, TEXAS



PROJECT #	J20-095
Design By:	LU
Drawn By:	LU
SHEET:	C-22
SCALE	1"=20'
Plot Date:	05-04-2021



Revisions:	
Release Dates:	

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PROFILES
SCALE: AS NOTED
HORIZONTAL: AS NOTED

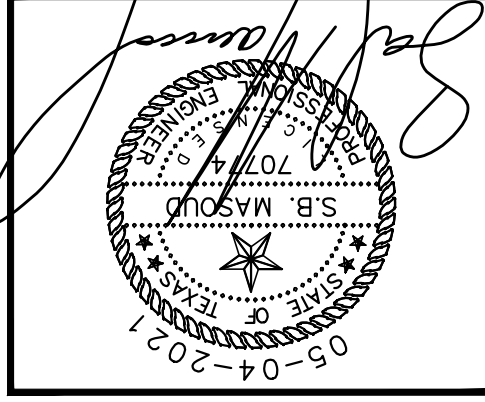
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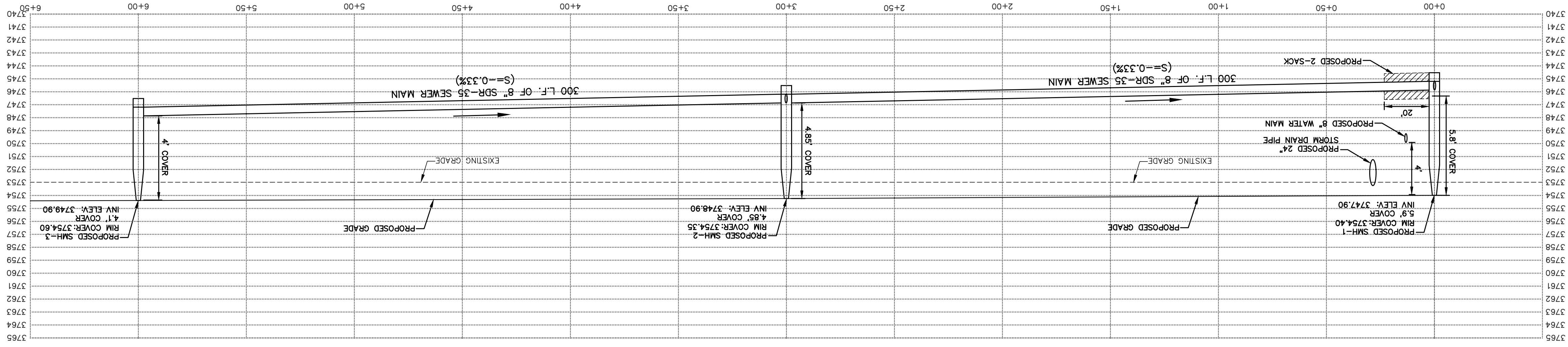
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SEWER PLAN AND PROFILE - HIDDEN GARDENS ROAD
HIDDEN GARDENS VILLAGE
TRACTS 1E, 1E2, 1F, 2B, AND 3C1,
BLOCK 9, UPPER VALLEY SURVEYS,
CITY OF EL PASO, EL PASO COUNTY, TEXAS

