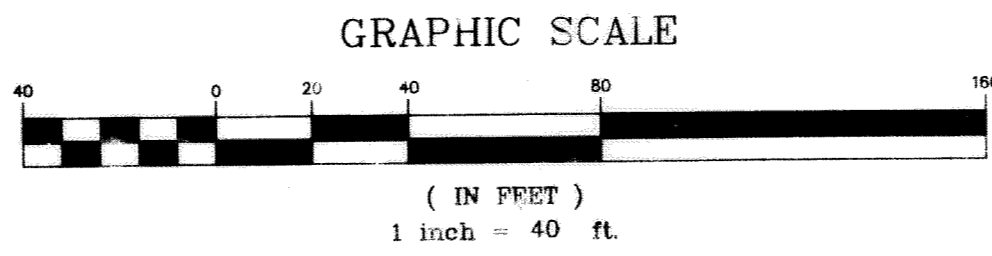


# GRAN VISTA ESTATES UNIT ONE REPLAT A AMENDING PLAT

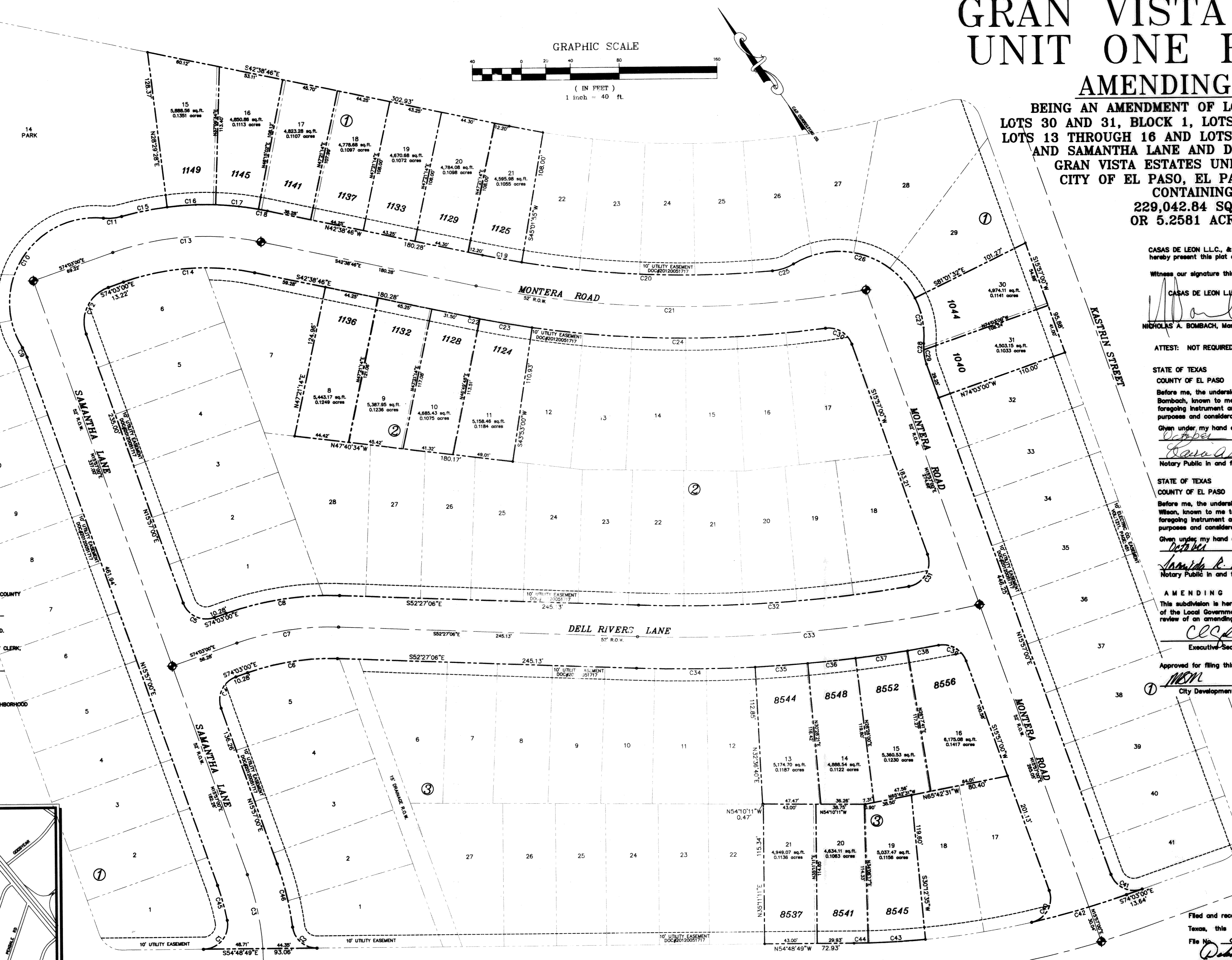
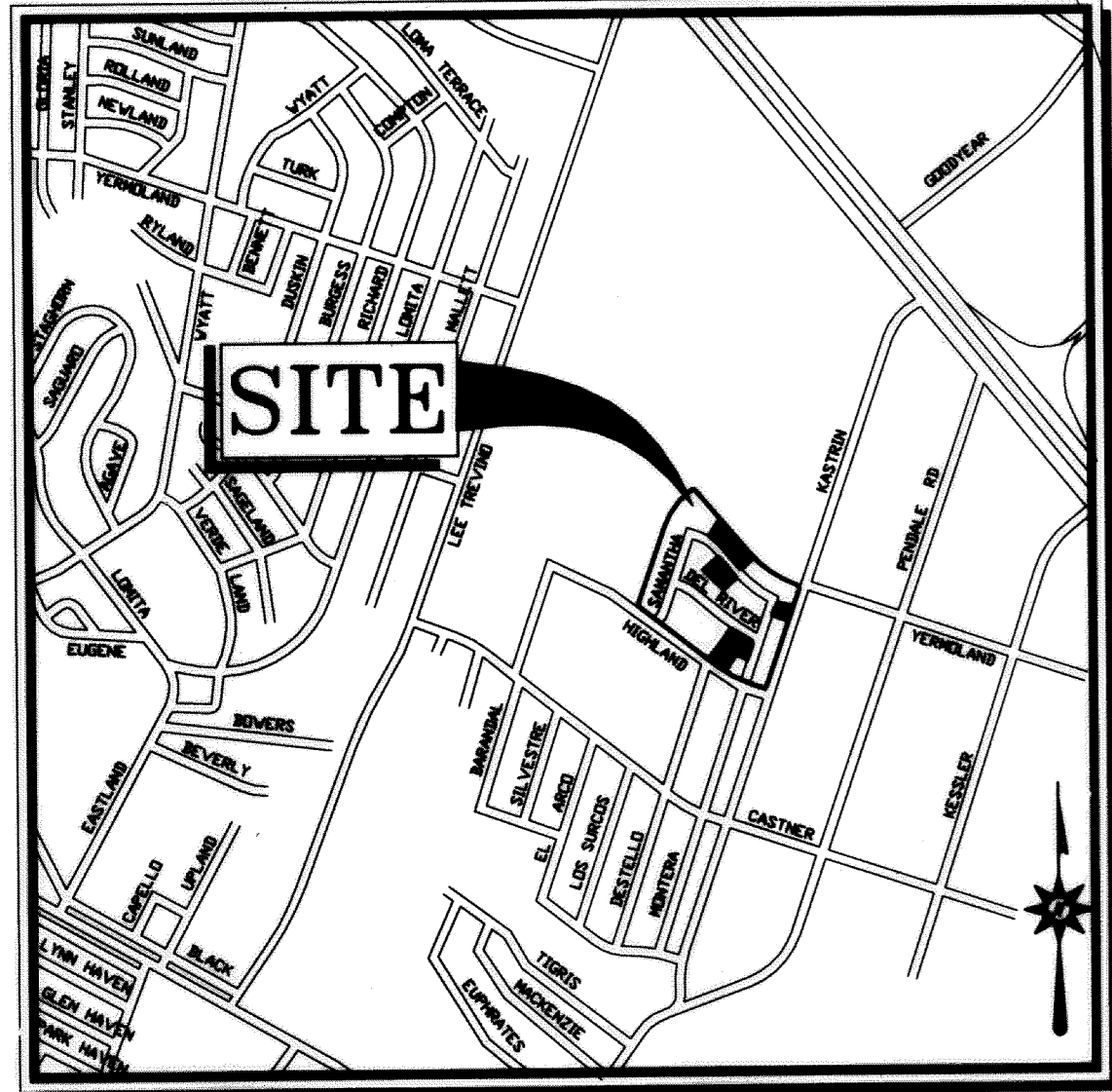
BEING AN AMENDMENT OF LOTS 15 THROUGH 21,  
LOTS 30 AND 31, BLOCK 1, LOTS 8 THROUGH 11, BLOCK 2  
LOTS 13 THROUGH 16 AND LOTS 19, 20 AND 21, BLOCK 3  
AND SAMANTHA LANE AND DEL RIVERS LANE IN  
GRAN VISTA ESTATES UNIT ONE REPLAT A  
CITY OF EL PASO, EL PASO COUNTY TX.  
CONTAINING:  
229,042.84 SQ. FT.  
OR 5.2581 ACRES ±



CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C1	20.00'	38.14'	24.12'	38.79'	N74°50'38"E	188°49'26"
C2	20.00'	28.96'	17.69'	26.50'	S19°19'38"E	88°58'22"
C3	225.00'	62.38'	33.39'	62.37'	N53°13'32"E	133°23'25"
C4	20.00'	31.42'	20.00'	28.28'	S69°57'00"W	90°00'00"
C5	20.00'	31.42'	20.00'	28.28'	S29°03'00"E	90°00'00"
C6	199.00'	75.02'	37.76'	74.57'	N53°15'00"W	21°25'54"
C7	250.00'	84.88'	46.28'	84.32'	N53°15'00"W	21°25'54"
C8	250.00'	94.62'	47.88'	94.62'	N53°15'00"W	21°25'54"
C9	40.00'	6.54'	4.29'	6.53'	N89°49'52"E	181°42'02"
C10	70.00'	125.97'	148.44'	125.63'	S67°32'34"W	127°39'47"
C11	40.00'	15.07'	7.62'	14.98'	S39°54'38"E	21°34'58"
C12	30.00'	47.32'	30.00'	42.47'	S69°57'00"W	90°00'00"
C13	250.00'	125.97'	63.52'	125.78'	N58°20'33"W	31°24'14"
C14	199.00'	109.07'	55.54'	107.71'	N58°20'33"W	31°24'14"
C15	250.00'	38.10'	19.29'	38.07'	N53°15'00"W	21°25'54"
C16	250.00'	39.77'	20.93'	39.52'	N53°15'00"W	21°25'54"
C17	250.00'	38.38'	17.69'	36.29'	N48°11'11"W	98°03'47"
C18	250.00'	7.34'	3.67'	7.34'	N43°29'08"E	81°40'22"
C19	883.00'	28.52'	14.26'	28.34'	S43°48'06"E	08°19'20"
C20	883.00'	295.79'	103.44'	293.19'	S38°18'30"E	14°40'49"
C21	883.00'	380.69'	168.37'	378.69'	S33°43'40"E	28°09'49"
C22	883.00'	8.42'	4.21'	8.42'	S49°56'06"E	09°34'29"
C23	883.00'	43.17'	21.59'	43.17'	S44°40'13"E	08°33'39"
C24	883.00'	240.57'	121.88'	239.78'	S34°19'38"E	16°17'15"
C25	40.00'	18.28'	9.24'	18.19'	S72°41'20"E	07°30'17"
C26	70.00'	115.99'	76.25'	103.14'	N38°29'46"W	94°54'18"
C27	70.00'	38.60'	19.81'	38.11'	N24°46'15"E	31°35'44"
C28	40.00'	5.25'	2.63'	5.25'	S34°48'04"W	07°30'17"
C29	40.00'	11.93'	6.01'	11.93'	S24°29'29"W	17°04'37"
C30	20.00'	27.29'	16.25'	25.22'	N53°08'38"W	78°11'15"
C31	20.00'	34.22'	23.74'	31.59'	N63°50'15"E	99°46'30"
C32	1075.00'	281.84'	141.31'	281.44'	S58°21'48"E	11°49'24"
C33	1101.00'	281.60'	141.27'	280.82'	S59°46'43"E	14°39'14"
C34	1127.00'	37.12'	18.29'	37.09'	S54°55'32"E	04°55'14"
C35	1127.00'	37.12'	18.29'	37.09'	S54°55'32"E	04°55'14"
C36	1127.00'	39.11'	19.56'	39.11'	S66°34'21"E	01°59'18"
C37	1127.00'	43.07'	21.54'	43.07'	S66°34'21"E	01°59'18"
C38	1127.00'	25.76'	12.88'	25.76'	S54°54'04"E	04°55'14"
C39	20.00'	28.28'	17.69'	25.98'	N24°23'58"W	81°00'37"
C40	20.00'	33.89'	22.54'	29.92'	N44°22'09"E	96°50'18"
C41	20.00'	9.42'	5.00'	9.29'	S29°03'00"E	90°00'00"
C42	678.12'	47.00'	23.51'	46.59'	S37°46'39"E	08°58'42"
C43	678.12'	11.38'	5.79'	11.38'	S39°18'00"E	09°58'42"
C44	199.00'	29.74'	14.90'	29.71'	N50°13'32"E	13°08'33'49"
C45	251.00'	33.49'	16.84'	33.38'	N22°03'16"E	12°12'33"

NOTES:  
RESTRICTIVE COVENANTS FOR THIS SUBDIVISION ARE FILED IN THE OFFICE OF THE COUNTY CLERK, DEED AND RECORD SECTION.  
INSTRUMENT No. \_\_\_\_\_ DATE \_\_\_\_\_  
SET 5/8" REBAR AT ALL EXTERIOR BOUNDARY CORNERS UNLESS OTHERWISE NOTED.  
TAX CERTIFICATE FOR THIS SUBDIVISION ARE FILED IN THE OFFICE OF THE COUNTY CLERK, DEED AND RECORD SECTION.  
INSTRUMENT No. 20130083321-40 DATE 11/7/13  
THIS PROPERTY LIES IN ZONE "X", AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN, PANEL NO. 480214-0045 C, DATED FEBRUARY 16, 2006  
POSTAL DELIVERY SERVICE WITHIN THE SUBDIVISION WILL BE PROVIDED USING NEIGHBORHOOD DELIVERY AND COLLECTION BOX UNITS.  
EXISTING CITY MONUMENT  
THIS PROPERTY LIES WITHIN THE YSLETA INDEPENDENT SCHOOL DISTRICT.

LOCATION MAP:  
1" = 600'



DEDICATION  
CASAS DE LEON L.L.C., & CITY OF EL PASO, property owners of this land, hereby present this plat as hereon laid down and designated.  
Witness our signature this 30th day of October 2013.  
CASAS DE LEON L.L.C. CITY OF EL PASO  
NICHOLAS A. BOMBACH, Managing Member JOYCE WILSON, City Manager

ATTEST: NOT REQUIRED  
ACKNOWLEDGEMENT  
STATE OF TEXAS  
COUNTY OF EL PASO  
Before me, the undersigned authority, on this day personally appeared Nicholas Bombach, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and considerations herein expressed.  
Given under my hand and seal of office this 23rd day of October 2013.  
Laura A. Burns  
Notary Public in and for El Paso County

ACKNOWLEDGEMENT  
STATE OF TEXAS  
COUNTY OF EL PASO  
Before me, the undersigned authority, on this day personally appeared Joyce Wilson, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and considerations herein expressed.  
Given under my hand and seal of office this 30th day of October 2013.  
Armidia R. Martinez  
Notary Public in and for El Paso County

AMENDING PLAT APPROVAL STATEMENT  
This subdivision is hereby approved in accordance with Chapter 212.0085 (Amending Plat) of the Local Government Code and Title 19.08.070 as to meeting the requirements for a review of an amending plat.  
Approved for filing this 31st day of October 2013.  
City Development Director

FILING  
Filed and recorded in the office of the County Clerk of El Paso County, Texas, this 17th day of November 2013, A.D. in File No. 20130083320  
County Clerk By Deputy

This plat represents a survey made on the ground by me or under my supervision and complies with the current Texas Board of Professional Land Survey Professional and Technical Standards.  
Carlos M. Jimenez, R.P.L.S.  
Registered Professional Land Surveyor  
Texas License No. 3950

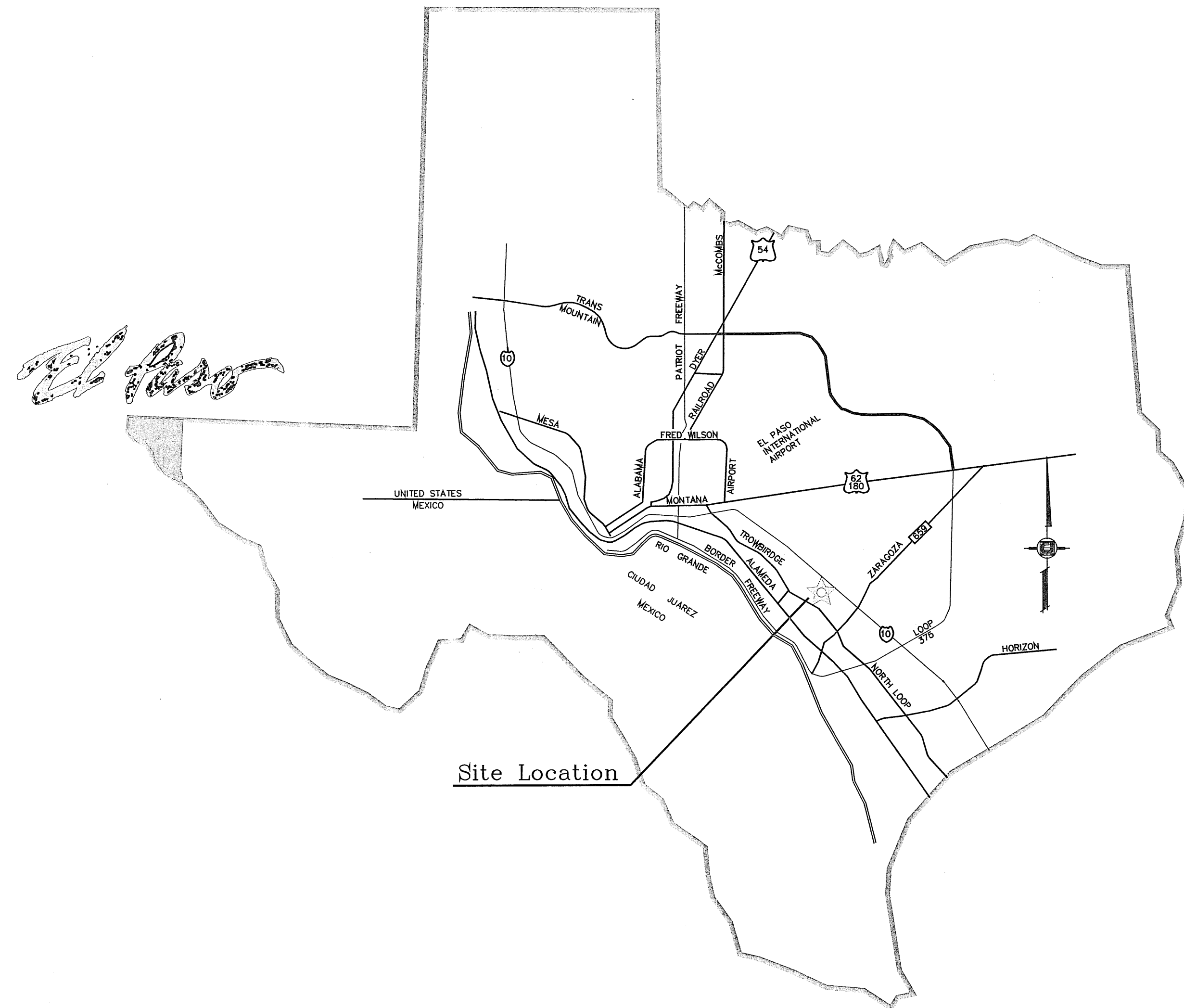
THE REASON OF THE AMENDING PLAT IS TO MOVE THE PROPERTY LINES BETWEEN LOTS SO THE EXISTING BUILDING WILL MEET THE 5 FEET SETBACK LINE.

SURVEYOR:  
CAD CONSULTING CO.  
CARLOS M. JIMENEZ  
1790 N. LEE TREVIÑO  
EL PASO, TEXAS 79936  
PHONE: (915) 633-6422

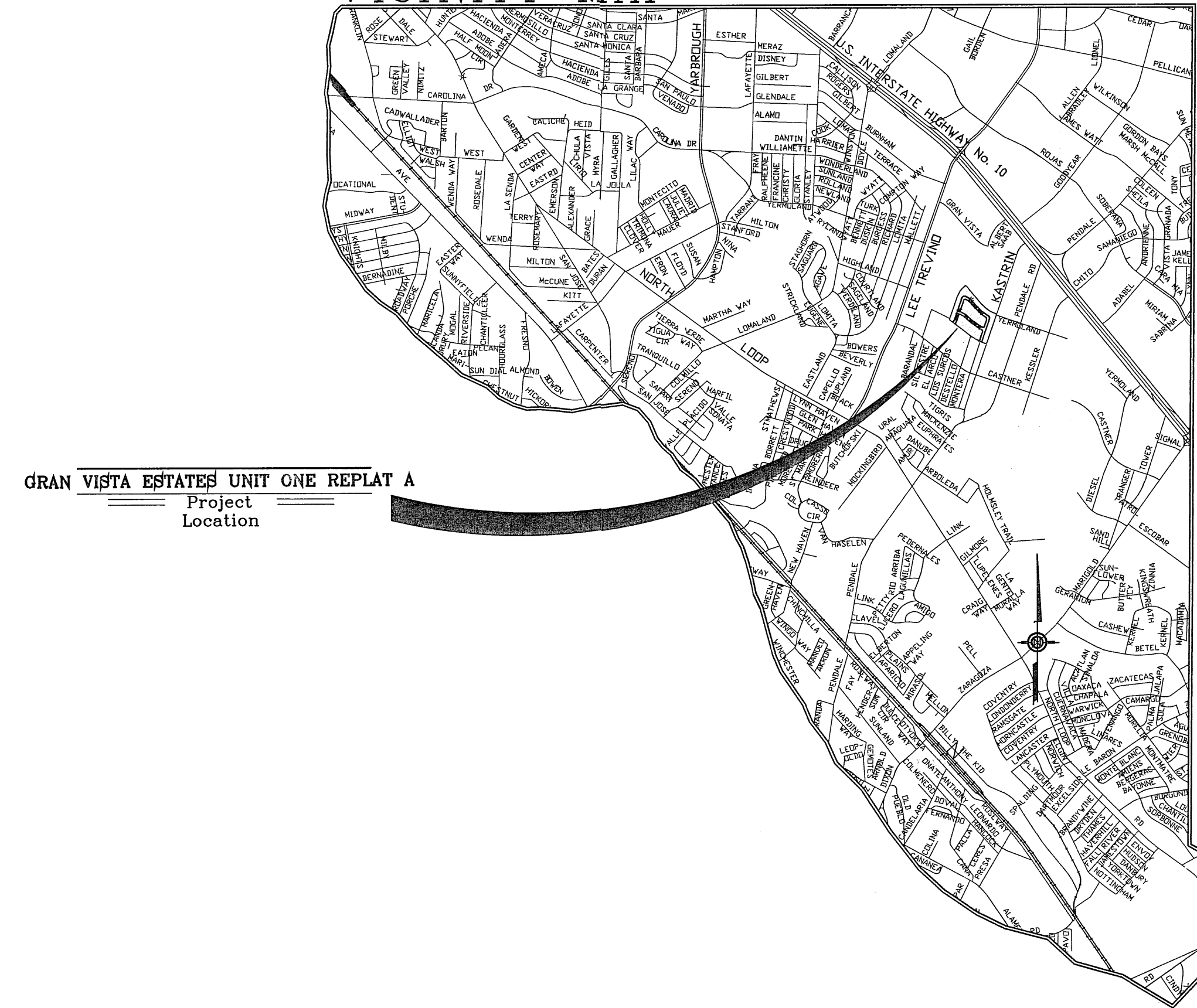
OWNER/DEVELOPER:  
CASAS DE LEON L.L.C.  
NICHOLAS A. BOMBACH  
6006 N.MESA, STE. 710  
EL PASO, TEXAS 79912  
PHONE: (915) 584-5050

OWNER/DEVELOPER:  
CITY OF EL PASO  
JOYCE WILSON  
222. S. CAMPBELL STREET  
EL PASO, TEXAS 79901  
PHONE: (915) 541-4900

CONSULTING COMPANY  
1790 N. LEE TREVIÑO DR. SUITE 503  
EL PASO, TEXAS 79936  
TEL (915) 633-6422

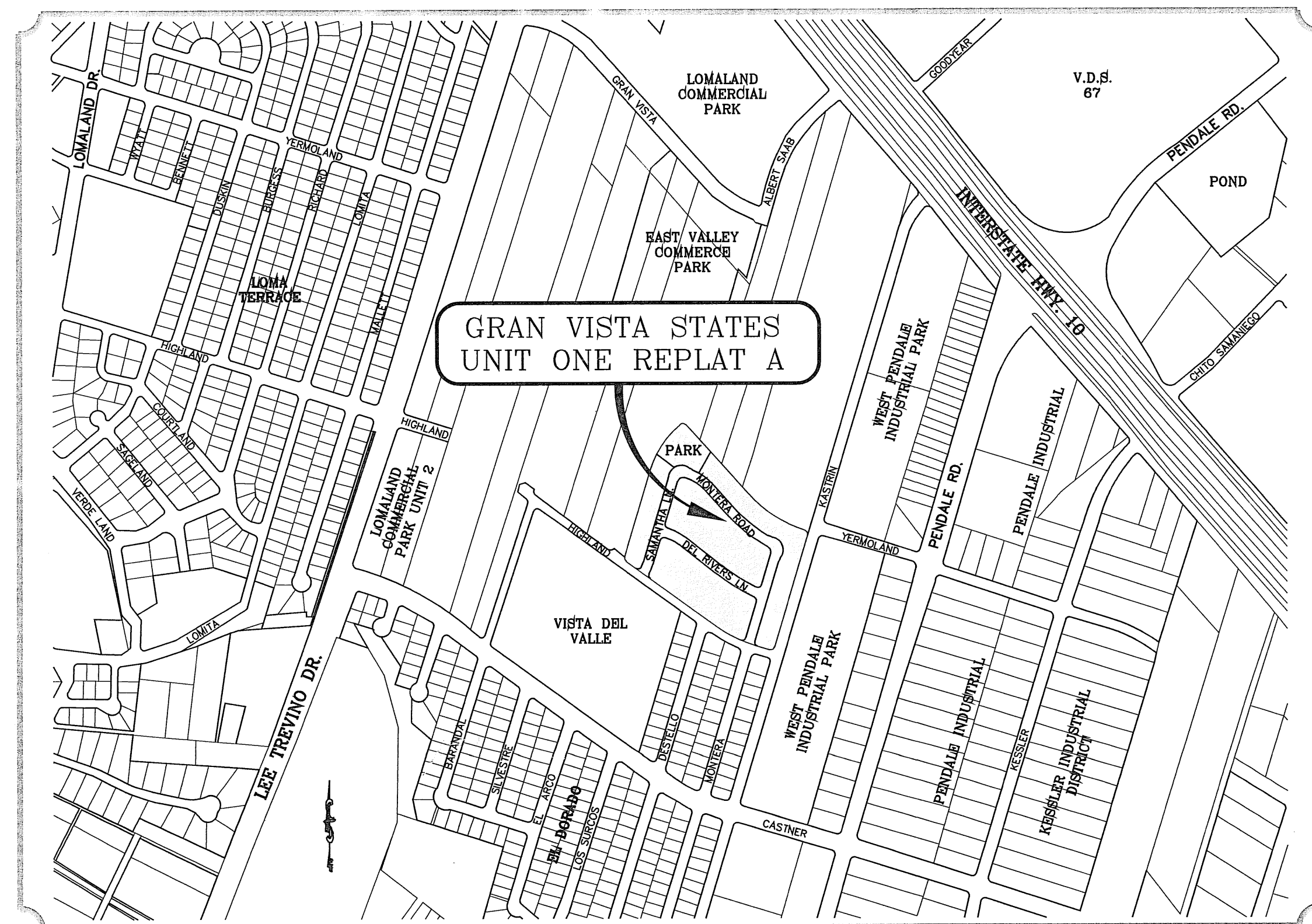


VICINITY MAP



LOCATION MAP

SCALE: 1" = 1000'



# STREET IMPROVEMENTS

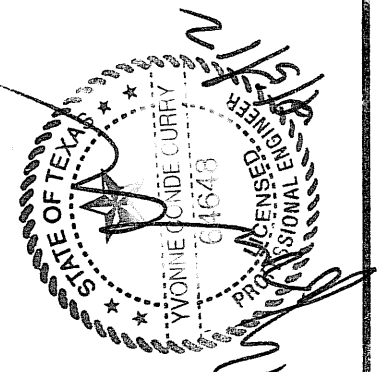
## I N D E X

TITLE	SHEET No.	
COVER SHEET	1	OF 17
PLAT	2	OF 17
GRADING PLAN	3	OF 17
GRADING SECTIONS	4-5	OF 17
DRAINAGE PLAN	6	OF 17
STORM WATER POLLUTION PREVENTION PLAN	7-8	OF 17
LICHA LN./MONTERA ROAD	9-11	OF 17
DEL RIVERS LN.	12	OF 17
PARK DETAILS	13	OF 17
STRUCTURE DETAILS	14	OF 17
STANDARD DETAILS	15-16	OF 17
ILLUMINATION PLAN AND DETAILS	17	OF 17
LANDSCAPE & IRRIGATION PLAN	L1-L5	OF 17

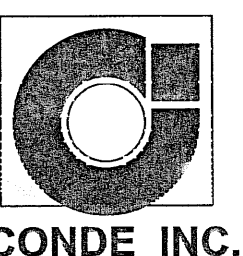
17 STPS12-00009  
DEVELOPMENT SERVICES DEPARTMENT  
5 SITE PLAN REVIEW  
Reviewed For Conformance For Conditions Related To:  
Demolition Only  
Grading & Drainage  
Wheelchair Ramps  
On Site Parking Layout  
Sidewalks  
Driveways  
Retaining Rock Walls  
On-Site Ponding of Storm Waters  
Contractor Must Call 24 Hours Prior To Construction  
DATE 4/19/12  
FY

PROJECT NAME  
**GRAN VISTA ESTATES  
UNIT ONE REPLAT "A"**

BEING A REPLAT OF GRAN VISTA ESTATES UNIT ONE,  
CITY OF EL PASO, EL PASO COUNTY, TEXAS,  
CONTAINING 16.199 ACRES



**CONDE INC.**  
ENGINEERING / PLANNING  
SURVEYING / GPS  
6000 SUITE 100  
DR. SUITE 100  
EL PASO, TEXAS 79906  
(915) 632-0283



**COVER SHEET**

SHT 1 OF 17

# GRAN VISTA ESTATES UNIT ONE

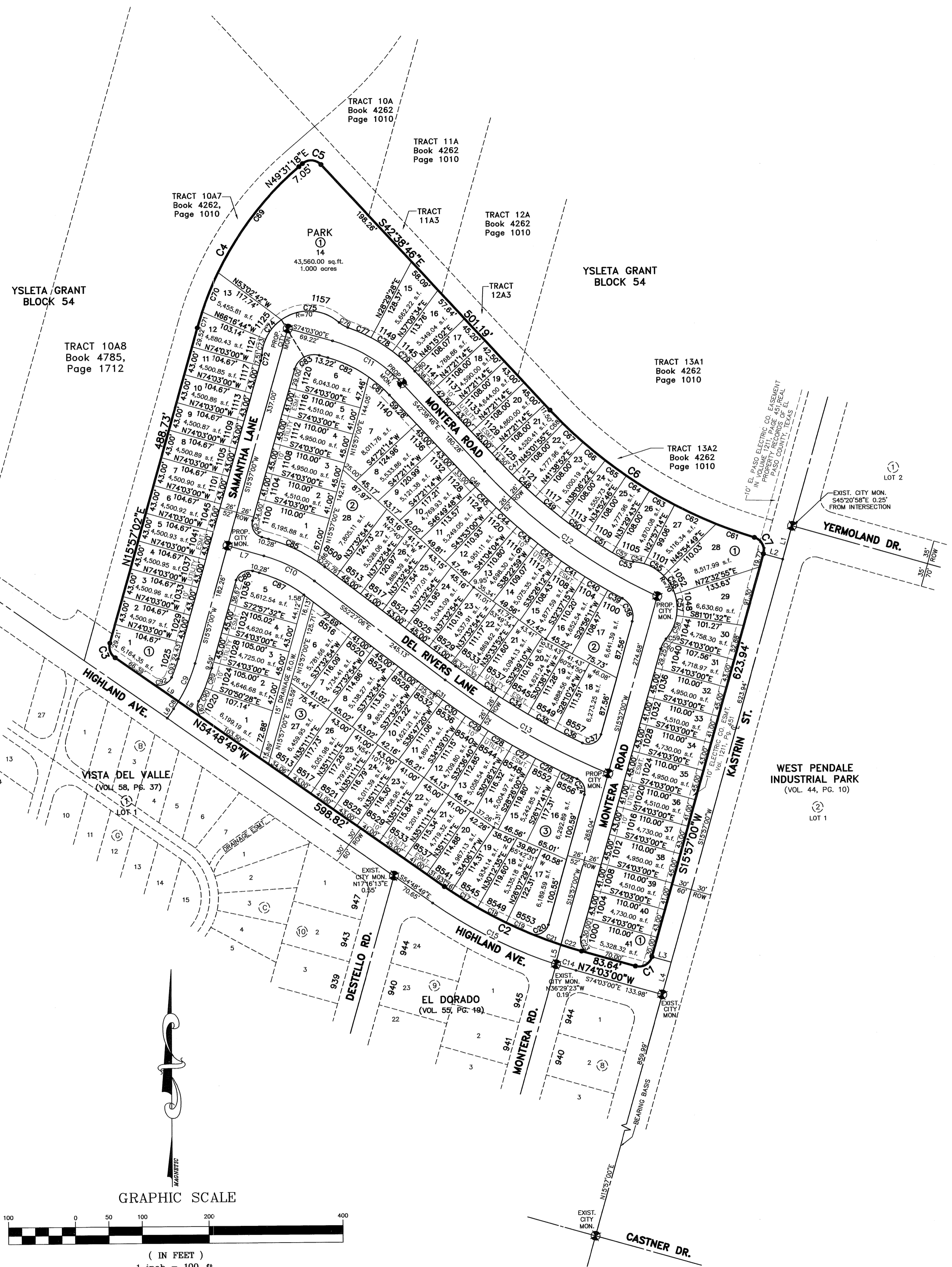
## REPLAT "A"

BEING A REPLAT OF GRAN VISTA ESTATES UNIT ONE, CITY OF EL PASO, EL PASO COUNTY, TEXAS. CONTAINING 15.199 ACRES

CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C1	20.00	31.42	20.00	28.28	S60°57'00"W	90°00'00"
C2	678.12	227.67	114.92	226.60	N64°29'58"W	191°41'11"
C3	20.00	24.70	14.20	23.16	N19°24'09"E	33°34'15"
C4	492.00	288.27	148.41	284.17	N32°44'09"E	33°34'15"
C5	20.00	30.66	19.26	27.74	S86°33'44"E	87°49'58"
C6	695.02	364.30	186.44	360.14	S57°39'43"E	30°01'55"
C7	20.00	30.94	19.53	27.94	S28°21'50"E	88°37'41"
C8	225.00	13.16	6.58	13.16	N33°30'37"E	32°1'08"
C9	225.00	24.36	13.39	22.80	N23°53'32"E	195°3'03"
C10	225.00	84.82	42.92	84.31	N63°15'03"W	21°35'54"
C11	225.00	123.32	63.25	121.78	N58°20'53"W	31°24'14"
C12	829.02	320.69	162.37	318.69	S53°43'40"E	22°09'49"
C13	1101.02	281.60	141.57	280.83	S59°46'43"E	14°39'14"
C14	708.12	32.03	16.02	32.03	S72°45'15"E	2°35'30"
C15	708.12	205.71	103.59	204.99	S63°08'09"E	16°38'41"
C16	678.12	12.48	6.24	12.48	S55°20'27"E	1°03'17"
C17	678.12	46.09	23.05	46.08	S57°48'56"E	3°53'40"
C18	678.12	48.34	24.18	48.33	S61°48'18"E	4°05'04"
C19	678.12	39.82	19.92	39.82	S65°31'47"E	3°21'53"
C20	20.00	33.80	22.54	29.92	N64°22'08"E	96°50'17"
C21	678.12	48.56	24.29	48.55	S69°15'49"E	4°06'11"
C22	678.12	32.37	16.19	32.37	S72°40'57"E	2°44'06"
C23	20.00	31.42	20.00	28.28	S39°30'00"E	90°00'00"
C24	20.00	28.28	17.09	25.98	N24°33'29"W	81°00'57"
C25	1127.02	26.76	13.38	26.76	S64°23'08"E	1°21'38"
C26	1127.02	42.07	21.04	42.06	S62°38'10"E	2°08'19"
C27	1127.02	40.11	20.06	40.11	S60°32'50"E	2°02'21"
C28	1127.02	42.07	21.04	42.06	S58°27'30"E	2°08'19"
C29	1127.02	40.11	20.06	40.11	S56°22'10"E	2°02'21"
C30	1127.02	42.07	21.04	42.06	S54°16'50"E	2°02'19"
C31	1127.02	14.94	7.47	14.94	S52°49'53"E	0°45'34"
C32	1075.02	37.22	18.61	37.22	S53°26'37"E	1°59'02"
C33	1075.02	48.37	24.19	48.37	S55°43'29"E	2°34'42"
C34	1075.02	44.07	22.04	44.07	S58°11'18"E	2°20'57"
C35	1075.02	46.22	23.12	46.22	S60°35'41"E	2°27'49"
C36	1075.02	45.94	22.97	45.94	S63°30'33"E	2°26'55"
C37	20.00	34.83	23.74	30.99	N65°50'15"E	99°46'30"
C38	30.00	40.66	24.15	37.62	N22°32'50"W	77°39'41"
C39	855.02	24.59	12.29	24.59	S80°53'15"E	1°38'51"
C40	855.02	40.06	20.04	40.06	S88°43'17"E	2°41'05"
C41	855.02	42.02	21.01	42.01	S55°58'17"E	2°48'56"
C42	855.02	43.97	21.99	43.97	S53°05'25"E	2°56'48"
C43	855.02	40.06	20.04	40.06	S50°16'28"E	2°41'05"
C44	855.02	42.02	21.01	42.01	S47°31'28"E	2°48'56"
C45	855.02	43.97	21.99	43.97	S44°38'36"E	2°56'48"
C46	855.02	7.82	3.91	7.82	S42°54'29"E	0°31'26"
C47	803.02	32.54	16.27	32.54	S43°48'26"E	2°19'19"
C48	803.02	47.43	23.72	47.42	S46°39'37"E	3°23'03"
C49	803.02	49.64	24.83	49.63	S50°07'23"E	3°32'30"
C50	803.02	45.22	22.62	45.22	S53°30'28"E	3°13'36"
C51	803.02	47.43	23.72	47.42	S56°48'45"E	3°23'03"
C52	803.02	16.03	8.01	16.03	S59°04'35"E	1°08'37"
C53	40.00	18.35	9.34	18.19	S72°47'32"E	26°17'16"
C54	70.00	16.49	8.28	16.46	N79°11'10"W	13°29'59"
C55	70.00	34.64	17.68	34.28	N58°15'41"W	28°21'00"
C56	70.00	32.54	16.57	32.25	N30°48'08"W	26°38'05"
C57	70.00	32.29	16.44	32.00	N04°14'19"W	28°25'37"
C58	70.00	38.60	19.81	38.11	N24°46'20"E	31°35'44"
C59	40.00	3.15	1.58	3.15	S38°18'46"W	4°30'51"
C60	40.00	14.04	7.09	13.96	S26°00'10"W	20°06'21"
C61	695.02	60.72	30.38	60.70	S70°10'30"E	5°00'21"
C62	695.02	68.25	34.15	68.22	S64°51'33"E	5°37'34"
C63	695.02	42.98	21.49	42.95	S60°16'32"E	3°32'30"
C64	695.02	41.05	20.53	41.04	S56°48'45"E	3°23'03"
C65	695.02	39.14	19.58	39.14	S53°30'26"E	3°13'36"

CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C66	695.02	42.96	21.49	42.95	S50°07'23"E	3°32'30"
C67	695.02	41.05	20.53	41.04	S46°39'37"E	3°23'03"
C68	695.02	28.17	14.09	28.17	S43°48'26"E	2°19'19"
C69	492.00	200.24	101.52	198.86	S37°51'43"W	23°19'06"
C70	492.00	63.30	31.70	63.26	S22°31'01"W	7°22'19"
C71	492.00	24.73	12.37	24.73	S17°23'26"W	2°52'49"
C72	40.00	8.54	4.29	8.53	N09°49'50"E	1°21'42"
C73	70.00	24.43	12.35	24.32	S13°42'58"W	2°00'35"
C74	70.00	38.15	19.56	37.68	S39°20'09"W	3°13'46"
C75	70.00	93.37	55.11	86.60	N86°50'12"W	76°25'34"
C76	40.00	15.07	7.62	14.98	S59°24'52"E	21°34'54"
C77	251.00	38.10	19.08	38.06	N65°31'26"W	8°41'47"
C78	251.00	37.97	19.02	37.94	N57°10'29"W	8°40'06"
C79	251.00	39.83	19.96	39.78	N48°17'42"W	9°05'28"
C80	251.00	4.83	2.42	4.83	N43°15'27"W	1°06'12"
C81	199.00	40.97	20.56	40.89	N48°32'37"W	11°47'43"
C82	199.00	68.11	34.39	67.77	N64°14'44"W	19°36'31"
C83	30.00	47.12	30.00	42.43	S60°57'00"W	90°00'00"
C84	20.00	31.42	20.00	28.28	S29°30'00"E	90°00'00"
C85	251.00	81.13	40.92	80.77	N64°47'26"W	18°31'08"
C86	251.00	13.49	6.75	13.49	N53°59'29"W	3°04'46"
C87	199.00	75.02	37.96	74.57	N63°15'03"W	21°35'54"
C88	20.00	31.42	20.00	28.28	S60°57'00"W	90°00'00"
C89	251.00	31.49	15.77	31.47	N19°32'41"E	7°11'21"
C90	251.00	21.99	11.00	21.98	N25°38'56"E	5°01'10"
C91	20.00	28.96	17.69	26.50	S13°19'39"E	82°58'21"
C92	20.00	35.14	24.12	30.79	N74°50'57"E	1°00'40'28"
C93	199.00	29.74	14.90	29.71	N20°13'51"E	8°33'43"

LINE	LENGTH	BEARING
L1	51.80	S15°23'00"W
L2	30.00	N74°03'00"W
L3	30.00	N74°03'00"W
L4	50.00	S15°57'00"W
L5	30.05	S15°57'00"W
L6	16.95	S39°11'11"W
L7	56.28	N74°03'00"W
L8	44.35	N54°48'49"W
L9	48.71	N54°48'49"W



NOTES:  
WATER AND SEWER SERVICES HAVE BEEN EXTENDED TO THIS SUBDIVISION (GRAN VISTA ESTATES UNIT ONE REPLAT "A") FROM EXISTING EL PASO WATER UTILITIES/PUBLIC SERVICE BOARD FACILITIES.

THE INSTRUMENT ASSURING THE CERTIFICATION THAT WATER AND SEWER SERVICES FACILITIES DESCRIBED BY THIS PLAT ARE IN COMPLIANCE WITH THE MODEL RULES ADOPTED UNDER SECTION 16.343, TEXAS WATER CODE IS FILED IN THE OFFICE OF THE COUNTY CLERK, DEED AND RECORD SECTION.

INSTRUMENT No. \_\_\_\_\_ DATE \_\_\_\_\_

TAX CERTIFICATE FOR THIS SUBDIVISION ARE FILED IN THE OFFICE OF THE COUNTY CLERK, DEED AND RECORDS SECTION.

INSTRUMENT No. 20120051118 - DATE 7/12/12

VEHICULAR ACCESS TO THOSE RESIDENTIAL LOTS ABUTTING KASTRIN STREET, SHALL BE FROM OTHER DEDICATED STREETS ONLY. THE INSTRUMENT ASSURING RELEASE OF ACCESS IS FILED IN THE OFFICE OF THE COUNTY CLERK, DEED AND RECORD SECTION.

INSTRUMENT No. \_\_\_\_\_ DATE \_\_\_\_\_

RESTRICTIVE COVENANTS FOR THIS SUBDIVISION ARE FILED IN THE OFFICE OF THE COUNTY CLERK, DEED AND RECORD SECTION.

INSTRUMENT No. 20120051814 DATE 7/12/12

LOT CORNERS WILL BE SET UPON COMPLETION OF CONSTRUCTION OF ROADWAYS AND UTILITIES.

"U.S. POSTAL SERVICE DELIVERY WILL BE PROVIDED THROUGH NEIGHBORHOOD DELIVERY AND COLLECTION BOX UNITS".

SET 1/2" REBAR WITH CAP MARKED TX 5152 AT ALL EXTERIOR BOUNDARY CORNERS UNLESS OTHERWISE NOTED.

ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 480214 0045C, DATED FEBRUARY 16, 2006, THIS PROPERTY IS IN FLOOD HAZARD ZONE X.

REASON FOR REPLAT: THE PLAT WAS VOIDED DUE TO CONSTRUCTION TIMEFRAME.

**DEDICATION**  
NADIA T. SAAB, property owner of this land hereby present this plat and dedicate to the use of the public, the streets, drives, park, drainage R.O.W., and utility easements, as hereon laid down and designated, including easements for overhead service wires for pole type utilities, and buried service wires, conduits and pipes for underground utilities, and the right to ingress and egress for service and construction and the right to trim interfering trees and shrubs.

Witness our signature this 14th day of June, 2012.

BY: INDIVIDUAL  
By: Nadia T. Saab, OWNER

Attest: NOT REQUIRED

**ACKNOWLEDGEMENT**  
STATE OF TEXAS  
COUNTY OF EL PASO  
Before me, the undersigned authority, on this day personally appeared Nadia T. Saab, Individual Owner known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same as the act and deed of said corporation for the purpose and considerations herein expressed.  
Given under my hand and seal of office this 14th day of June, 2012.

*V. Urena*  
Notary Public in and for El Paso County  
My Commission Expires 3-18-14

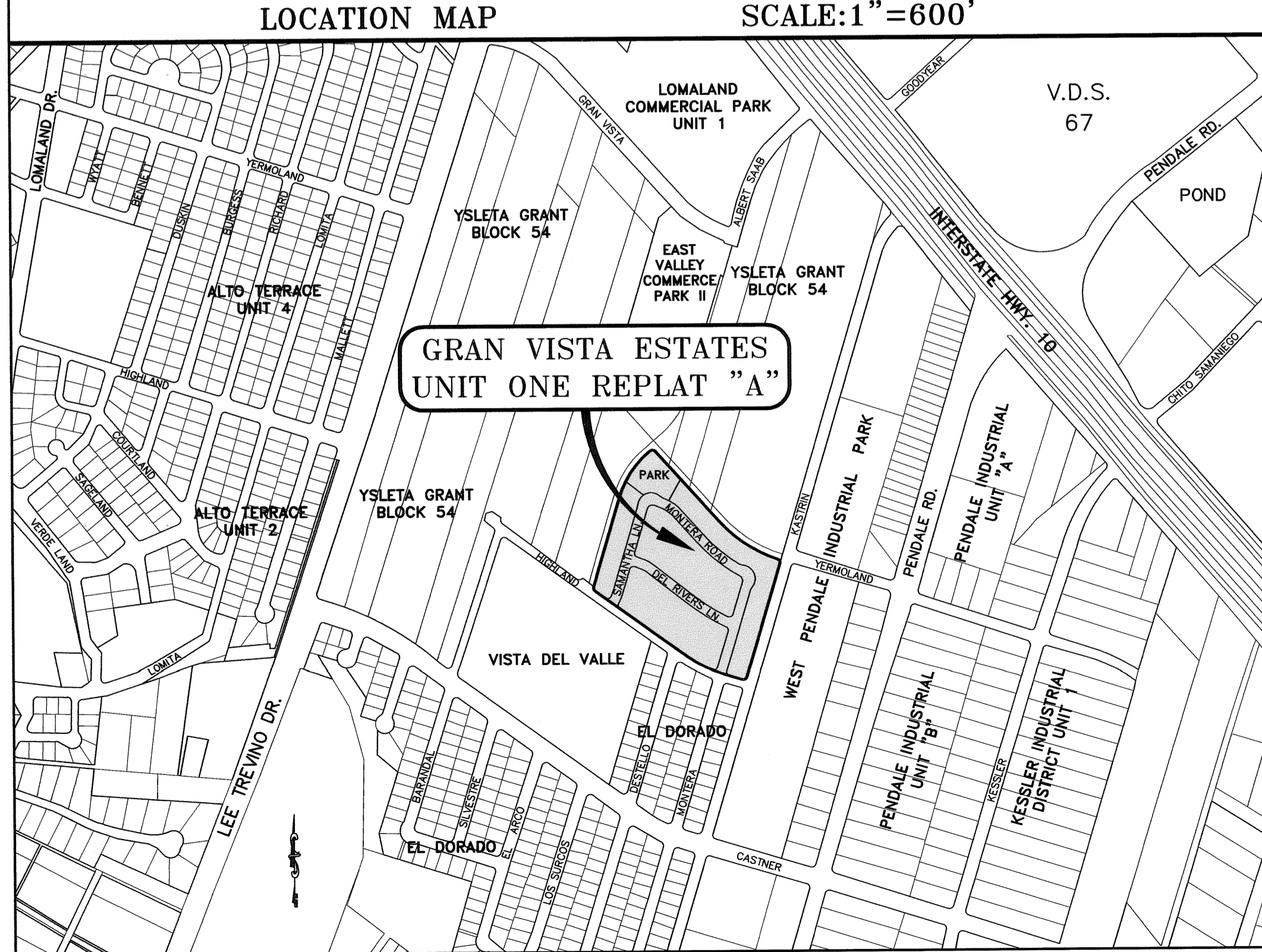
**CITY PLAN COMMISSION**  
This subdivision is hereby approved as to the platting and as to the condition of the dedication in accordance with Chapter 212 of the Local Government Code of Texas this 26 day of June, 2012.