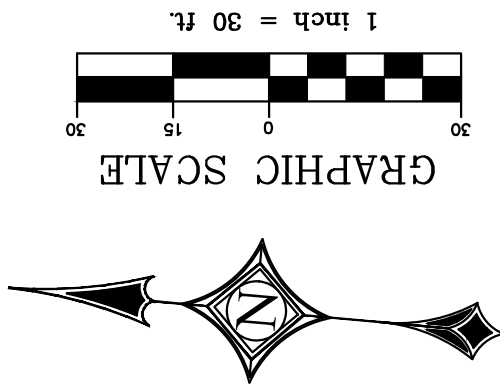
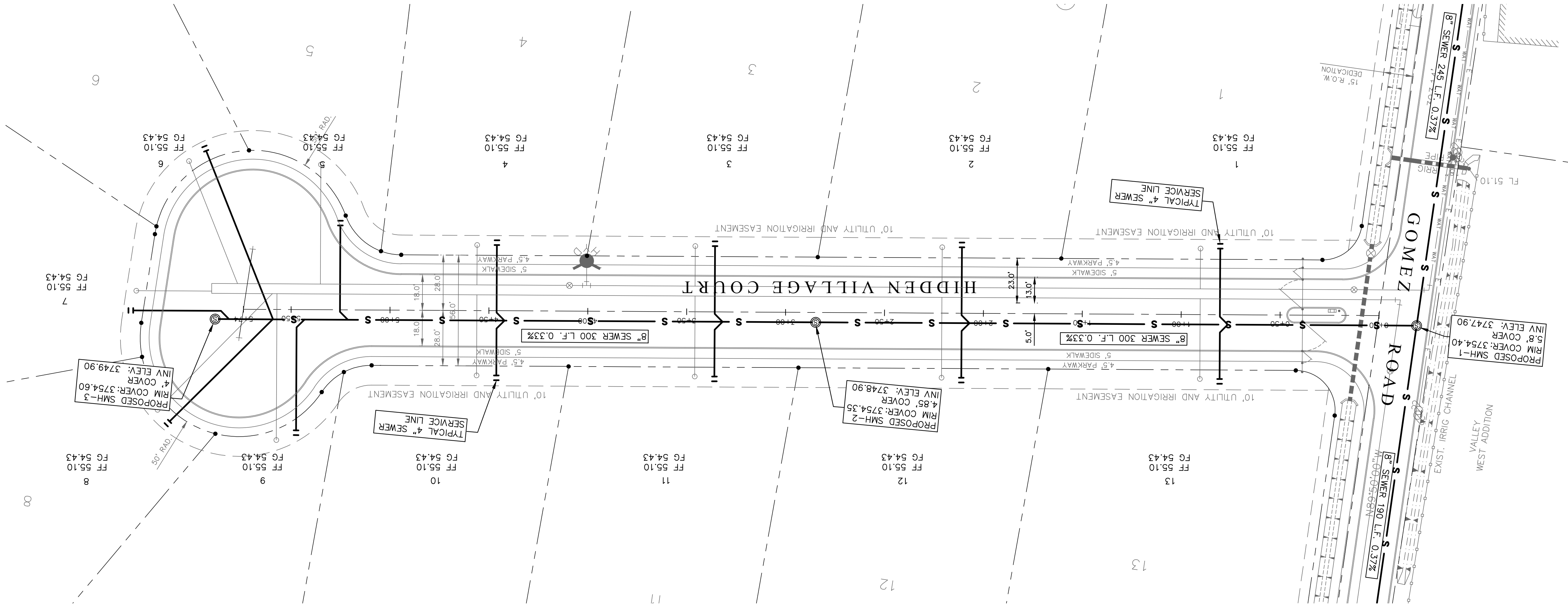


PROJECT #	J20-095
Design By:	LU
Drawn By:	LU
SHEET:	C-23
Plot Date:	05-04-2021
SCALE	1"=30'

HIDDEN VILLAGE COURT - SEWER PROFILE
VERTICAL SCALE 1" = 5'
HORIZONTAL SCALE 1" = 30'



PLAN VIEW
HORIZONTAL SCALE 1" = 30'



Release Dates:	
Revisions:	

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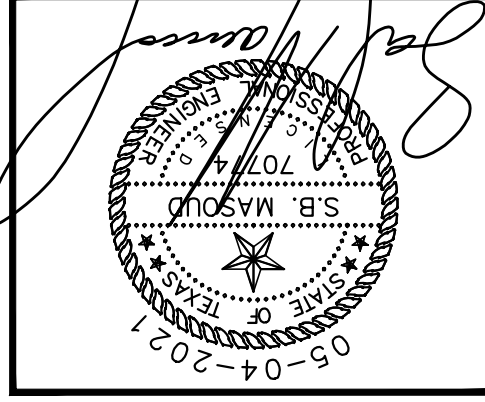
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SANITARY SEWER STANDARD DETAILS
HIDDEN GARDENS VILLAGE
TRACTS 1E, 1E2, 1F, 2B, AND 3C1,
BLOCK 9, UPPER VALLEY SURVEYS,
CITY OF EL PASO, EL PASO COUNTY, TEXAS



PROJECT #	J20-095
Design By:	LU
Drawn By:	LU
SHEET:	C-25