*Philip Elvira* Executive Secretary  
*Raymond* Chairperson

Approved for filing this 2 day of July, 2012.  
*MCM*  
City Development Director

**FILING**  
Filed and recorded in the office of the County Clerk of El Paso County, Texas, this 12 day of July, 2012, A.D. in  
File No. 20120051717  
*Doris* County Clerk  
*Blanca* By Deputy

Prepared by and under the supervision of:  
YVONNE CONDE CURRY, P.E.  
Registered Professional Engineer  
Registration No. 64648  
*Yvonne Conde Curry*  
Yvonne Conde Curry, P.E.  
This plat represents a survey made on the ground by me or under my supervision and complies with the current Texas Board of Professional Land Survey Professional and Technical Standards.  
Ron R. Conde  
Registered Professional Land Surveyor  
Texas License No. 5152  
*Ron R. Conde*



DATE OF PREPARATION: JULY 29, 2011  
**CONDE INC.**  
ENGINEERING / PLANNING  
GPS / SURVEYING / CAD  
6090 SHRETTY DR. STE 100  
EL PASO, TEXAS 79905  
PHONE: (915) 592-0263  
FAX: (915) 592-0266

STATE OF TEXAS  
NOTARY PUBLIC  
DORIS BROWN  
64521  
My Commission Expires 6-19-2014  
*Yvonne Conde Curry*  
Yvonne Conde Curry, P.E.  
Ron R. Conde  
Registered Professional Land Surveyor  
Texas License No. 5152

**GENERAL NOTES:**

- IMPROVEMENT WITHIN CITY R.O.W. SHALL COMPLY WITH TITLE 19- SUBDIVISION ORDINANCE - "SUBDIVISION IMPROVEMENT DESIGN STANDARDS".
- CONTRACTOR SHALL PROVIDE TEMPORARY MEASURES FOR THE MANAGEMENT OF STORM WATER RUNOFF ENTERING, EXITING AND ON SITE DURING THE COURSE OF THE CONSTRUCTION. TEMPORARY BERMS, DESILTING BASIN, CHECK DAMS, PIPING ETC. SHALL BE PROVIDED AS NECESSARY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION AND NOTIFICATION WITH ALL APPURTENANT UTILITY COMPANIES WHOSE LINES ARE WITHIN THE CONSTRUCTION CONTRACT AREA. THE CONTRACTOR SHALL NOTIFY UTILITY COMPANIES 48 HOURS PRIOR TO ANY CONSTRUCTION ON SITE. THE CONTRACTOR WILL BE RESPONSIBLE PHYSICALLY AND FINANCIALLY FOR ANY DISRUPTION TO SERVICE EITHER ON SITE OR OFF SITE DUE TO BREAKAGE OF UTILITY LINES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DATA SHOWN ON THE PLANS. IF DISCREPANCIES ARE FOUND THE CONTRACTOR SHALL NOTIFY THE OWNER OR ENGINEER IMMEDIATELY SO THAT PROPER CORRECTIONS CAN BE MADE.
- EQUIPMENT OF A CONDITION AND DESIGN SUFFICIENT TO ENSURE A THOROUGH AND WORKMANLIKE PROSECUTION OF THE PROJECT SHALL BE USED AT ALL TIMES.
- ALL ELEVATIONS ARE TO CITY DATUM UNLESS OTHERWISE NOTED.
- ALL WASTE MATERIALS INCLUDING EXCAVATION, CURBING, PAVEMENT, ETC. SHALL BE DISPOSED OF AS DESIGNATED BY THE OWNER OR HIS REPRESENTATIVE.
- THE CONTRACTOR SHALL NOTIFY THE OWNER, OR HIS REPRESENTATIVE, IN SUFFICIENT TIME IN ADVANCE OF DELIVERY OF MATERIALS TO BE SUPPLIED BY HIM UNDER THIS PROJECT, IN ORDER THAT THE OWNER MAY ARRANGE, IF DESIRED, INSPECTION AND TESTING FOR SAME.
- SAFE AND REASONABLE ACCESS FOR THIS SITE MUST BE MAINTAINED AT ALL TIMES DURING THE LIFE OF THE PROJECT.
- ANY CAVITY REMAINING OPEN DURING NONWORKING HOURS MUST BE GUARDED BY FLASHER TYPE BARRICADES WITH STRINGERS PLACED BETWEEN THE TOPS OF THE BARRICADES.
- DEVELOPER SHALL COMPLY WITH SECTION 13.08.170 "EXCESSIVE PAVING CUTS" AS PER EL PASO MUNICIPAL CODE.

**GENERAL EARTHWORK NOTES:**

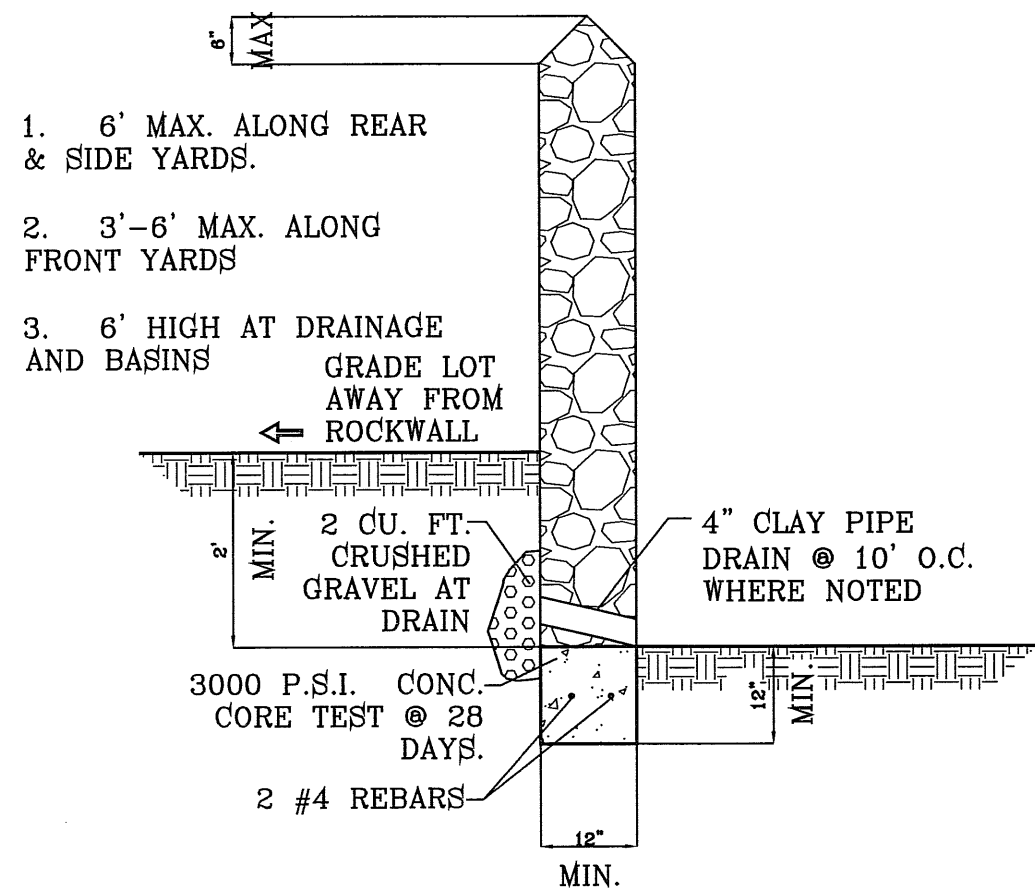
- ALL GRADING SHALL CONFORM TO THE CITY OF EL PASO GRADING ORDINANCE SECTION 18.44.
- THE CONTRACTOR SHALL CARRY ON HIS WORK WITH SPECIAL CARE AT ALL TIMES TO MAINTAIN THE NATURAL SURROUNDINGS AND EXISTING STRUCTURES IN AN UNDAMAGED CONDITION.
- NATURAL SUBGRADES TO SUPPORT STRUCTURAL FILL OR PAVEMENTS SHOULD BE STRIPPED OF ALL VEGETATION OR ORGANIC TOPSOIL. THE EXPOSED SUBGRADE SHOULD BE SCARIFIED JUST PRIOR TO FILL PLACEMENT TO A MINIMUM DEPTH OF 6" RCPEs AND RECOMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS PER ASTM D-1557. ALL BACKFILL MATERIAL TO BE PLACED IN HORIZONTAL LAYERS NOT TO EXCEED EIGHT (8") INCH LIFTS AND COMPACTED AS BEFORE.
- TEMPORARY DUST AND EROSION CONTROL MEASURES SHALL BE PROVIDED FOR AT ALL TIMES. SEE SHEET 6 OF 16.
- ANY EROSION OF THE GRADED SITE DURING THE COURSE OF THE PROJECT SHALL BE CORRECTED PRIOR TO FINALIZATION OF THE PROJECT AT NO COST TO THE OWNER.
- ALL SLOPES AND SWALES WITHIN LOTS SHALL BE MAINTAINED BY LOT OWNER.

**CONSTRUCTION NOTES:**

- ALL CONCRETE FOR STRUCTURES SHALL BE 3000 PSI. UNLESS OTHERWISE NOTED.
- MINIMUM COVER FOR REINFORCING STEEL SHALL BE 2" UNLESS OTHERWISE NOTED.
- 95% COMPACTION REQUIRED FOR STRUCTURES AS PER ASTM D1557.
- REINFORCING SHALL CONFORM TO THE REQUIREMENTS OF ASTM A615 GRADE 60.
- RETAINING WALLS WILL BE REQUIRED WHERE THERE IS A GRADE DIFFERENCE OF 2 OR MORE FEET BETWEEN LOTS AND STREET. RETAINING WALL DESIGN AT TIME OF BUILDING PERMIT.

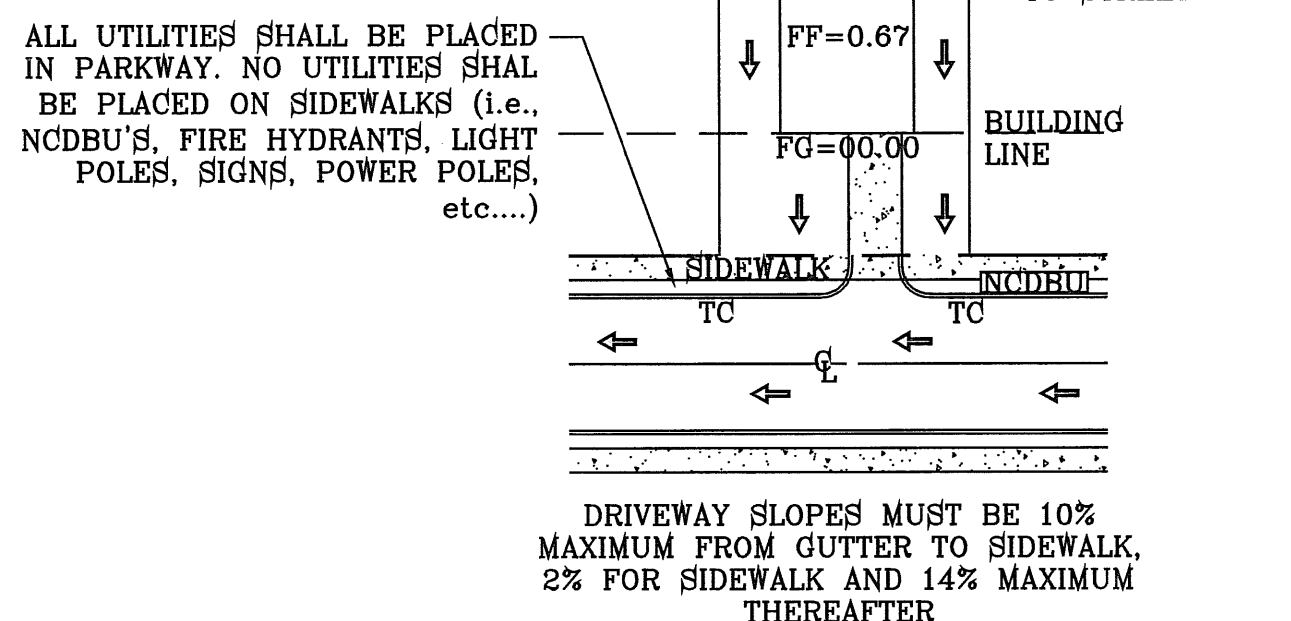
**NOTE:**  
HEREON DESCRIBED TRACT LIES IN ZONE X, COMMUNITY PANEL NO. 4802140045C. DATED FEBRUARY 16, 2006.

DETAIL No. SECTION DETAIL SHEET SECTION REFERENCE SHEET



**ROCKWALL DETAIL**  
SCALE: 1"=2'

**NOTE:**  
RETAINING ROCKWALLS GREATER OR EQUAL TO 4 FEET HIGH AND WHEEL CHAIR RAMPS TO BE CONSTRUCTED BY DEVELOPER.



**TYPICAL LOT GRADING**  
SCALE: 1"=40'

**LEGEND**

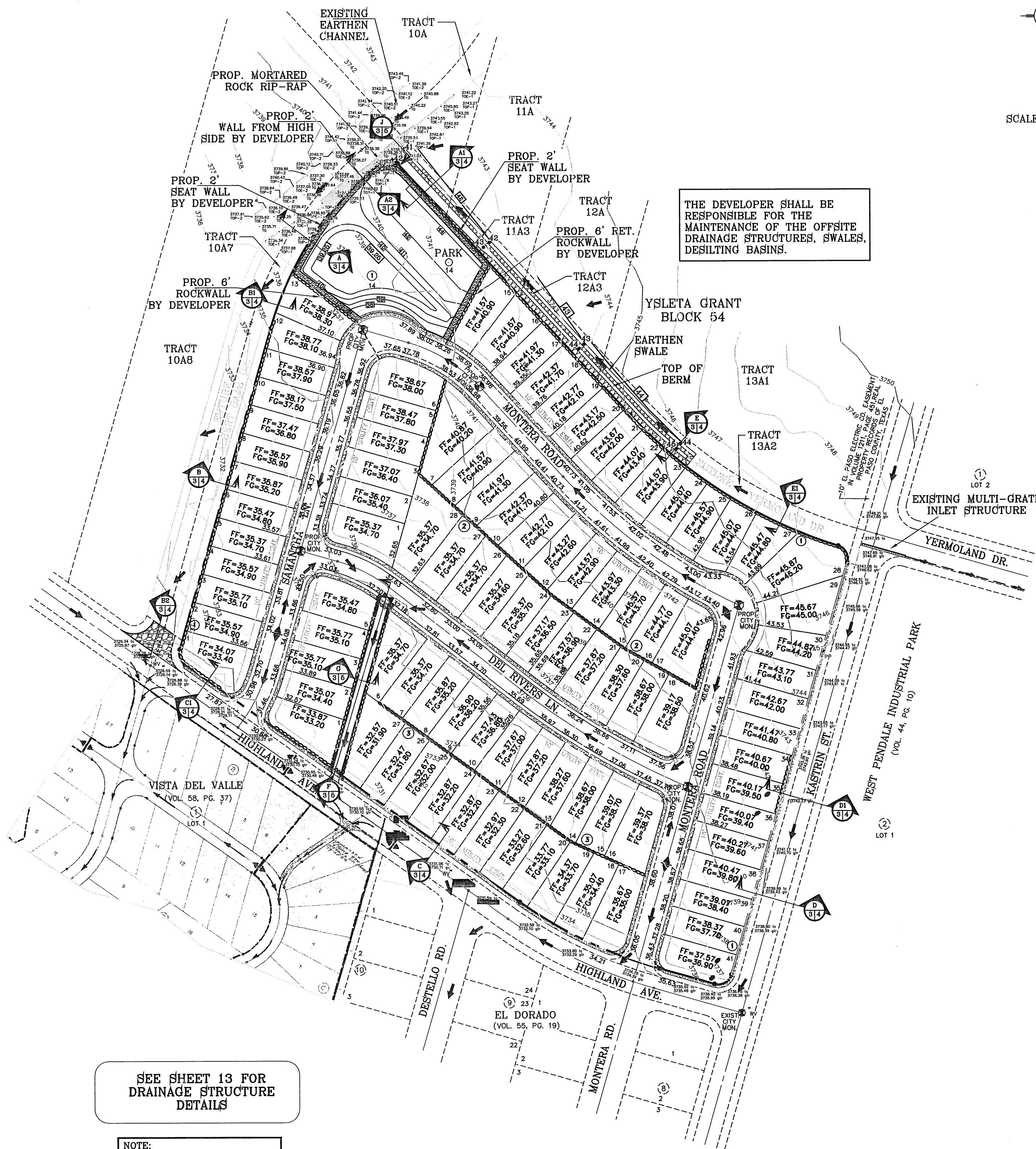
FF=00.67	PROPOSED FINISH FLOOR
FG=00.00	PROPOSED FINISH GROUND
00.00	PROPOSED SPOT ELEVATION
◆	HIGH POINT
◊	LOW POINT
—4000—	EXISTING CONTOUR
—4000—	EXISTING SPOT ELEVATION
▬	PROPOSED CONTOUR
▬▬▬▬	PROPOSED ROCK WALL
▬▬▬▬	PROPOSED RETAINING WALL

**ROCKWALL NOTES:**

- STONE FOR ROCKWALLS SHALL BE AS NEARLY UNIFORM IN SECTIONS AS IS PRACTICABLE. THE STONE SHALL BE DENSE AND RESISTANT OF AIR AND WATER.
- MORTAR MUST BE TYPE "S" 1800 P.S.I. AS PER ASTM C270.
- MASONRY WALLS OVER SIX (6) FEET IN HEIGHT AND THOSE USED FOR EARTH RETENTION OVER TWO (2) FEET MUST BE DESIGNED AS STRUCTURAL WALLS.
- WALLS ADJACENT TO PONDING AREAS OR DRAINAGE DITCHES MAY BE CONSTRUCTED OF BRICK, CINDER BLOCK, STONE OR OR CINDER BLOCK AND SHALL NOT BE LESS THAN SIX (6) FEET HIGH.
- ROCKWALL MORTAR JOINTS MUST NOT EXCEED TWO (2) INCHES.
- PROVIDE ONE (1) INCH EXPANSION JOINTS AT EVERY 100 FEET.
- ALL STONE SHALL BE THOROUGHLY SOAKED BEFORE BEING PLACED.
- NO RIVER ROCK SHALL BE ALLOWED.

SEE SHEET 13 FOR DRAINAGE STRUCTURE DETAILS

**NOTE:**  
RETAINING ROCKWALLS GREATER OR EQUAL TO 4 FEET HIGH AND WHEEL CHAIR RAMPS TO BE CONSTRUCTED BY DEVELOPER. SEE SHEET 14 FOR RETAINING ROCKWALL TABLE.



SCALE: 1"=100'

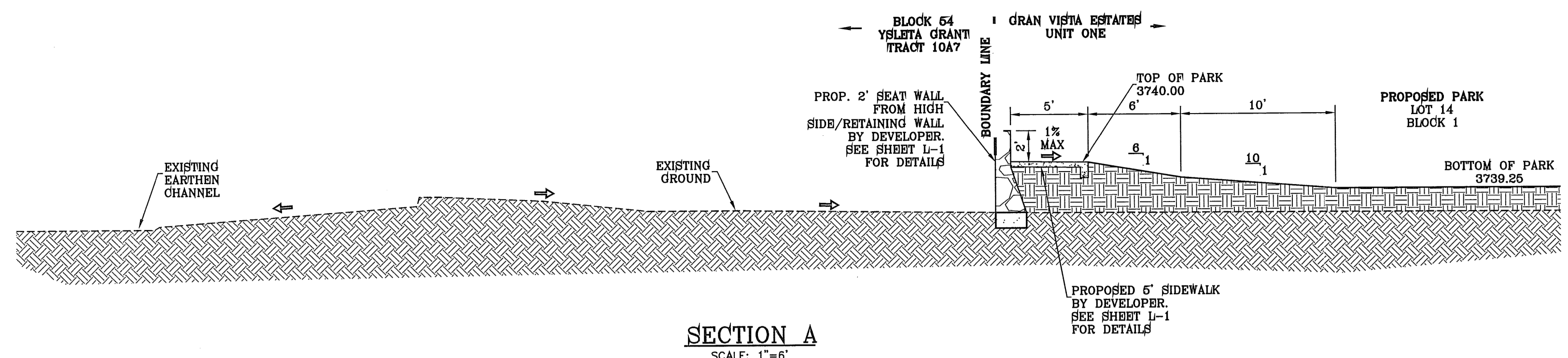
PROJECT NAME	GRAN VISTA ESTATES UNIT ONE REPLAT "A"
DATE	11/09/08
REVISIONS	CITY REDLINES AS PER 10/28/08 COMMENTS E.F.G.
BY	12/11/08 CITY REDLINES AS PER 12/02/08 COMMENTS E.F.G.
DATE	06/19/09
REVISIONS	GRADES (REVISED)
BY	1-10-2012
REVISIONS	NARROWED STREETS (NEW GRADES)
DATE	3-14-2012
REVISIONS	MISC CITY REDS
BY	4-4-2012
REVISIONS	CITY COMMENTS
DATE	3-14-2012
REVISIONS	BENCHMARK
DATE	4-4-2012
REVISIONS	CITY MONUMENT AT THE CENTERLINE INTERSECTION OF KASTRIN ST. AND CASTNER DR.
DATE	3-14-2012
REVISIONS	ELEVATION 3716.40
DATE	3-14-2012
REVISIONS	CITY DATUM

**GRAN VISTA ESTATES UNIT ONE REPLAT "A"**  
BEING A REPLAT OF GRAN VISTA ESTATES UNIT ONE, CITY OF EL PASO, EL PASO COUNTY, TEXAS, CONTAINING 16.199 ACRES.

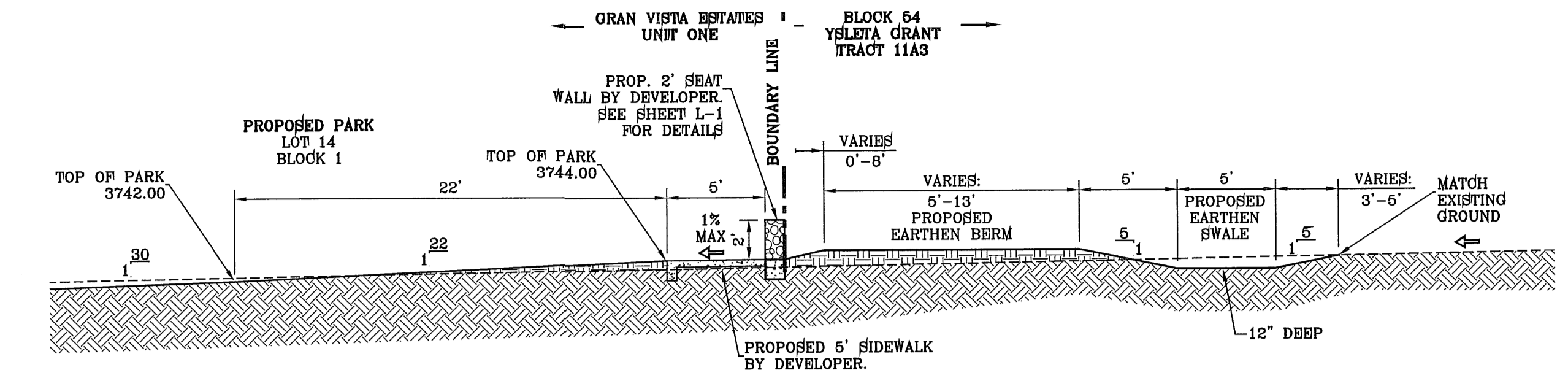
SCALE: 1"=100'  
VERT: ---  
DATE: JUNE 2008  
DESIGNED BY: YC  
INITIATED BY: YC  
CHECKED BY: YC  
JOB NO.: 707-84

**CONDE INC.**  
ENGINEERING / PLANNING  
SURVEYING / GPS  
6080 SURETY DR. SUITE 100  
EL PASO, TEXAS 79905  
(815) 582-0283

SHEET TITLE  
**GRADING PLAN**  
SHT 3 OF 17

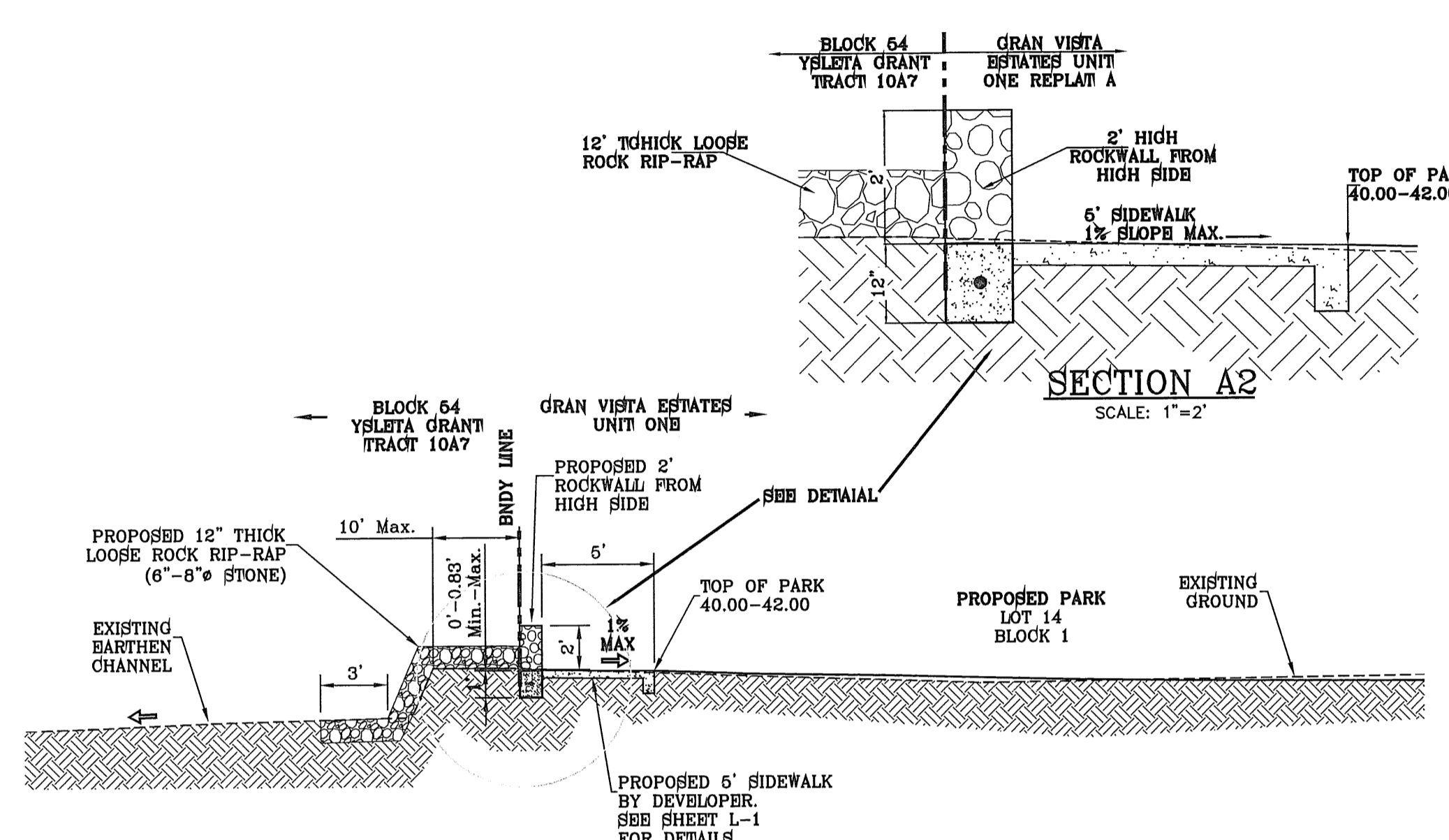


**SECTION A**  
SCALE: 1"=6'

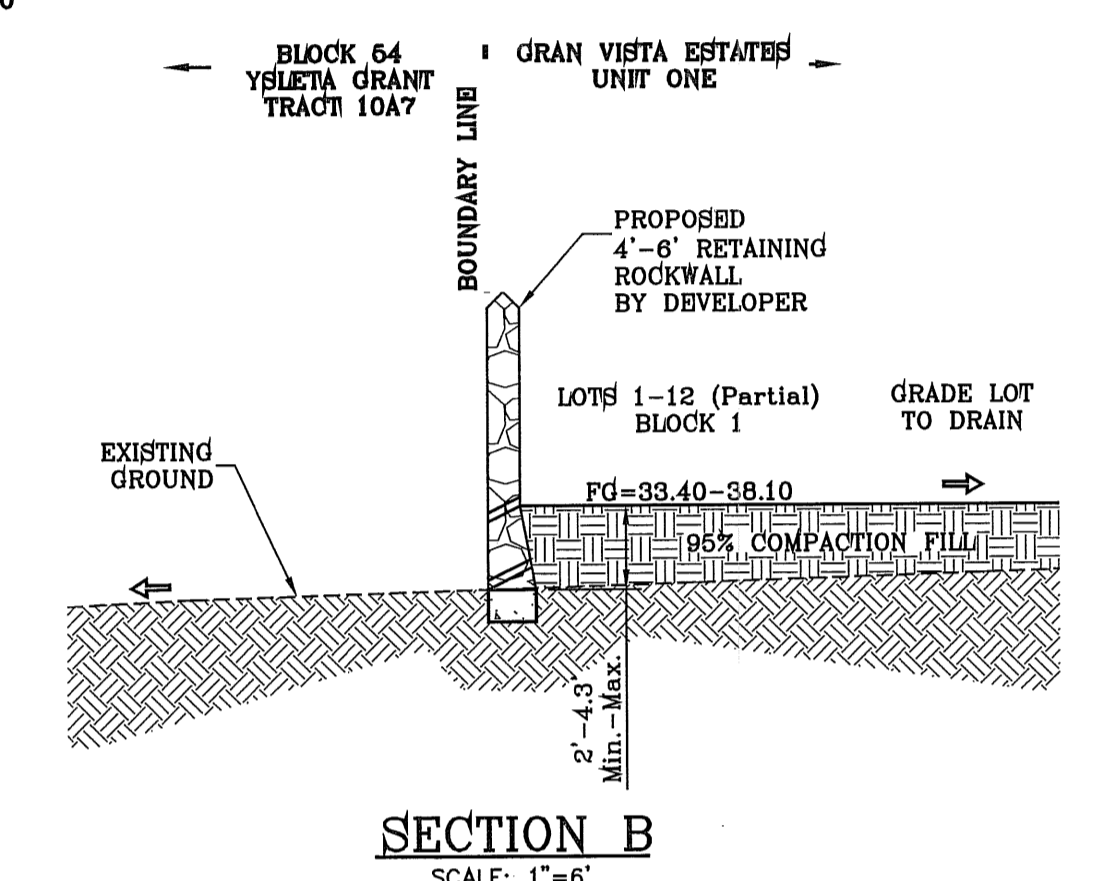


**SECTION A1**  
SCALE: 1"=6'

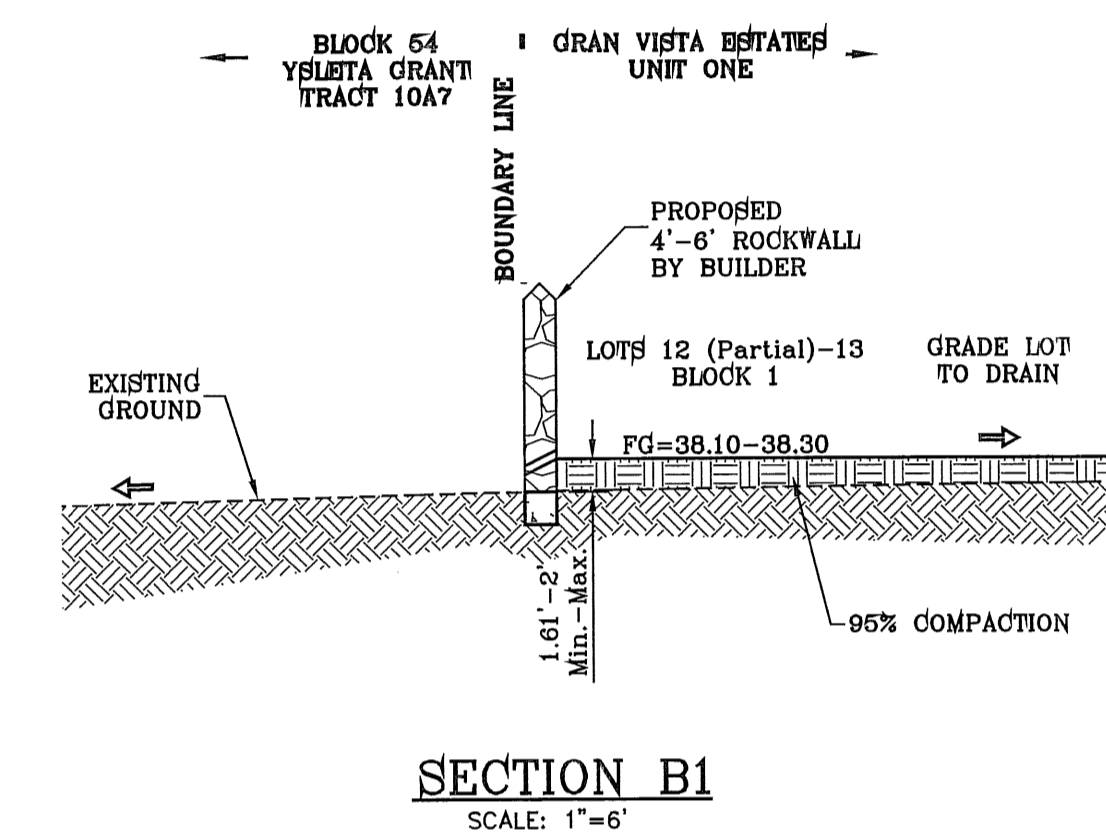
**15' TRAPEZOIDAL EARTHEN SWALE**  
Qd = 19.13 cfs  
Qc = 29.44 cfs  
V = 2.62 fps  
D = 0.81'



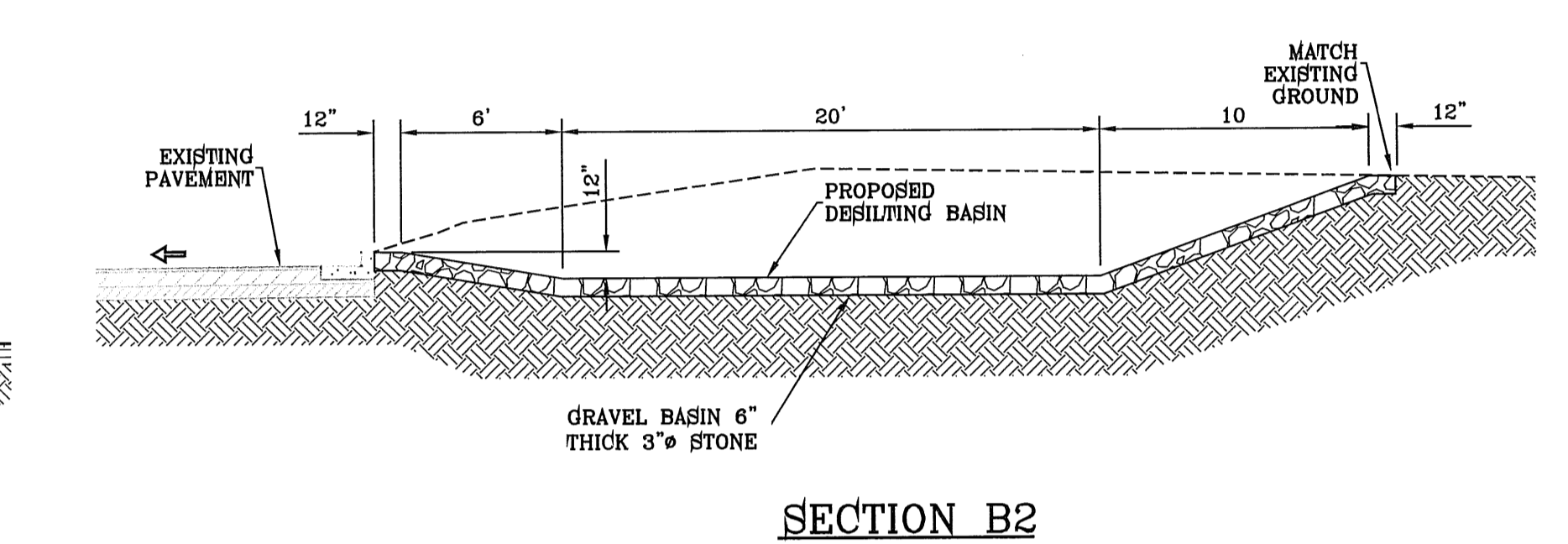
**SECTION A2**  
SCALE: 1"=2'



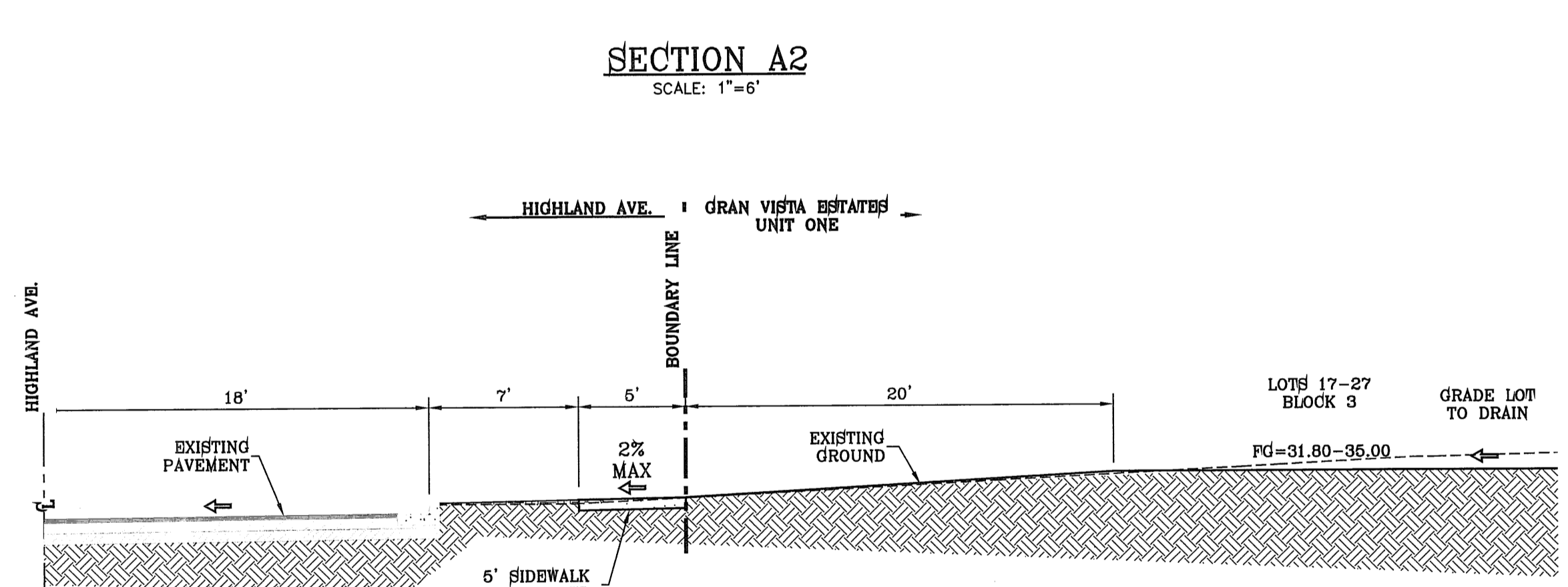
**SECTION B**  
SCALE: 1"=6'



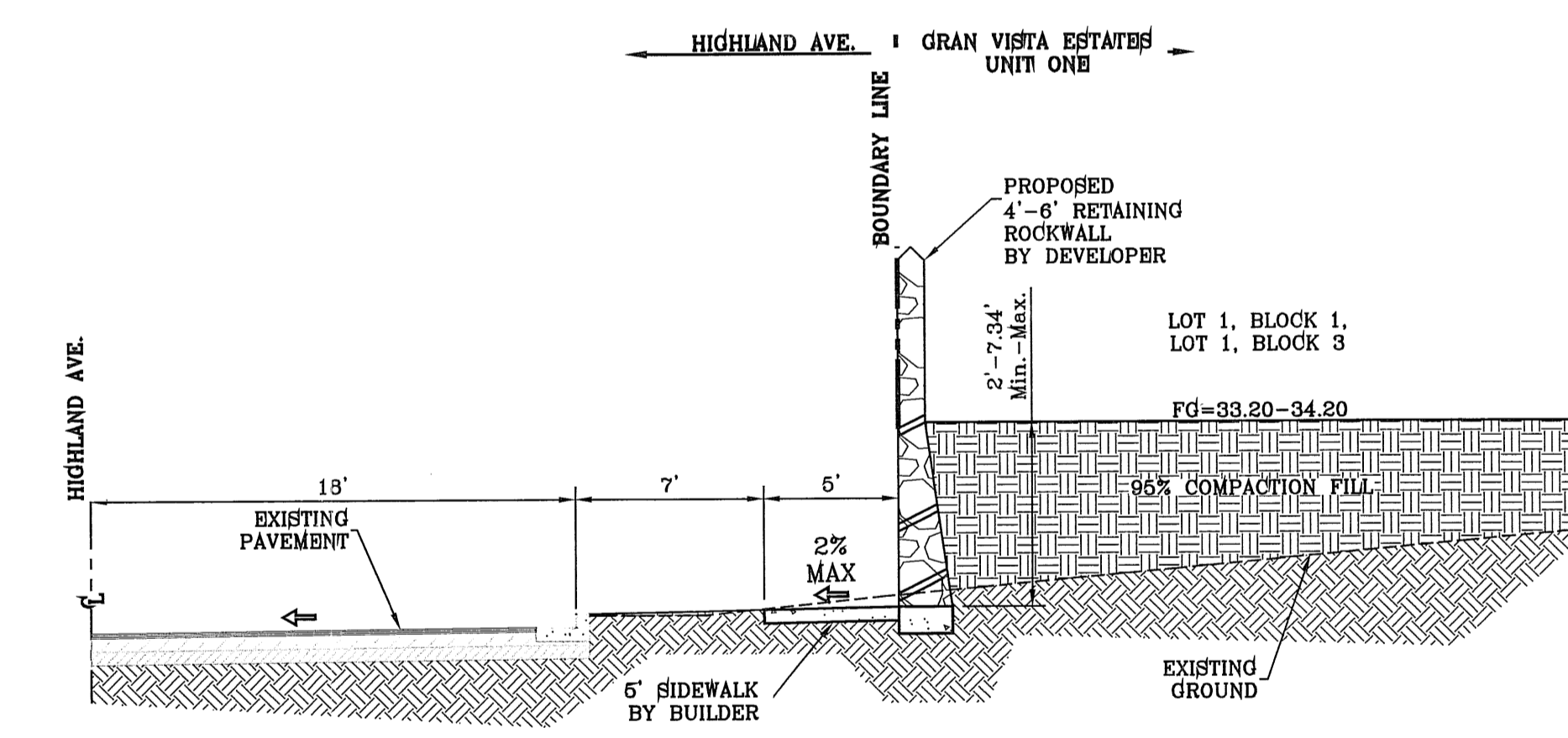
**SECTION B1**  
SCALE: 1"=6'



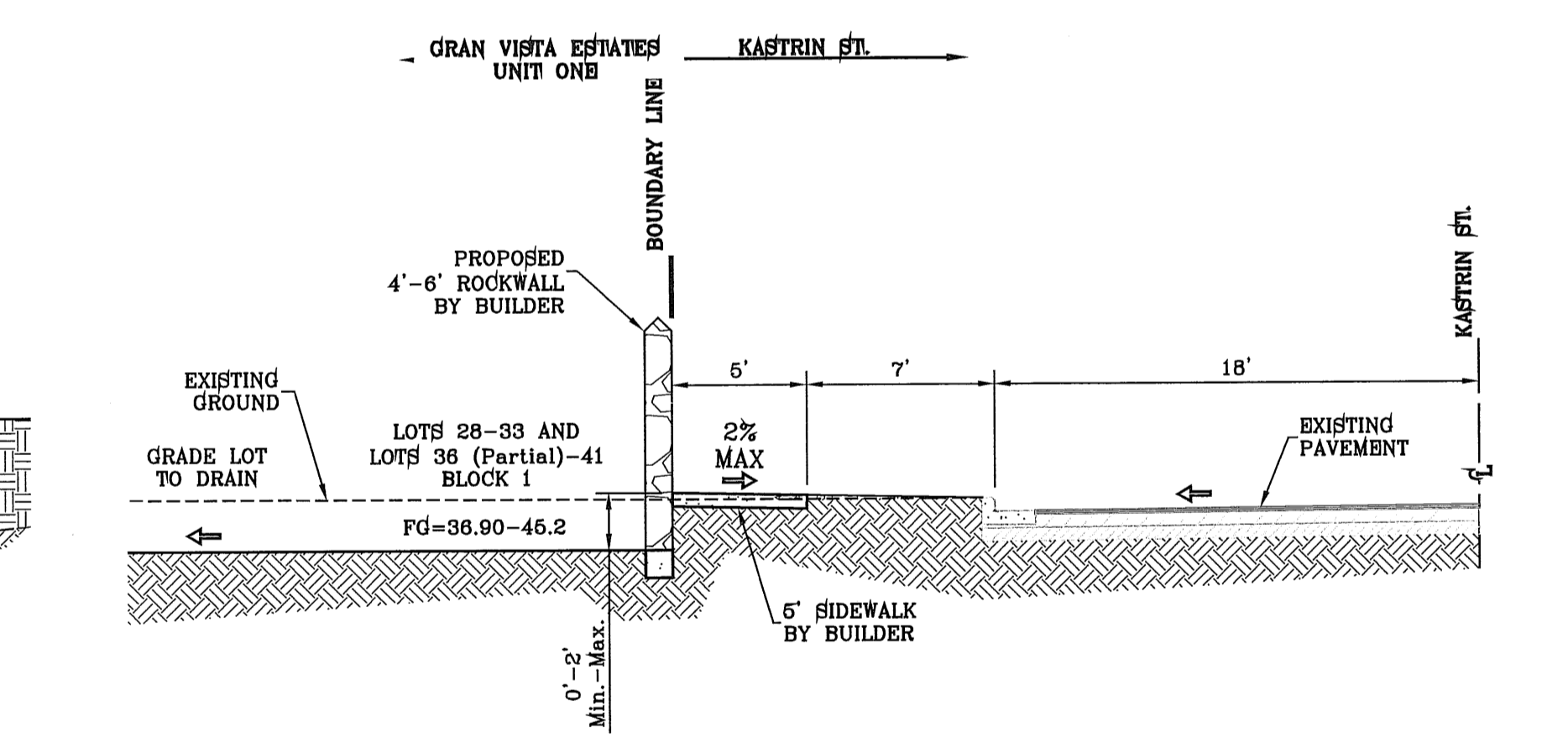
**SECTION B2**  
SCALE: 1"=6'



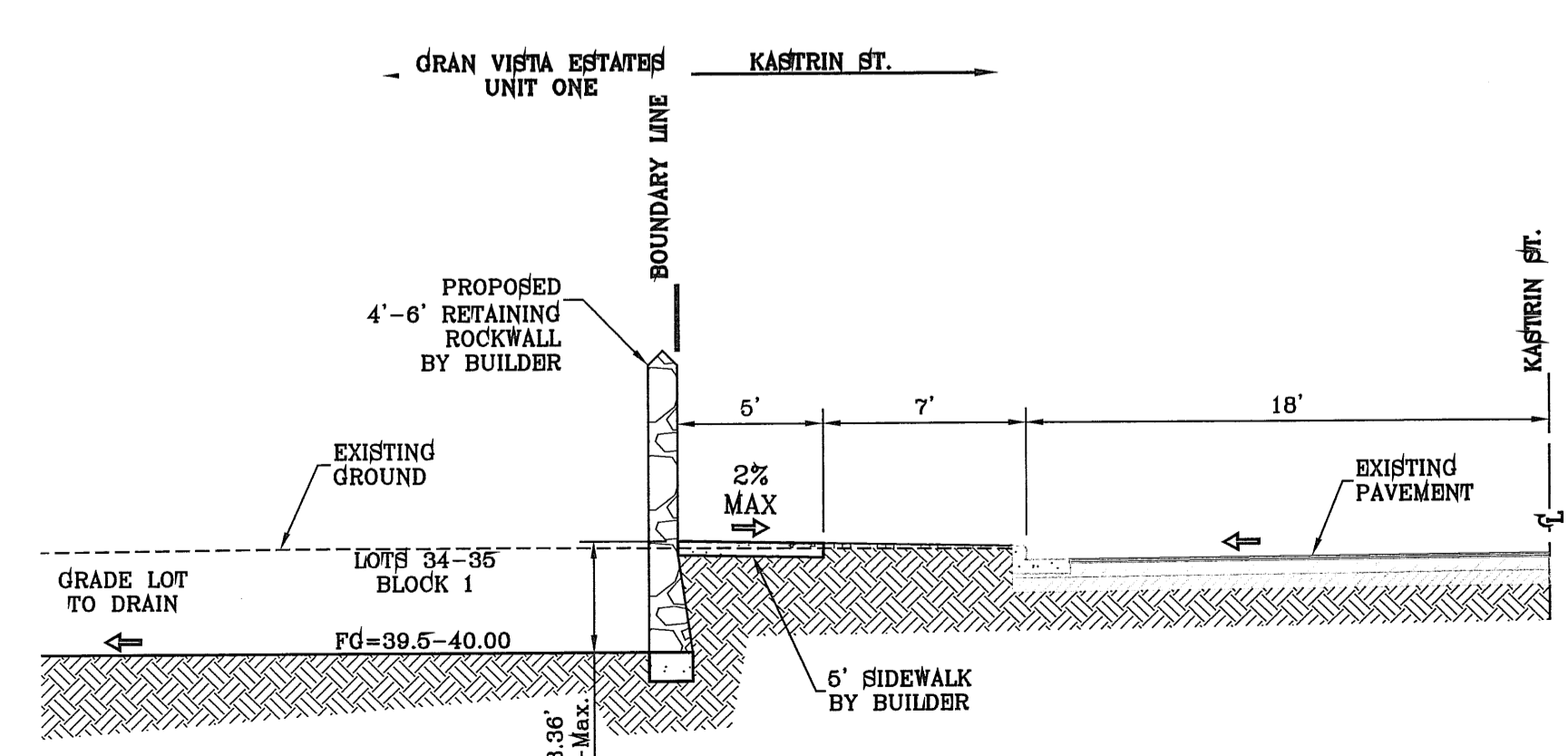
**SECTION C**  
SCALE: 1"=6'



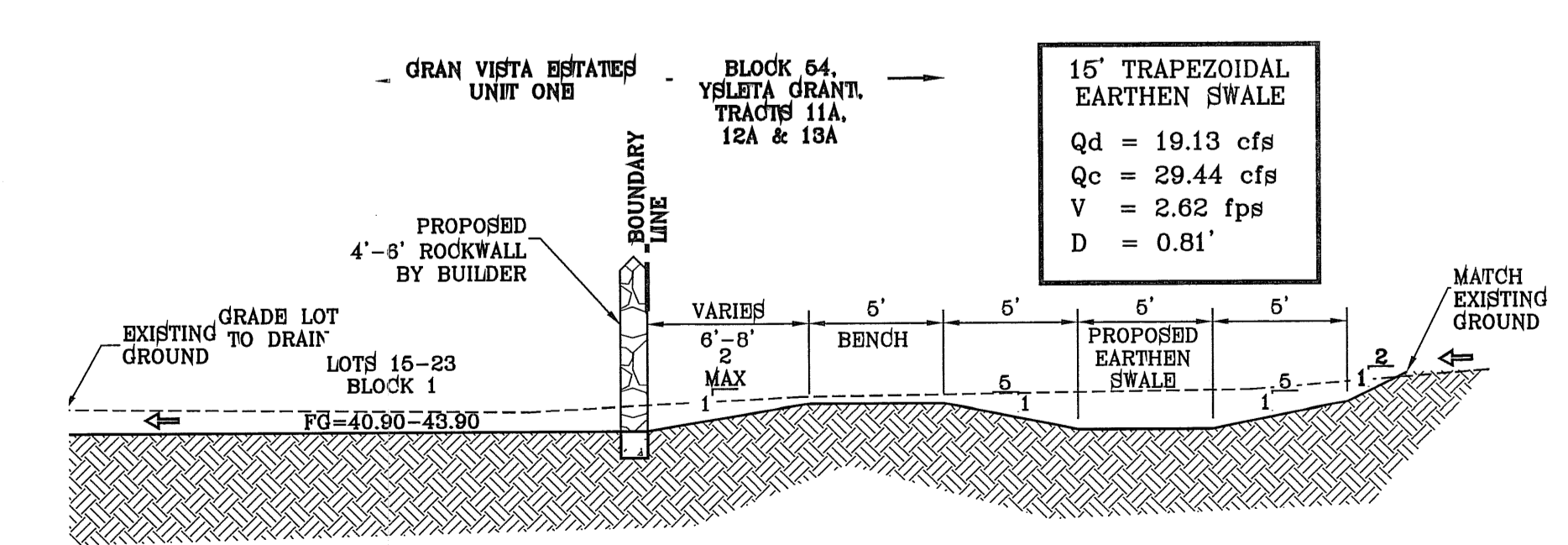
**SECTION C1**  
SCALE: 1"=6'



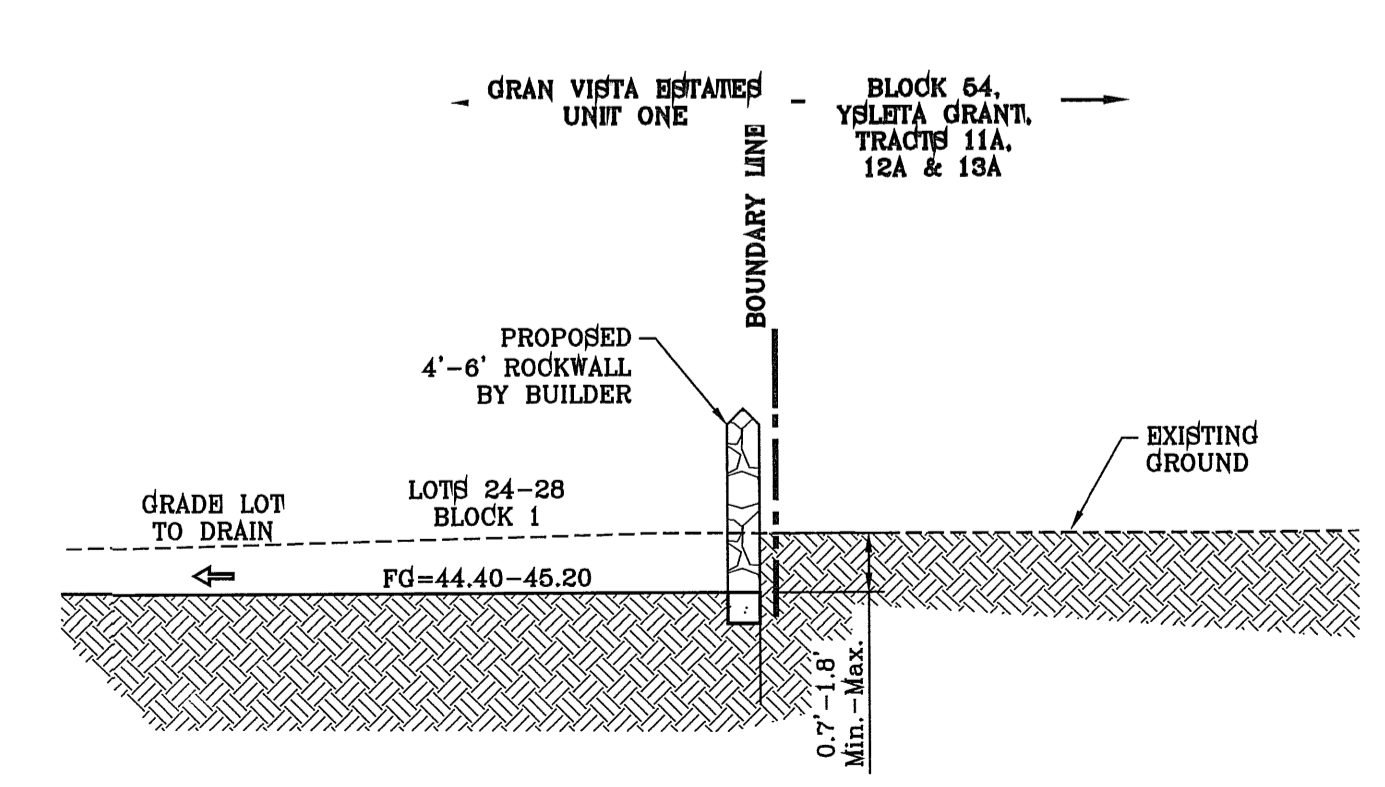
**SECTION D**  
SCALE: 1"=6'



**SECTION D1**  
SCALE: 1"=6'



**SECTION E**  
SCALE: 1"=6'



**SECTION E1**  
SCALE: 1"=6'

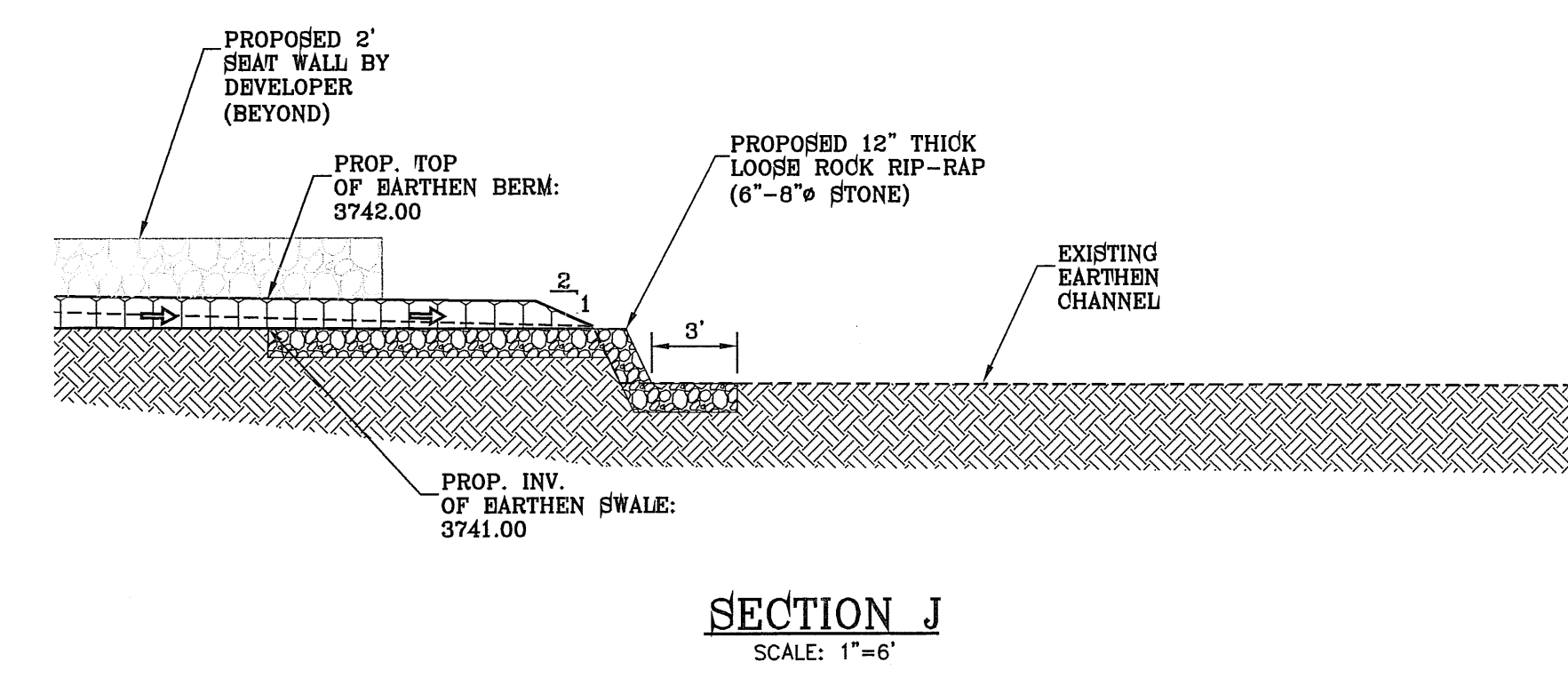
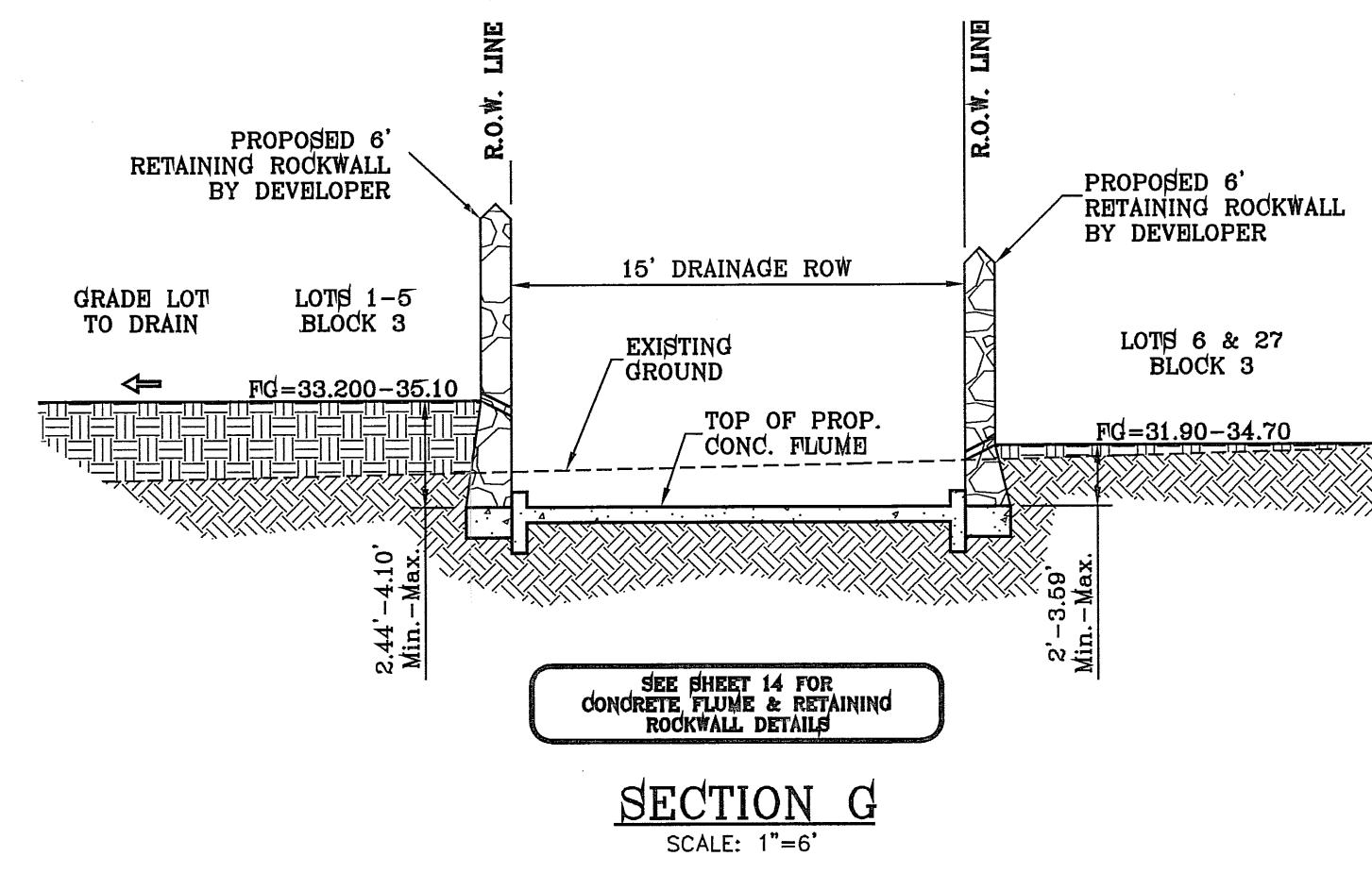
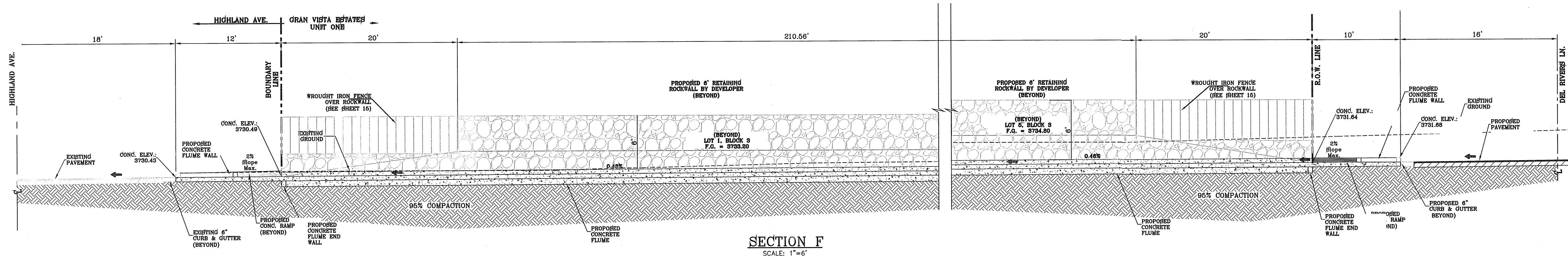
R.O. R.C.  
CITY COMMENTS  
BENCHMARK  
4-4-2012  
3-14-2012

DATE	REVISIONS	BY
11/04/08	CITY REDLINES AS PER 10/08/08 COMMENTS	E.F.G.
12/11/08	CITY REDLINES AS PER 12/02/08 COMMENTS	E.F.G.
08/18/09	GRADES REVISED	O.M.
1-10-2012	NARROWED STREETS - NEW GRADES	R.O.

**GRAN VISTA ESTATES UNIT ONE REPLAT "A"**  
BEING A REPLAT OF GRAN VISTA ESTATES UNIT ONE, CITY OF EL PASO, EL PASO COUNTY, TEXAS, CONTAINING 15.199 ACRES

ENGINEER'S SEAL  
SCALE  
HORIZ: AS NOTED  
VERT: ---  
DATE: JUNE 2008  
DESIGN BY: YC  
INITIATED BY: YC  
CHECKED BY: YC  
JOB NO.: 707-84

**CONDE INC.**  
ENGINEERING / PLANNING  
SURVEYING / GPS  
6080 SURETY DR., SUITE 100  
EL PASO, TEXAS 79905  
(915) 592-0283

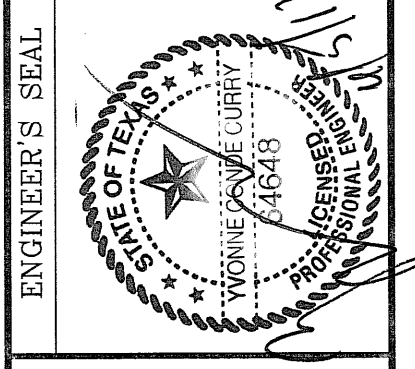


4-4-2012	CITY COMMENTS	BENCHMARK	R.O.
3-14-2012	CITY COMMENTS	BENCHMARK	R.O.
CITY MONUMENT AT THE CENTERLINE INTERSECTION OF CASTRIN ST. AND CASTNER DR. CITY DATUM ELEVATION 3716.40			
DATE	REVISIONS	BY	
11/04/08	CITY REDLINES AS PER 10/28/08 COMMENTS	E.F.G.	
12/11/08	CITY REDLINES AS PER 12/02/08 COMMENTS	E.F.G.	
1-10-2012	NARROWED STREETS - NEW GRADES	R.O.	

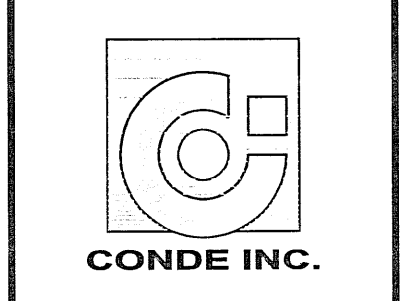
**PROJECT NAME**  
GRAN VISTA ESTATES UNIT ONE REPLAT "A"

BEING A REPLAT OF GRAN VISTA ESTATES UNIT ONE, CITY OF PASCO, TEXAS, PLACED IN 1999, CONTAINING 15.189 ACRES

<b>SCALE</b>	HORIZONTALS NOTED
VERT: ---	
DATE: JUNE 2008	
DESIGN BY: YC	
INITIATED BY: EFG	
CHECKED BY: YC	
JOB NO.: 707-84	



**CONDE INC.**  
ENGINEERING / PLANNING  
SURVEYING / GPS  
6080 SURETY DR. SUITE 100  
EL PASO, TEXAS 79905  
(915) 592-0283



SHEET TITLE  
**GRADING SECTIONS**

C:\CW\_3D\Projects\GRAN VISTA\DWG\SECTIONES\_162012\_25-48.PLT

**LEGEND**

Q	RUN-OFF QUANTITY (CUBIC Ft./Sec)
A	WATERSHED AREA (ACRES)
▲	HIGH POINT
▼	LOW POINT
→	DRAINAGE FLOW
	PROPOSED DRAINAGE AREA

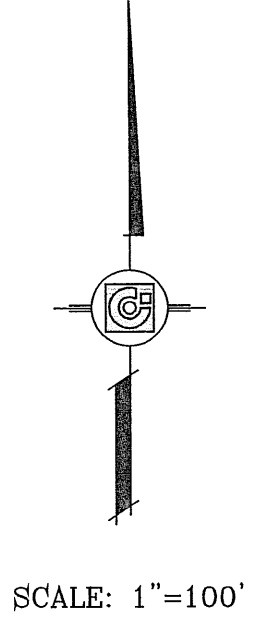
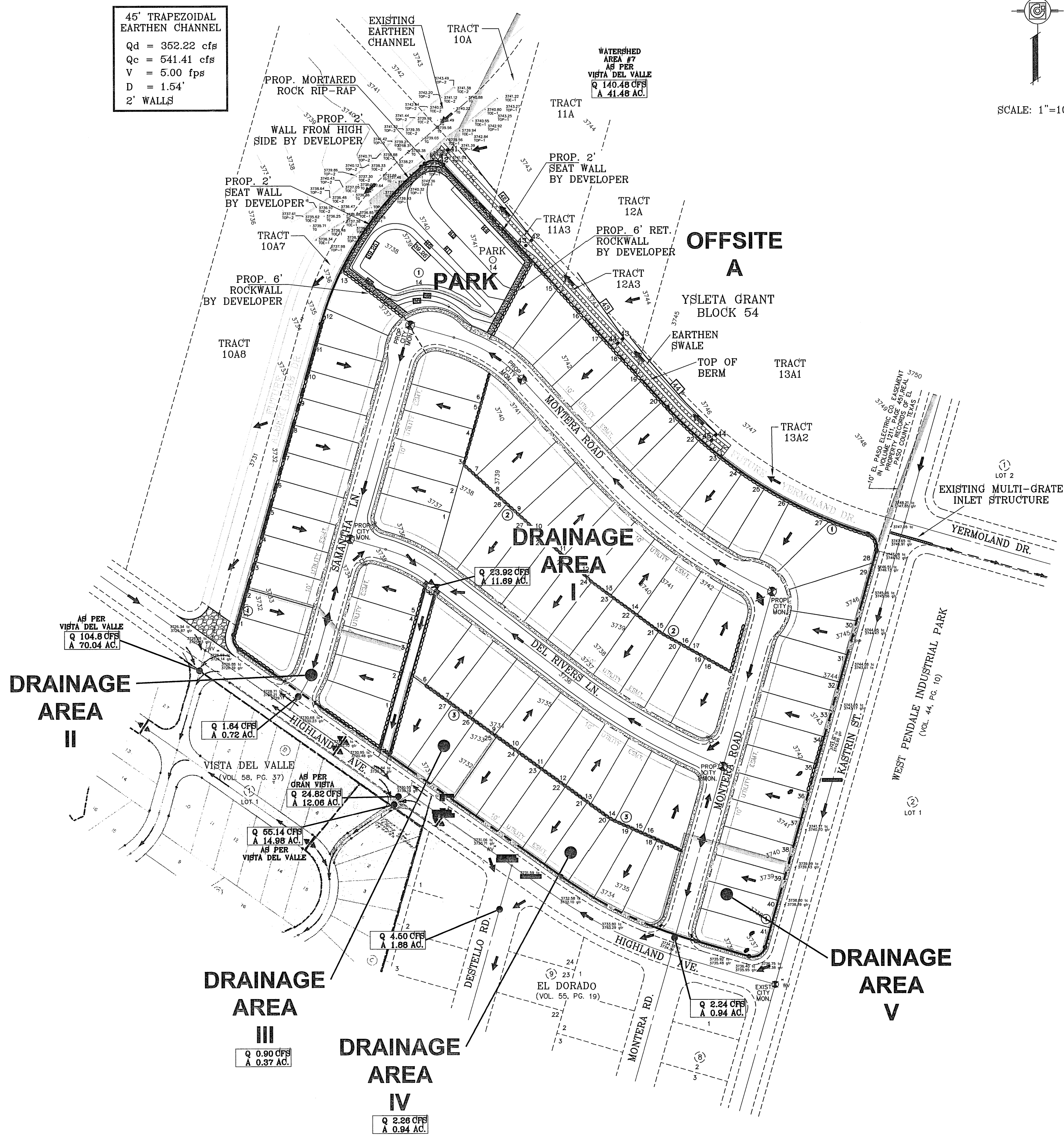
DRAINAGE AREA	AREA (AC)	Tc MIN.	C	I50 IN/HR	Q50 CFS
I	11.69	26.00	0.60	3.41	23.92
II	0.72	21.00	0.60	3.80	1.64
III	0.37	15.00	0.60	4.00	0.90
IV	0.94	15.00	0.60	4.00	2.26
V	0.94	17.00	0.60	3.96	2.24
*OFFSITE A	41.48	45.25	0.85	2.47	140.48
PARK	0.92	SEE PARK CHART FOR CALC.			

\* AS PER VISTA DEL VALLE MASTER PLAN

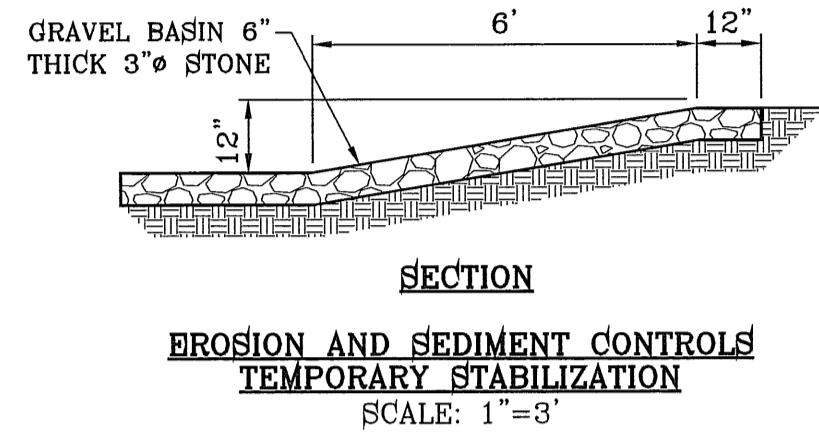
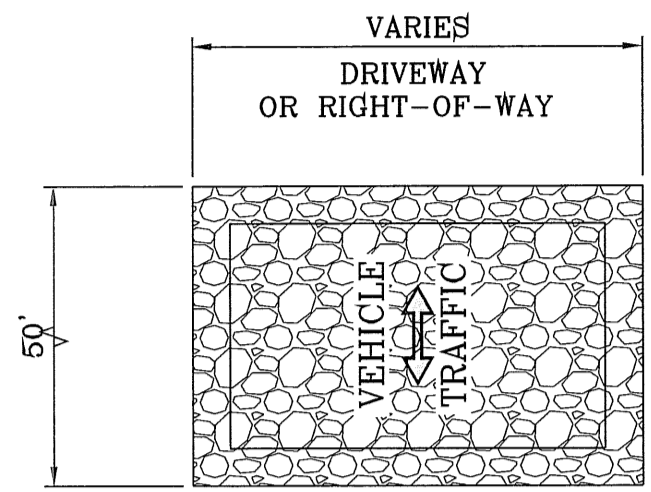
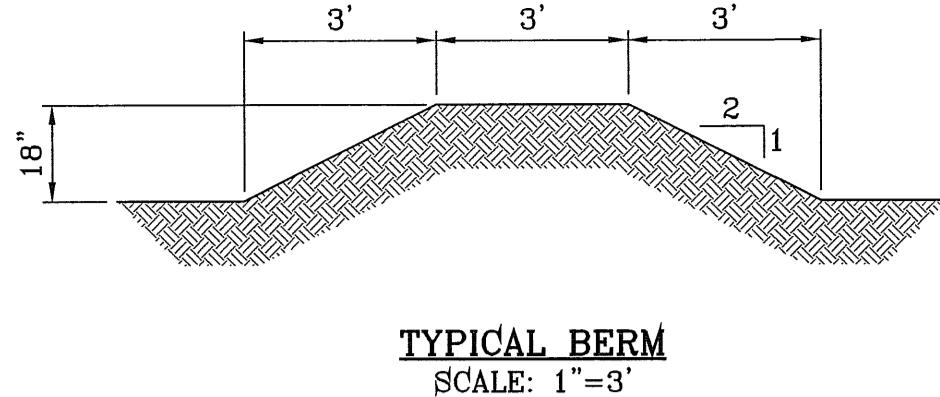
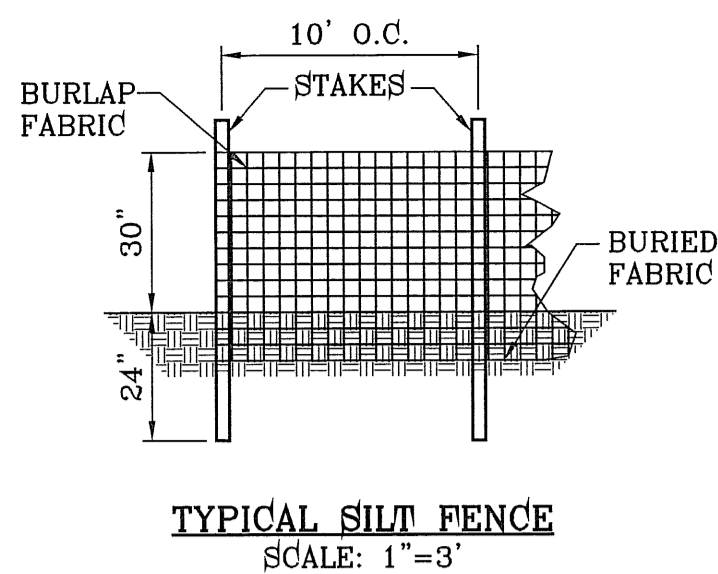
SEE SHEET 13 FOR DRAINAGE STRUCTURE DETAILS

**NOTE:**  
HEREON DESCRIBED TRACT LIES IN ZONE X, COMMUNITY PANEL NO. 4802140045C, DATED FEBRUARY 16, 2006.

45' TRAPEZOIDAL EARTHEN CHANNEL  
Qd = 352.22 cfs  
Qc = 541.41 cfs  
V = 5.00 fps  
D = 1.54'  
2' WALLS



R.O.	CITY COMMENTS	BENCHMARK	PROJECT NAME	S.C.A.L.E.	ENGINEER'S SEAL
			<b>GRAN VISTA ESTATES UNIT ONE REPLAT "A"</b>	HORIZ: 1"=100' VERT: ---	
			CITY MONUMENT AT THE CENTERLINE INTERSECTION OF KASTRIN ST. AND CASTNER DR. ELEVATION 3716.40	DATE: JUNE 2008 DESIGN BY: YC INITIATED BY: BFG CHECKED BY: YC	
			BY		
			REVISIONS		
			11/03/08	CITY REDLINES AS PER 10/28/08 COMMENTS E.F.G.	
			12/11/08	CITY REDLINES AS PER 12/02/08 COMMENTS E.F.G.	
			1-10-2012	NARROWED STREETS (NEW GRADES)	
			3-14-2012	CITY COMMENTS	
				JOB NO.: 707-84	
				<b>CONDE INC.</b> ENGINEERING / PLANNING SURVEYING / GPS 6080 SURCY DR., SUITE 100 EL PASO, TEXAS 79905 (915) 582-0283	
			SHEET TITLE		
			<b>DRAINAGE PLAN</b>		
			SHT 6 OF 17		



**NOTES:**

1. T.P.D.E.S. PERMIT- AS REQUIRED BY CONTRACTOR
2. STORM WATER AS PER N.P.D.E.S. PERMIT

**LEGEND**

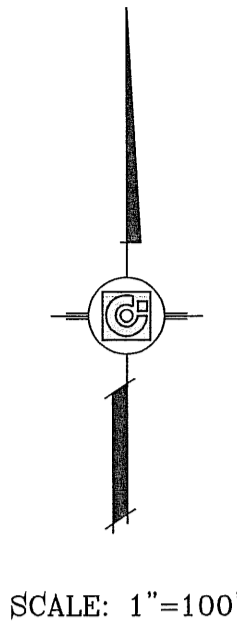
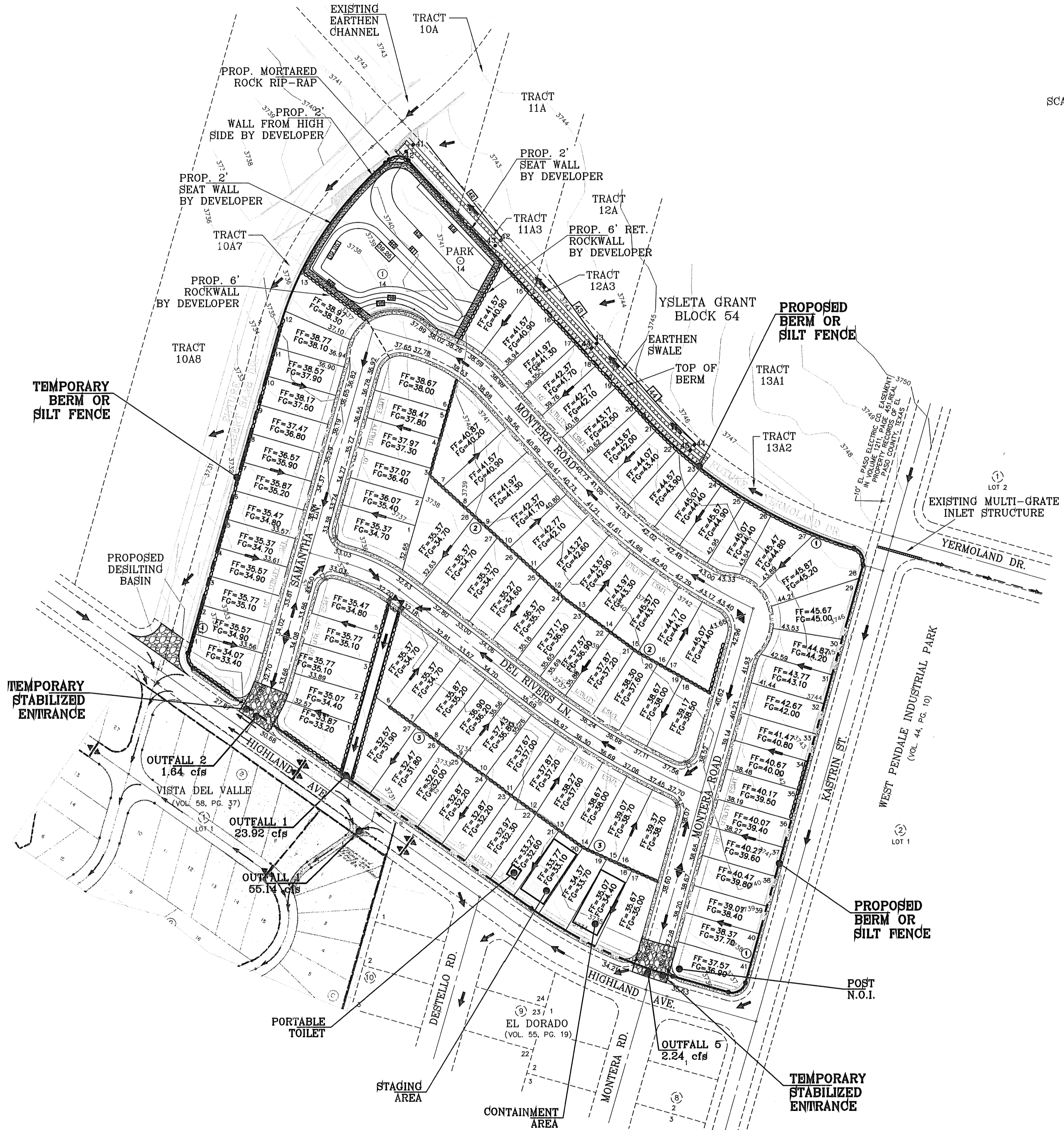
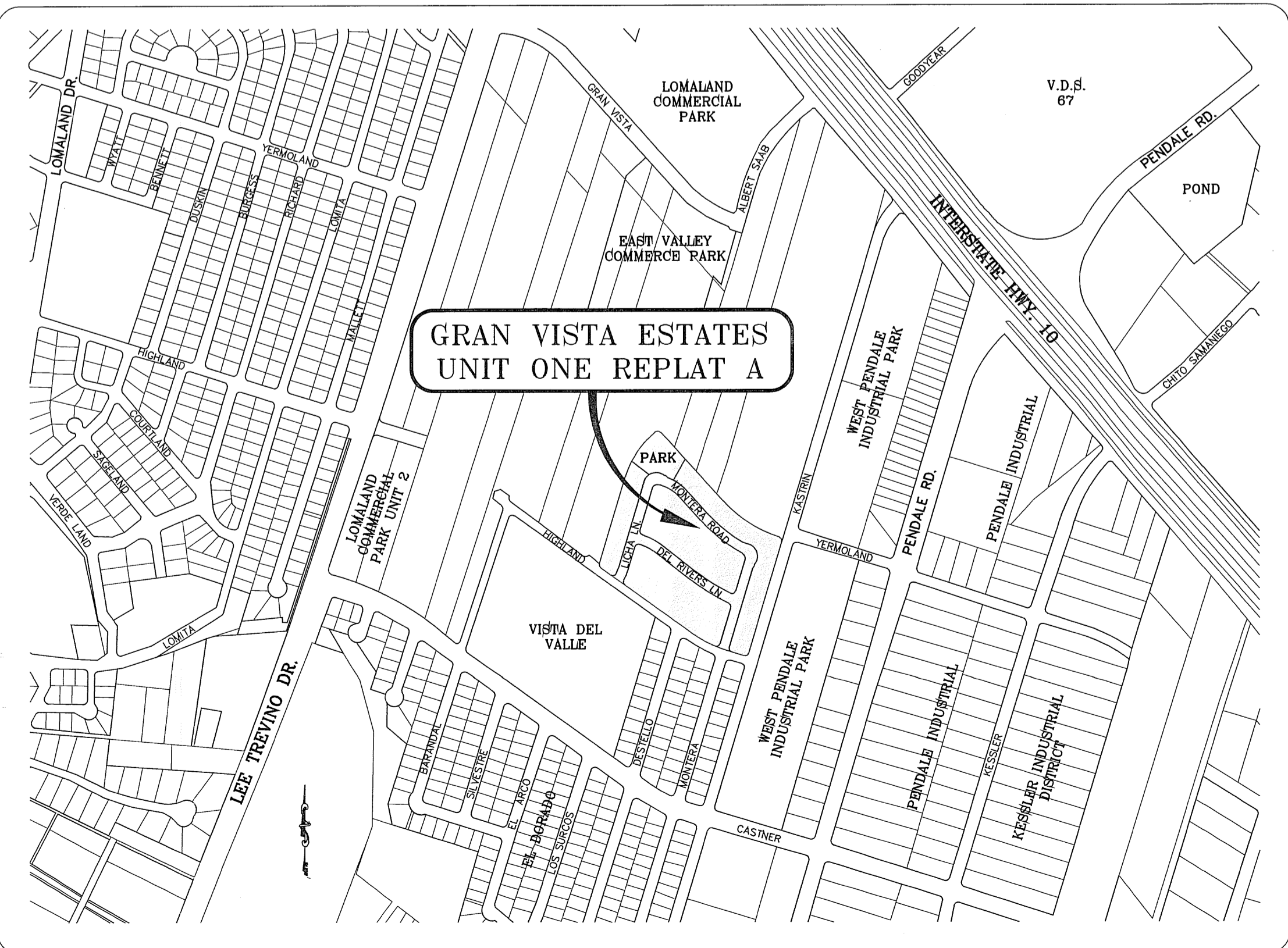
FF=00.67 FG=00.00	PROPOSED FINISH GROUND AND FINISH FLOOR
00.00	PROPOSED SPOT ELEVATION
▲	HIGH POINT
▼	LOW POINT
— 4000 —	EXISTING CONTOUR
— 4000 —	EXISTING SPOT ELEVATION
— 4000 —	PROPOSED CONTOUR
— 4000 —	PROPOSED ROCK WALL
— 4000 —	PROPOSED RETAINING WALL
— 4000 —	PROPOSED SILT FENCE
Q	RUN-OFF QUANTITY (CUBIC Ft./Sec)
A	WATERSHED AREA (ACRES)
→	DRAINAGE FLOW

**STABILIZED ENTRANCE**  
**EROSION CONTROL NOTES**

1. SILT FENCING OR TEMPORARY BERMS SHALL BE INSTALLED AT TIME OF CONSTRUCTION.
2. TEMPORARY SWALES AND DESILTING BASINS WILL BE PLACED WHERE NECESSARY IN ORDER TO CONVEY STORM WATER RUN-OFF.
3. A STABILIZED CONSTRUCTION ENTRANCE WILL BE PROVIDED TO HELP REDUCE VEHICLE TRACKING OF SEDIMENTS. THE PAVED STREET ADJACENT TO THE SITE ENTRANCE WILL BE SWEEPED WEEKLY TO REMOVE ANY EXCESS MUD, DIRT OR ROCK TRACKED FROM THE SITE.
4. THE OWNER SHALL BE RESPONSIBLE FOR INSURING THAT ALL EROSION CONTROL METHODS ARE INSPECTED ON A MONTHLY BASIS OR AFTER EVERY ERODIBLE RAINFALL (1/2" OR MORE). ANY NECESSARY REPAIRS OR CLEANUP TO MAINTAIN THE EFFECTIVENESS OF THE EROSION CONTROL SHALL BE MADE AT THE TIME.
5. A TEMPORARY BERM SHALL BE PROVIDED AT THE TOE OF SLOPE AND LOT LINE AT TIME OF GRADING PRIOR TO ROCKWALL CONSTRUCTION.

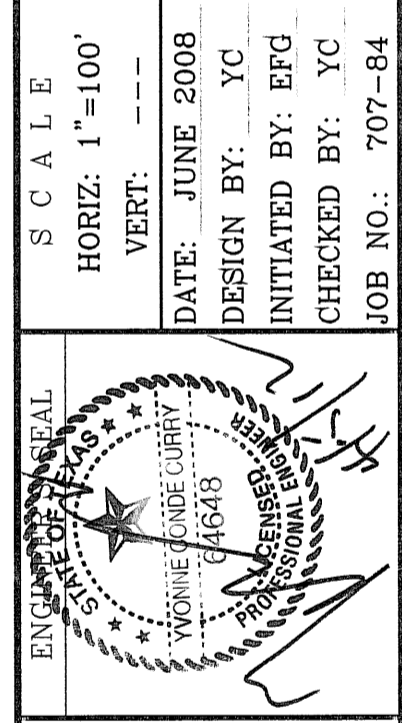
**LOCATION MAP**

SCALE: 1" = 1000'



PROJECT NAME	GRAN VISTA ESTATES UNIT ONE REPLAT "A"
SCALE	1"=100'
DATE	JUNE 2008
DESIGN BY	YC
INITIATED BY	YC
CHECKED BY	YC
JOB NO.	707-84

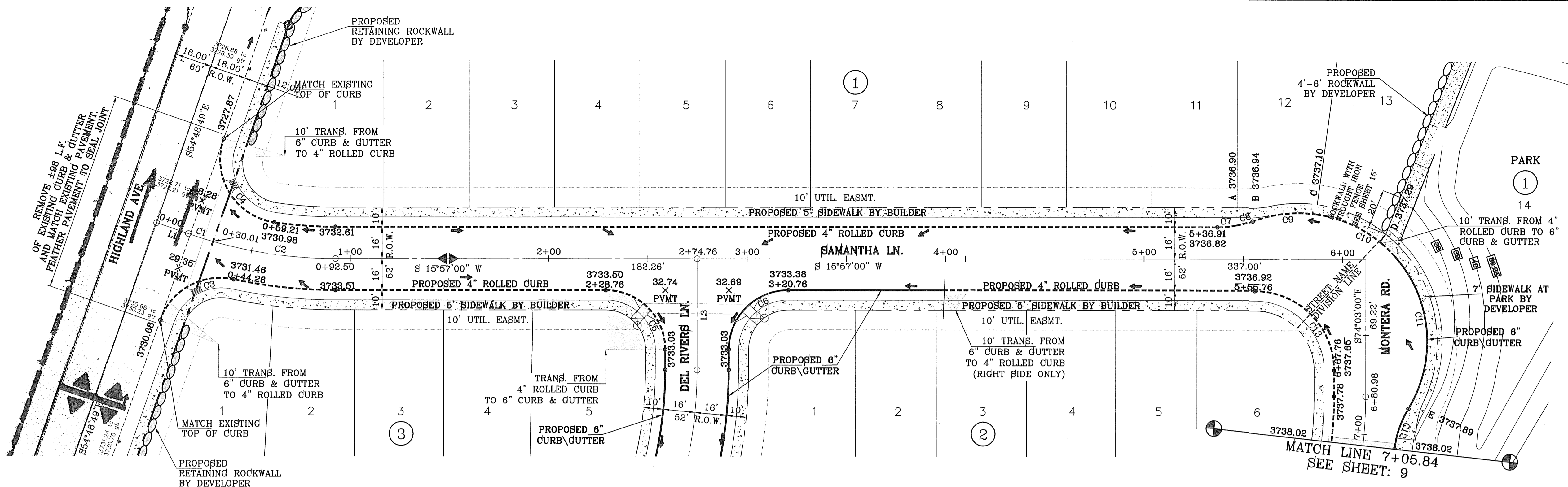
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SURVEYING / GPS  
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EL PASO, TEXAS 79905  
(915) 592-0283



**CONDE INC.**  
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SURVEYING / GPS  
6080 SURETY DR. SUITE 100  
EL PASO, TEXAS 79905  
(915) 592-0283







LINE TABLE

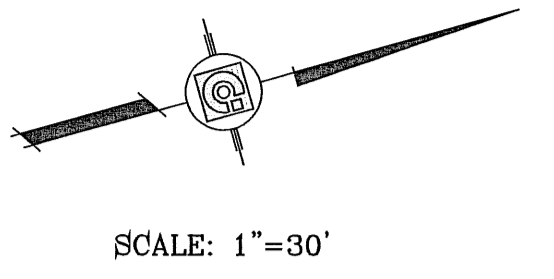
LINE	LENGTH	BEARING
L1	16.95	S35°11'11\"W
L3	56.28	N74°03'00\"W

CURVE TABLE

CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C1	225.00'	13.05'	6.53'	13.05'	N33°31'28\"E	3°19'26\"
C2	225.00'	62.49'	31.45'	62.29'	N23°54'23\"E	15°44'45\"
C3	32.00'	46.38'	28.33'	42.43'	S13°17'23\"E	83°02'51\"
C4	32.00'	56.27'	38.65'	49.30'	N74°48'23\"E	100°45'36\"
C5	30.00'	47.12'	30.00'	42.43'	S89°57'00\"E	90°00'00\"
C6	30.00'	47.12'	30.00'	42.43'	S29°03'00\"E	90°00'00\"
C7	50.00'	10.09'	5.06'	10.07'	N10°10'12\"E	11°33'36\"
C8	50.00'	8.07'	4.04'	8.06'	N0°14'00\"E	9°14'49\"
C9	65.00'	32.42'	16.55'	32.09'	S92°55'55\"E	28°34'41\"
C10	65.00'	37.01'	19.02'	36.51'	S40°01'51\"E	32°37'10\"
C11	65.00'	91.83'	55.46'	84.38'	N83°11'13\"E	80°56'44\"
C12	50.00'	21.82'	11.09'	21.65'	S55°12'59\"E	25°00'17\"
C13	40.00'	62.83'	40.00'	56.57'	S60°57'00\"E	90°00'00\"

NOTE:  
RETAINING ROCKWALLS  
GREATER OR EQUAL TO 4  
FEET HIGH AND WHEEL CHAIR  
RAMPS TO BE CONSTRUCTED  
BY DEVELOPER.  
SEE SHEET 14 FOR RETAINING  
ROCKWALL TABLE.



SCALE: 1"=30'

PROJECT NAME  
**GRAN VISTA ESTATES  
UNIT ONE REPLAT "A"**

DATE  
11/04/08

BY  
E.F.G.

REVISIONS  
12/11/08 CITY REDLINES AS PER 10/28/08 COMMENTS E.F.G.

DATE  
06/18/09

BY  
O.M.

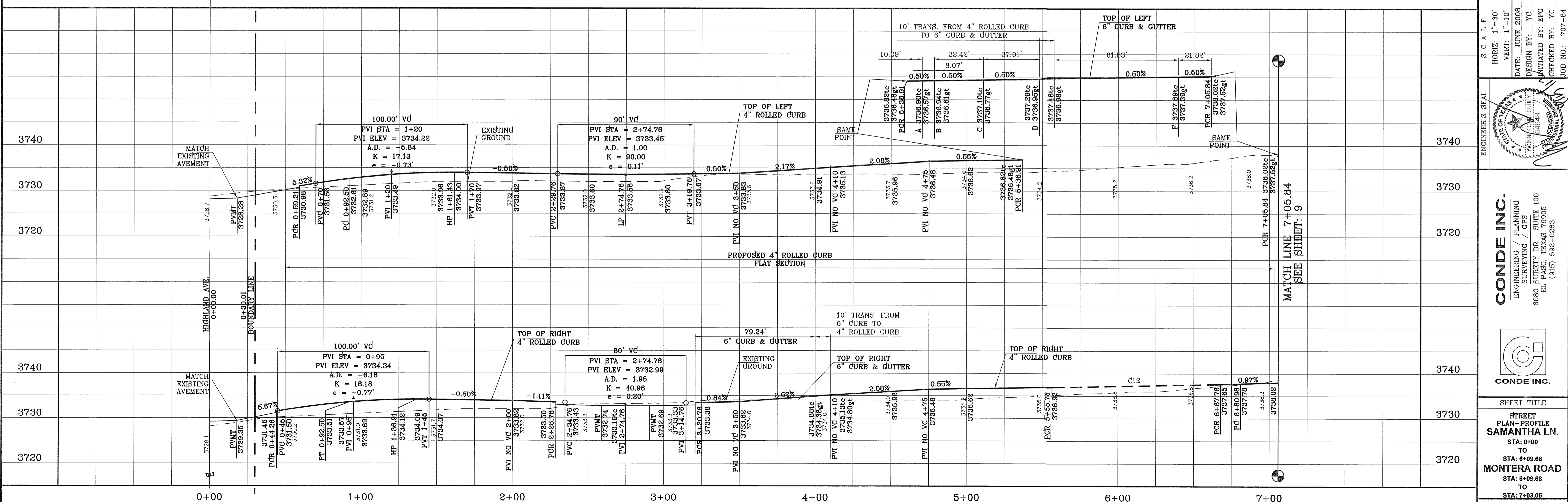
REVISIONS  
11-10-2012 NARROWED STREET - NEW ELEVATIONS

CITY COMMENTS  
4-4-2012

BENCHMARK  
CITY MONUMENT AT THE CENTERLINE INTERSECTION  
OF KASTRIN ST. AND CASTNER DR.  
ELEVATION 3716.40

R.O.  
R.O.

BEING A REPLAT OF GRAN VISTA ESTATES UNIT ONE,  
CITY OF EL PASO, EL PASO COUNTY, TEXAS,  
CONTAINING 15.199 ACRES

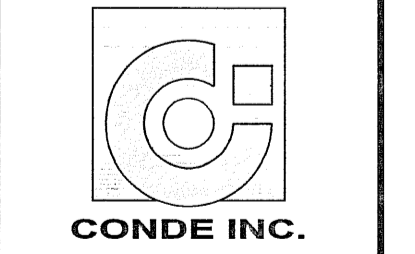


SCALE  
HORIZ. 1"=30'  
VERT. 1"=10'

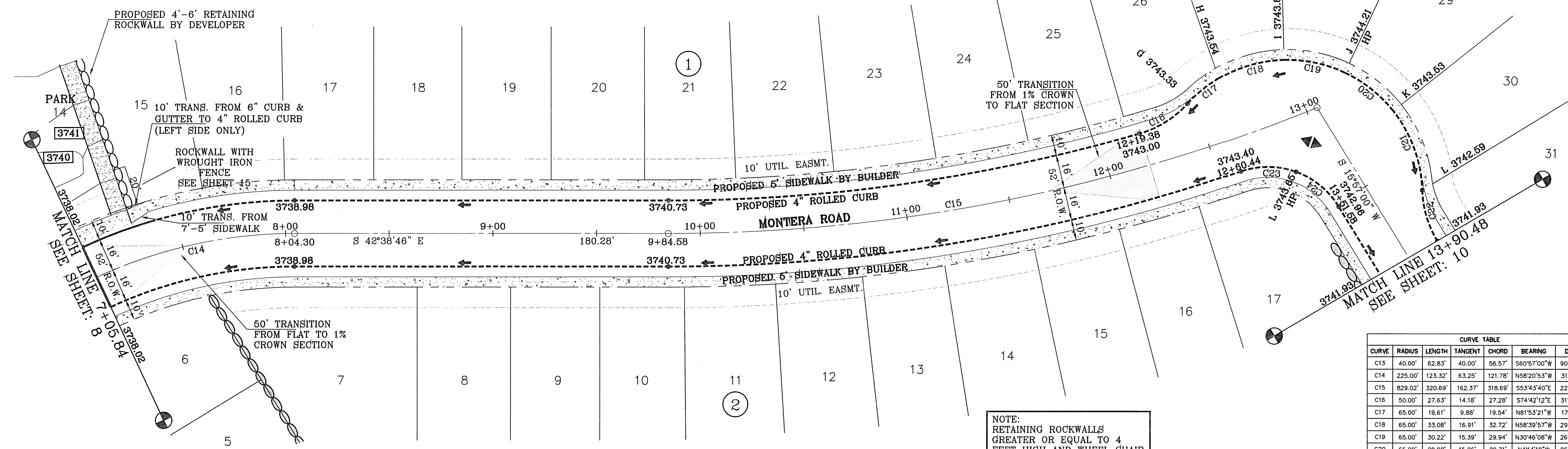
DATE: JUNE 2008  
DESIGN BY: YC  
INITIATED BY: EFC  
CHECKED BY: YC  
JOB NO.: 707-84



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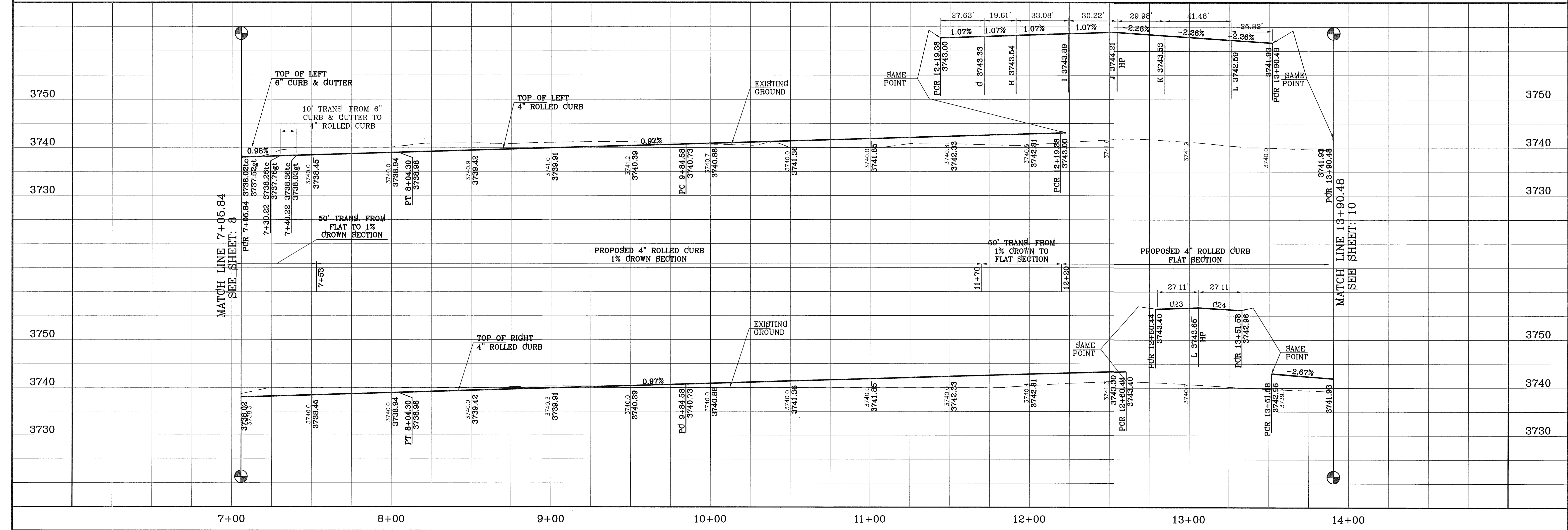


SHEET TITLE  
**STREET  
PLAN-PROFILE  
SAMANTHA LN.**  
STA: 0+00  
TO  
STA: 6+09.68  
**MONTERA ROAD**  
TO  
STA: 7+03.05



CURVE TABLE						
CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C13	40.00'	62.83'	40.00'	56.57'	S60°57'00\"	90°00'00\"
C14	225.00'	123.32'	63.25'	121.78'	N58°20'53\"	31°24'14\"
C15	829.02'	320.69'	162.37'	318.69'	S53°43'40\"	22°09'49\"
C16	50.00'	27.63'	14.18'	27.28'	S74°42'12\"	31°59'32\"
C17	65.00'	19.61'	9.88'	19.54'	N81°53'21\"	171°17'14\"
C18	65.00'	33.08'	16.91'	32.72'	N58°39'57\"	29°09'33\"
C19	65.00'	30.22'	15.39'	29.84'	N30°46'08\"	26°38'00\"
C20	65.00'	29.98'	15.26'	29.71'	N41°14'19\"	26°25'33\"
C21	65.00'	41.48'	21.48'	40.78'	N27°15'29\"	36°34'03\"
C22	50.00'	25.82'	13.21'	25.54'	S30°44'45\"	29°35'31\"
C23	40.00'	27.11'	14.10'	26.59'	N42°17'46\"	38°49'50\"
C24	40.00'	27.11'	14.10'	26.59'	N32°27'55\"	38°49'50\"

NOTE: RETAINING ROCKWALLS GREATER OR EQUAL TO 4 FEET HIGH AND WHEEL CHAIR RAMPS TO BE CONSTRUCTED BY DEVELOPER. SEE SHEET 14 FOR RETAINING ROCKWALL TABLE.



SCALE: 1"=30'

PROJECT NAME  
**GRAN VISTA ESTATES  
UNIT ONE REPLAT "A"**

CITY COMMENTS  
CITY COMMENTS

BENCHMARK  
CITY MONUMENT AT THE CENTERLINE INTERSECTION OF KASTRIN ST. AND CASTNER DR. CITY DATUM  
ELEVATION 3716.40

DATE  
11/04/08  
12/11/08  
06/18/09  
1-10-2012

BY  
CITY REDLINES AS PER 10/28/08 COMMENTS E.F.G.  
CITY REDLINES AS PER 12/02/08 COMMENTS E.F.G.  
GRADES REVISED O.M.  
NARROWED STREET - NEW ELEVATIONS R.O.

S C A L E  
HORIZ: 1"=30'  
VERT: 1"=10'

DATE: JUNE 2008  
DESIGN BY: YC  
INITIATED BY: EFC  
CHECKED BY: YC  
JOB NO.: 707-84

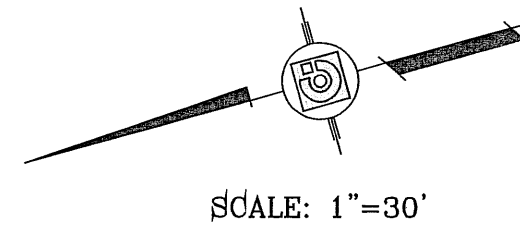
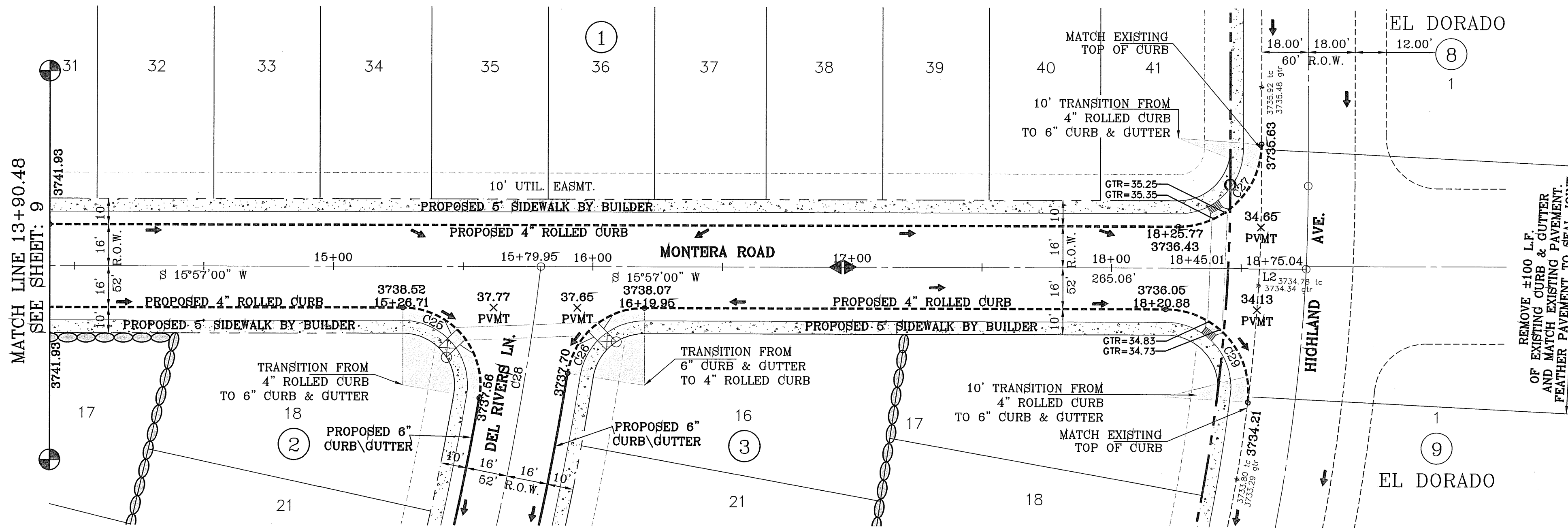
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6080 SURETY DR. SUITE 100  
EL PASO, TEXAS 79905  
(915) 592-0283

SHEET TITLE  
**STREET  
PLAN-PROFILE**

**MONTERA ROAD**  
STA: 7+03.05  
TO  
STA: 13+87.38

SHT 10 OF 17

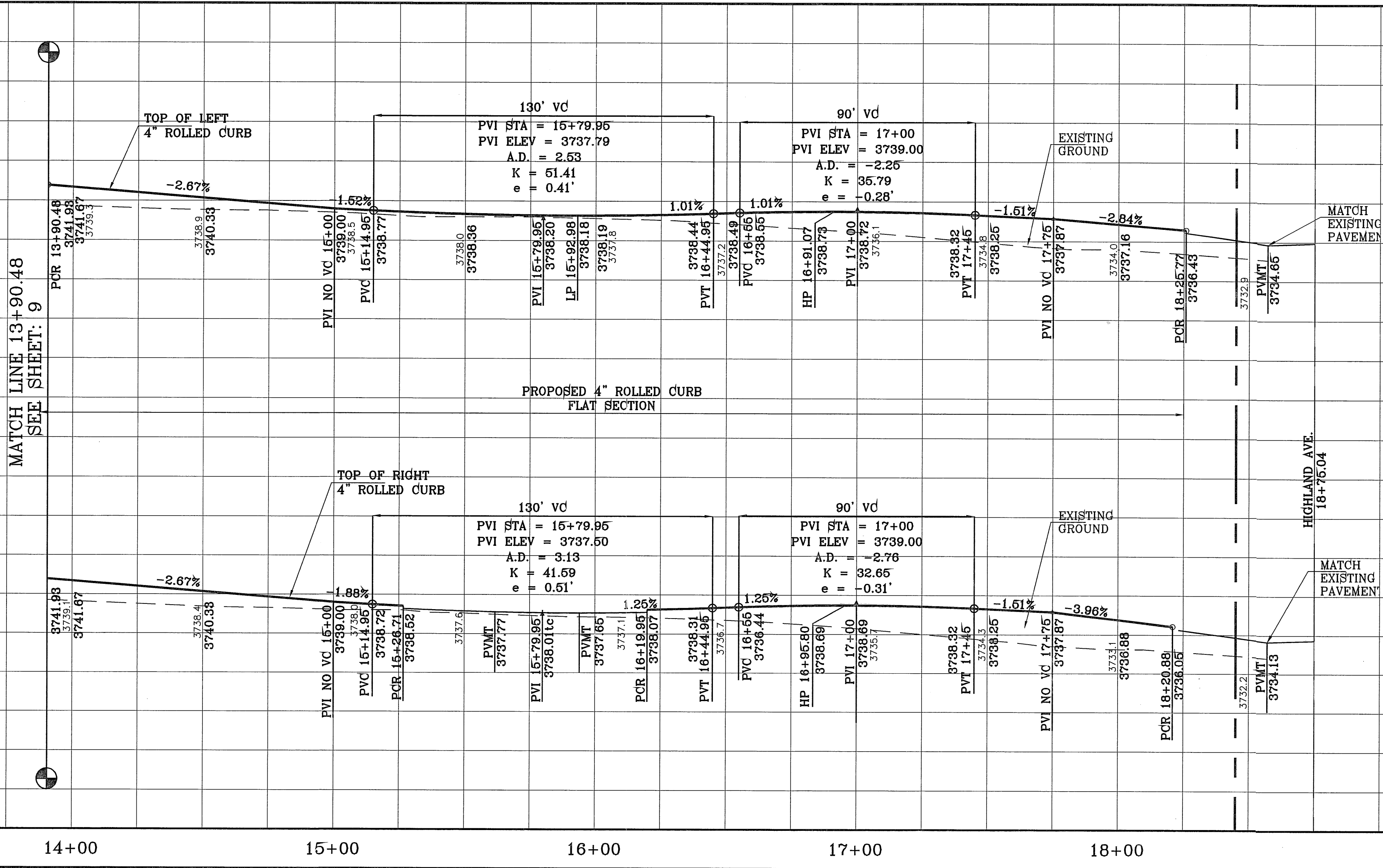
GRAN VISTA ESTATES - UNIT ONE REPLAT "A"



LINE TABLE		
LINE	LENGTH	BEARING
L2	30.03	S15°57'00"W

CURVE TABLE					
CURVE	RADIUS	LENGTH	TANGENT	CHORD	DELTA
C25	30.00'	52.24'	35.61'	45.89'	N65°50'16"E 99°46'30"
C26	30.00'	42.42'	25.63'	38.97'	N24°33'29"W 81°00'57"
C27	32.00'	50.27'	32.00'	45.25'	S29°03'00"E 90°00'00"
C28	1101.02'	281.60'	141.57'	280.83'	S59°46'43"E 14°39'14"
C29	32.00'	54.17'	36.16'	47.93'	N64°26'31"E 96°59'02"

NOTE:  
RETAINING ROCKWALLS  
GREATER OR EQUAL TO 4  
FEET HIGH AND WHEEL CHAIR  
RAMPS TO BE CONSTRUCTED  
BY DEVELOPER.  
SEE SHEET 14 FOR RETAINING  
ROCKWALL TABLE.



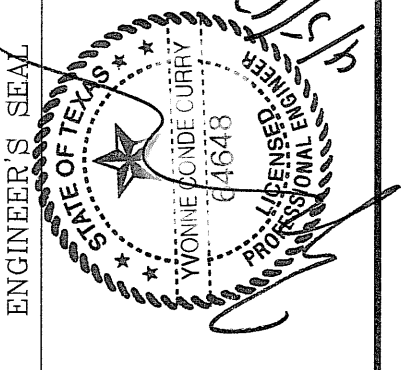
CITY COMMENTS		BENCHMARK	
4-4-2012	3-14-2012	CITY MOVEMENT AT THE CENTERLINE INTERSECTION OF MONTERA ST. AND GASTNER DR. CITY DATUM ELEVATION 3716.40	
BY	REVISIONS	DATE	COMMENTS
O.M.	GRADES REVISED	11/04/08	CITY REDLINES AS PER 10/28/08 COMMENTS
R.O.	NARROWED STREET - NEW ELEVATIONS	06/16/09	
		1-10-2012	

**PROJECT NAME**  
**GRAN VISTA ESTATES**  
**UNIT ONE REPLAT "A"**

BEING A REPLAT OF GRAN VISTA ESTATES UNIT ONE,  
CITY OF EL PASO, EL PASO COUNTY, TEXAS,  
CONTAINING 15.199 ACRES

**SCALE**  
HORIZ. 1"=30'  
VERT. 1"=10'

DATE: JUNE 2008  
DESIGN BY: YC  
INITIATED BY: EFG  
CHECKED BY: YC  
JOB NO.: 707-84

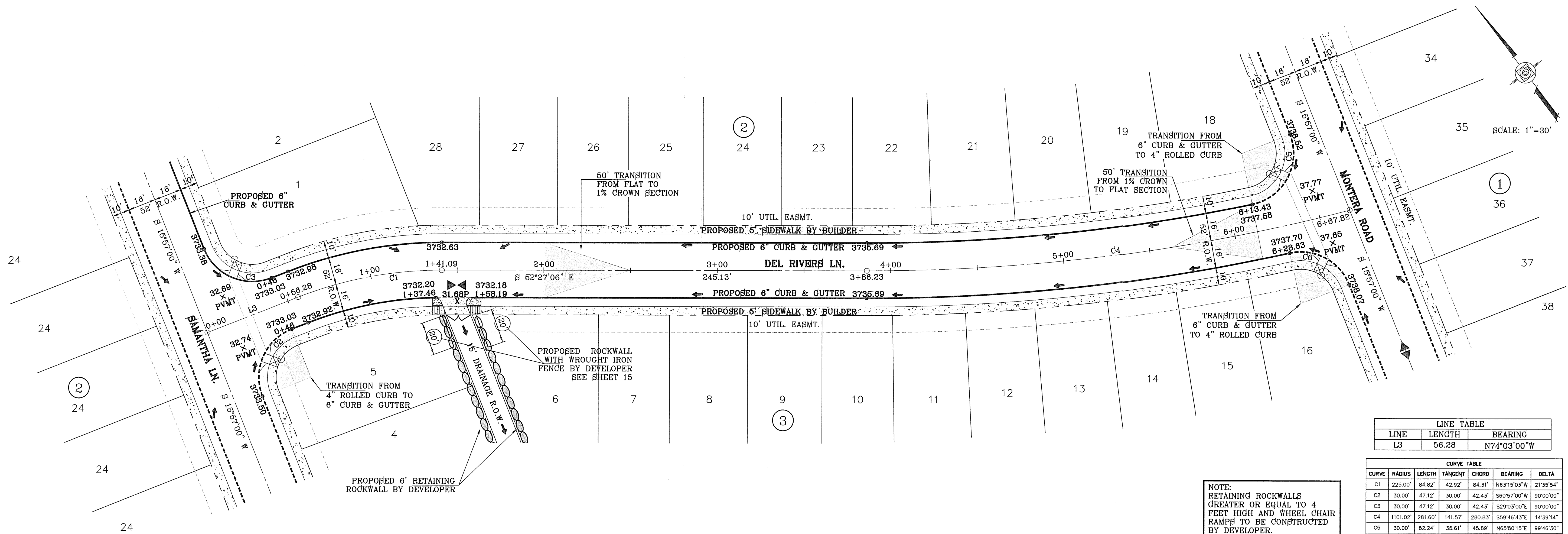


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EL PASO, TEXAS 79905  
(915) 692-0283



**SHEET TITLE**  
**STREET**  
**PLAN-PROFILE**

**MONTERA ROAD**  
STA: 13+87.38  
TO  
STA: 18+75.04



**LINE TABLE**

LINE	LENGTH	BEARING
L3	56.28	N74°03'00"W

**CURVE TABLE**

CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C1	225.00'	84.82'	42.92'	84.31'	N63°15'03"W	21°35'54"
C2	30.00'	47.12'	30.00'	42.43'	S60°57'00"W	90°00'00"
C3	30.00'	47.12'	30.00'	42.43'	S29°03'00"E	90°00'00"
C4	1101.02'	281.60'	141.57'	280.83'	S59°46'43"E	14°39'14"
C5	30.00'	52.24'	35.61'	45.89'	N65°50'15"E	99°48'30"
C6	30.00'	42.42'	25.63'	38.97'	N24°33'29"W	81°00'57"
C7	3.00'	3.63'	2.07'	3.41'	N18°42'50"W	69°19'41"
C8	3.00'	5.84'	4.41'	4.96'	S71°44'57"W	111°35'54"

NOTE:  
RETAINING ROCKWALLS  
GREATER OR EQUAL TO 4  
FEET HIGH AND WHEEL CHAIR  
RAMPS TO BE CONSTRUCTED  
BY DEVELOPER.  
SEE SHEET 14 FOR RETAINING  
ROCKWALL TABLE.

PROJECT NAME  
**GRAN VISTA ESTATES  
UNIT ONE REPLAT "A"**

DATE  
11/04/08  
06/18/09  
1-10-2012

BY  
E.F.G.  
O.M.  
R.O.

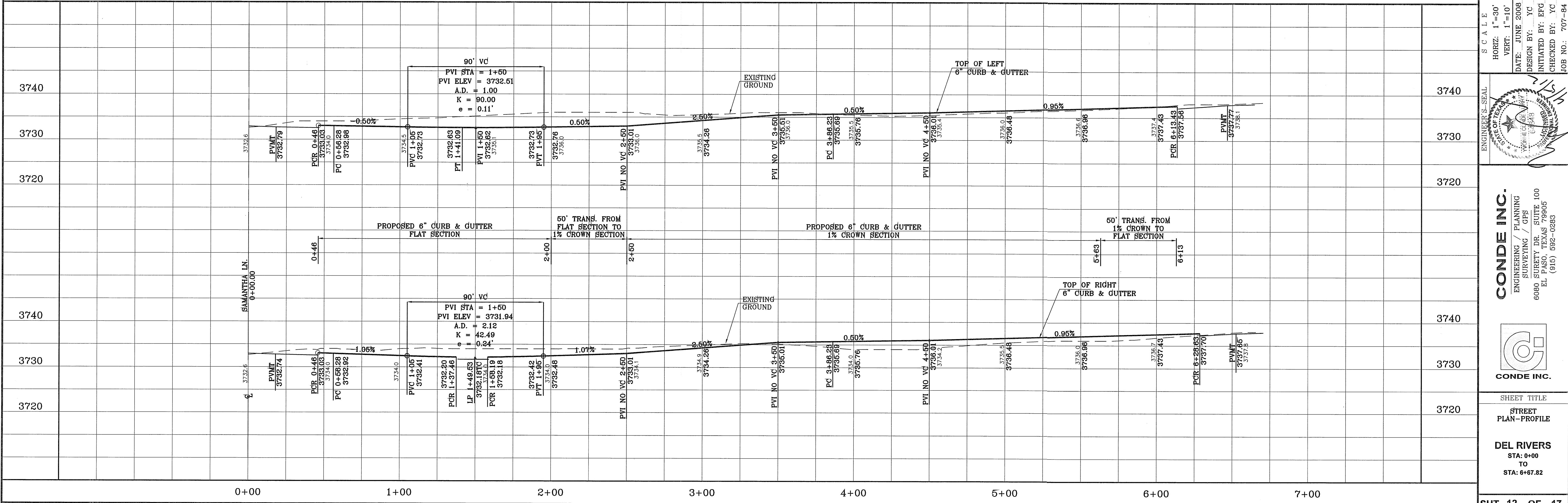
REVISIONS  
CITY REDLINES AS PER 10/28/08 COMMENTS  
GRADES REVISED  
NARROWED STREET - NEW ELEVATIONS

CITY COMMENTS  
CITY COMMENTS

BENCHMARK  
CITY MONUMENT AT THE CENTERLINE INTERSECTION  
OF KASTRIN ST. AND CASTNER DR.  
ELEVATION 3716.40

R.O.  
R.O.

BEING A REPLAT OF GRAN VISTA ESTATES UNIT ONE,  
CITY OF EL PASO, EL PASO COUNTY, TEXAS,  
CONTAINING 16.189 ACRES



SCALE  
HORIZ. 1"=30'  
VERT. 1"=10'

DATE: JUNE 2008  
DESIGN BY: YC  
INITIATED BY: EFG  
CHECKED BY: YC  
JOB NO.: 707-84

ENGINEER'S SEAL

**CONDE INC.**  
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SURVEYING / GPS  
6080 SURETY DR. SUITE 100  
EL PASO, TEXAS 79905  
(915) 692-0283

SHEET TITLE  
**STREET  
PLAN-PROFILE**

**DEL RIVERS**  
STA: 0+00  
TO  
STA: 6+67.82

SHT 12 OF 17  
GRAN VISTA ESTATES - UNIT ONE REPLAT "A"

TOP SOIL SHALL COMPLY WITH CITY OF EL PASO PARKS & RECREATION DEPARTMENT PARK DESIGN GUIDELINES AND STANDARDS, SODDING SPECIFICATION 1.02C.

SEE SHEET L1 FOR PARK IRRIGATION PLAN & DETAILS

**LEGEND**

	PROPOSED 6' ROCKWALL
	PROPOSED 6' RETAINING ROCKWALL
	PROP. TOP OF CURB ELEV.
	PROP. POND CONTOUR ELEV.

**ON SITE PONDING CALCULATIONS**

Q = TOTAL RUNOFF IN ACRE-FEET  
 A = 100% OF WATERSHED AREA IN ACRES  
 R = RAINFALL IN INCHES  
 C = RUNOFF FACTOR INCHES

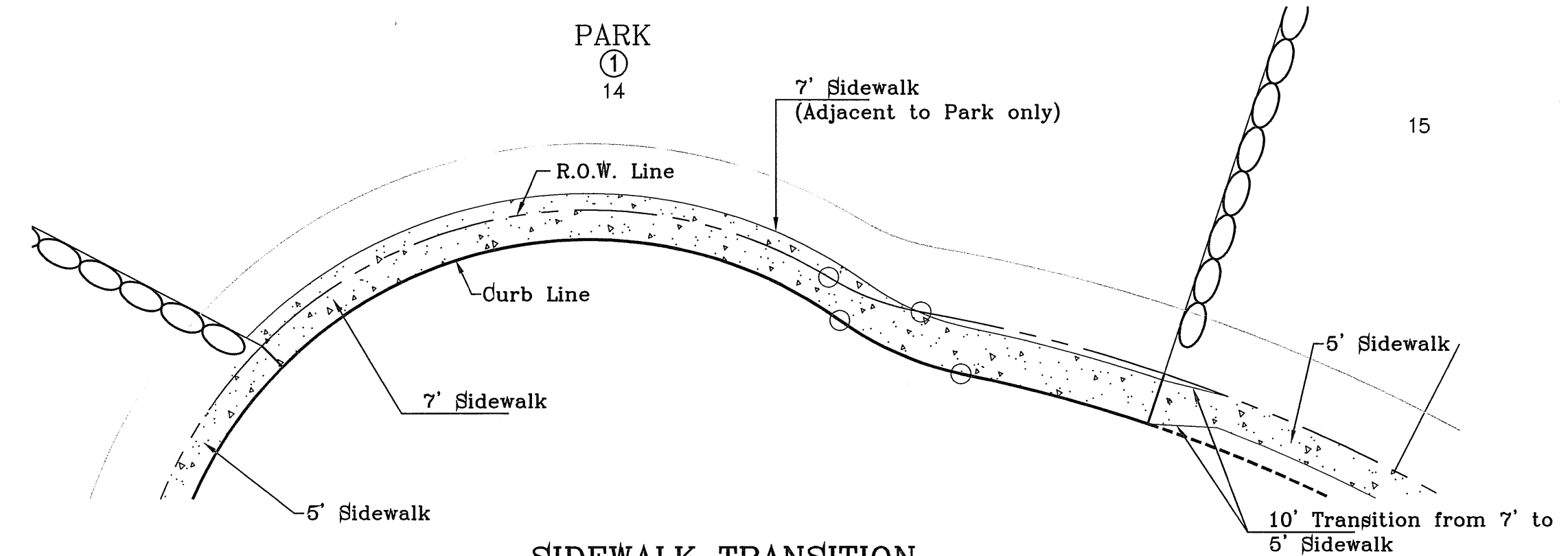
$$Q = \frac{ARC}{12} = \frac{0.92(4)(0.4)}{12} = 0.12$$

HW ELEV = 3739.85 = 0.16 ac-ft

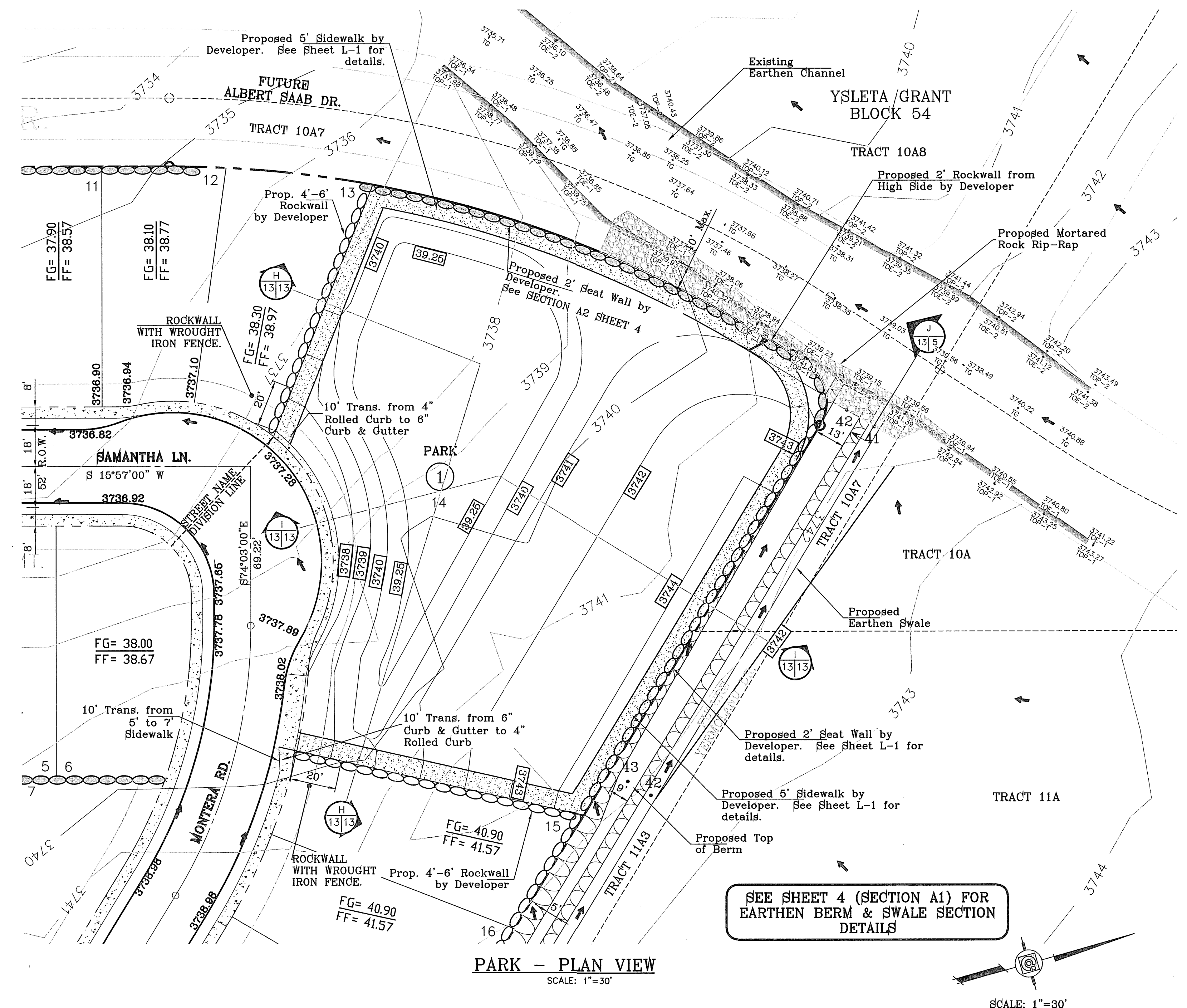
**DRAINAGE COMPUTATIONS**

Park Output			
Units=Elevation,ft.	Area,acft	Volume,acft	Cumml Avg acft
3740.00	0.20	0.20	0.20
3739.25	0.00	0.00	0.00

45' TRAPEZOIDAL EARTHEN CHANNEL  
 Qd = 352.22 cfs  
 Qc = 541.41 cfs  
 V = 5.00 fps  
 D = 1.54'  
 2' WALLS

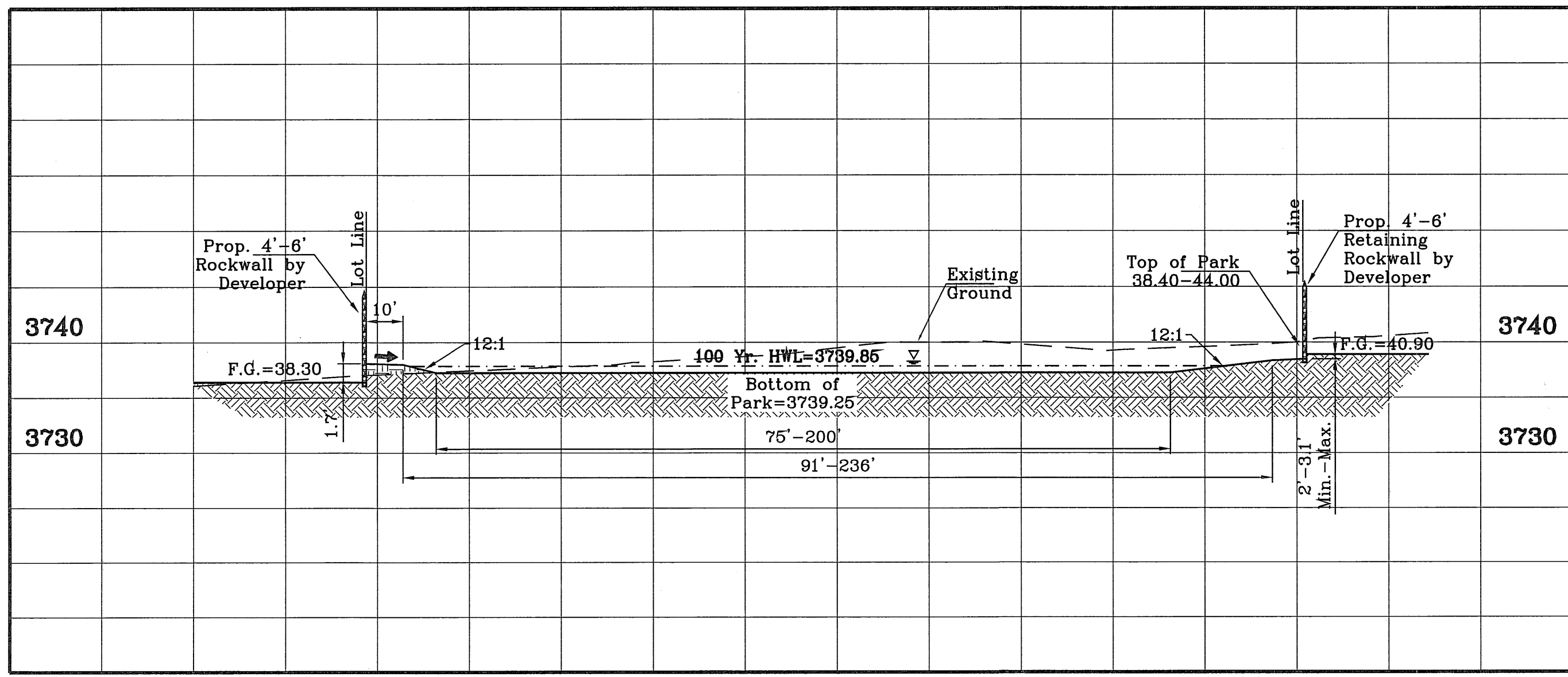


**SIDEWALK TRANSITION (ADJACENT TO PARK ONLY) PLAN VIEW**  
 SCALE: 1"=20'

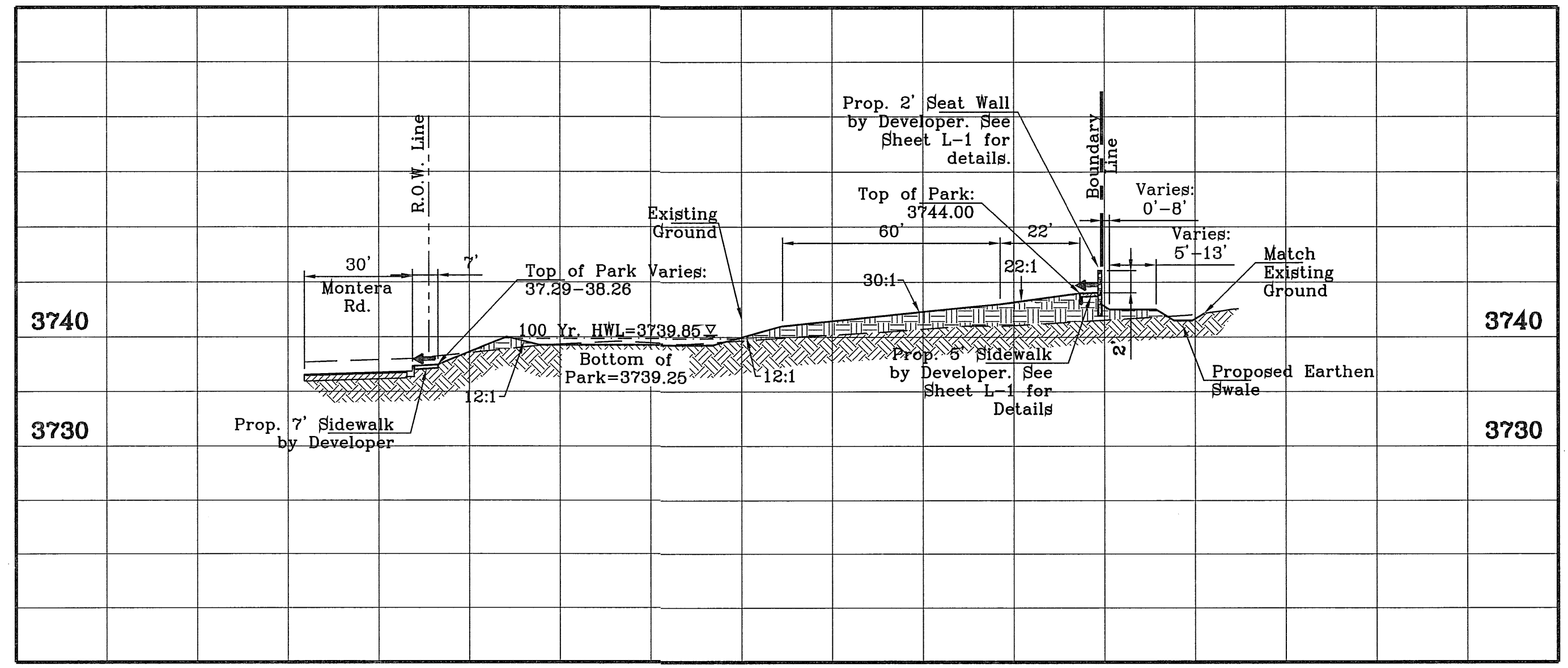


**PARK - PLAN VIEW**  
 SCALE: 1"=30'

SEE SHEET 4 (SECTION A1) FOR EARTHEN BERM & SWALE SECTION DETAILS



**SECTION H**  
 SCALE:  
 HORIZONTAL: 1"=30'  
 VERTICAL: 1"=10'



**SECTION I**  
 SCALE:  
 HORIZONTAL: 1"=30'  
 VERTICAL: 1"=10'

**CITY COMMENTS**

4-4-2012  
 3-14-2012

BENCHMARK

CITY MONUMENT AT THE CENTERLINE INTERSECTION OF KASTRIN ST. AND CASTNER DR.  
 ELEVATION 3716.40

REVISIONS

DATE	BY	COMMENTS
11/12/08		CITY REDLINES AS PER 10/28/08 COMMENTS
12/11/08		CITY REDLINES AS PER 12/02/08 COMMENTS
06/18/09		GRADES REVISED
1-10-2012		NARROWED STREETS - NEW GRADES

**PROJECT NAME**  
 GRAN VISTA ESTATES  
 UNIT ONE REPLAT "A"

**SCALE**  
 HORIZ: 1"=30'  
 VERT: 1"=10'

**DATE:** JUNE 2008  
**DESIGN BY:** YC  
**INITIATED BY:** EFG  
**CHECKED BY:** YC  
**JOB NO.:** 707-84

**ENGINEER'S SEAL**

**CONDE INC.**  
 ENGINEERING / PLANNING  
 SURVEYING / CFS  
 6080 SURETY DR. SUITE 100  
 EL PASO, TEXAS 79905  
 (915) 592-0283

**BEING A REPLAT OF GRAN VISTA ESTATES UNIT ONE, CITY OF EL PASO, EL PASO COUNTY, TEXAS, CONTAINING 15.199 ACRES**

**CITY COMMENTS**

4-4-2012  
 3-14-2012

BENCHMARK

CITY MONUMENT AT THE CENTERLINE INTERSECTION OF KASTRIN ST. AND CASTNER DR.  
 ELEVATION 3716.40

REVISIONS

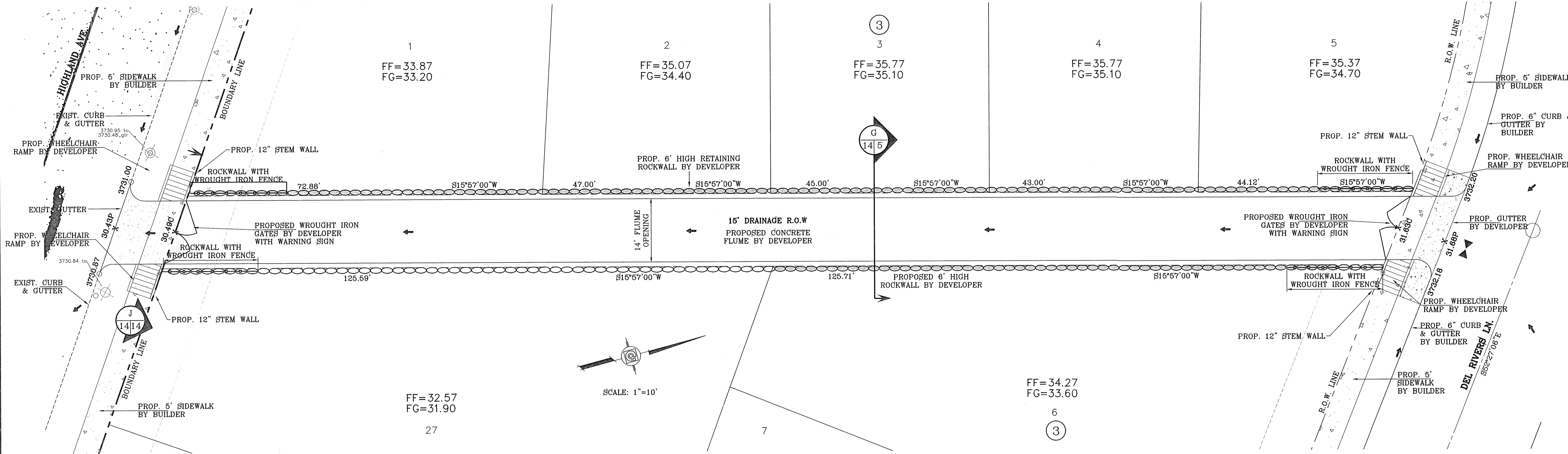
DATE	BY	COMMENTS
11/12/08		CITY REDLINES AS PER 10/28/08 COMMENTS
12/11/08		CITY REDLINES AS PER 12/02/08 COMMENTS
06/18/09		GRADES REVISED
1-10-2012		NARROWED STREETS - NEW GRADES

**CONDE INC.**  
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 SURVEYING / CFS  
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 EL PASO, TEXAS 79905  
 (915) 592-0283

**SHEET TITLE**  
 PARK SECTIONS & CALCULATIONS

**SHT 13 OF 17**

**GRAN VISTA ESTATES - UNIT ONE REPLAT "A"**



BENCHMARK  
CITY MONUMENT AT THE CENTERLINE INTERSECTION  
OF KASTRIN ST. AND CASTNER DR. CITY DATUM  
ELEVATION 3716.40

DATE	REVISIONS	BY
11/04/08	CITY REDLINES AS PER 10/28/08 COMMENTS	E.F.G.
1-10-2012	NARROWED STREETS (NEW GRADES)	R.O.
3-14-2012	CITY COMMENTS	R.O.
4-4-2012	CITY COMMENTS	R.O.

PROJECT NAME  
**GRAN VISTA ESTATES  
UNIT ONE REPLAT "A"**

BEING A REPLAT OF GRAN VISTA ESTATES UNIT ONE,  
CITY OF EL PASO, EL PASO COUNTY, TEXAS,  
CONTAINING 15.199 ACRES

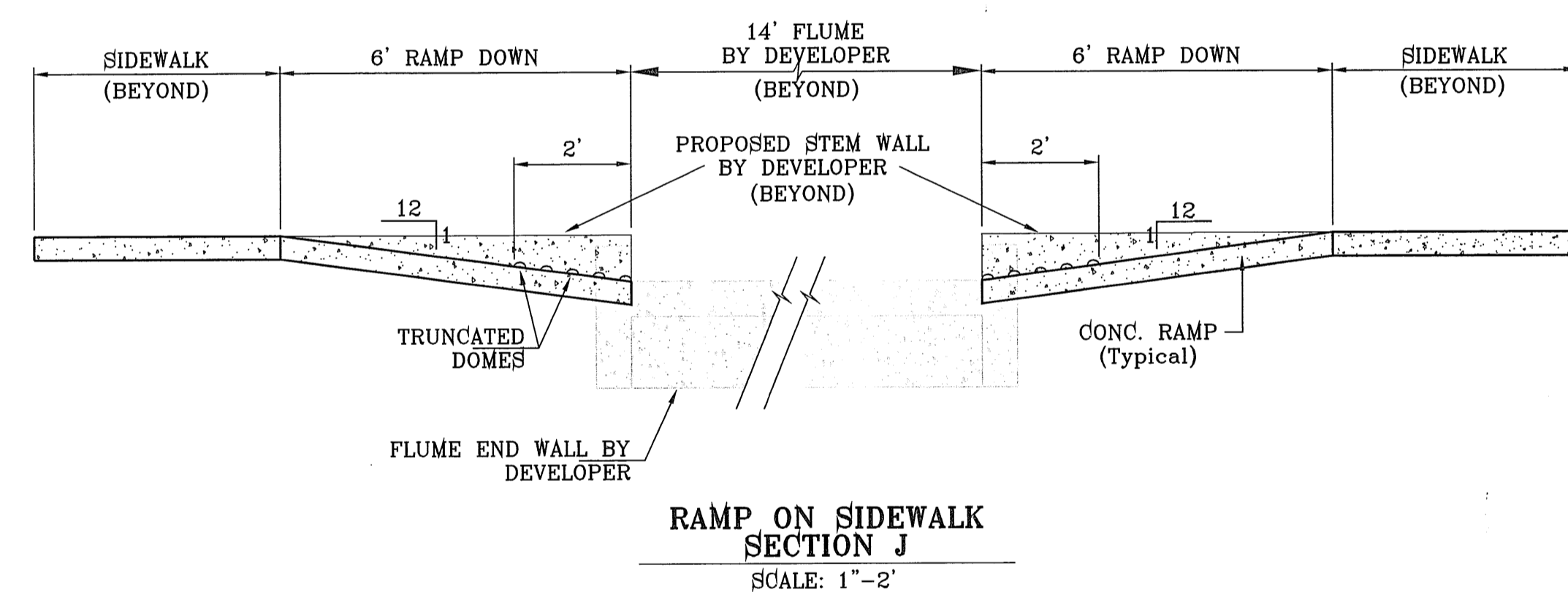
SCALE  
HORIZ: AS SHOWN  
VERT: ---

DATE: JUNE 2008  
DESIGN BY: YC  
CHECKED BY: YC  
JOB NO.: 707-84

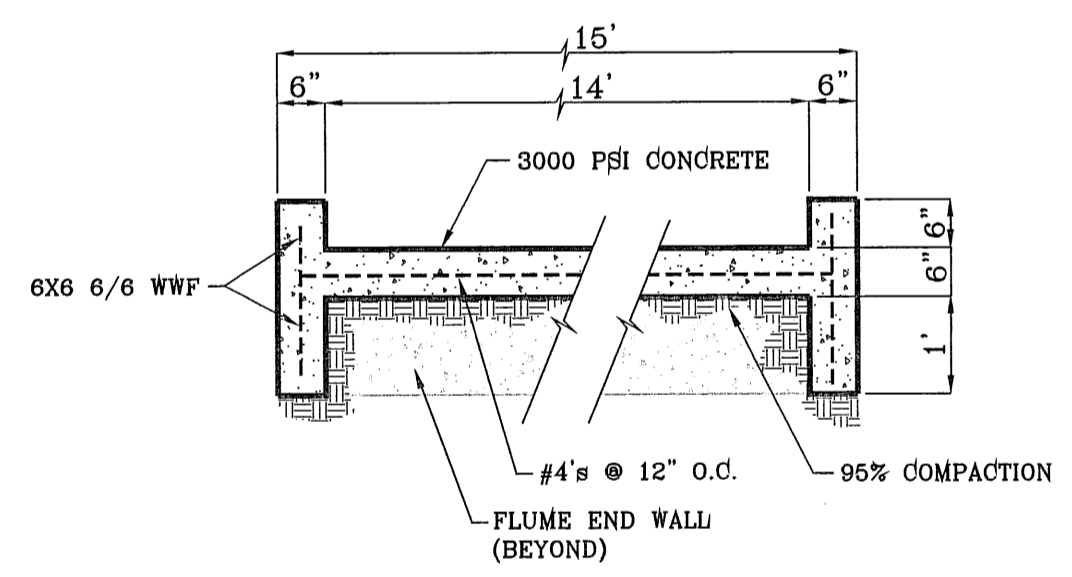
ENGINEER SEAL  
STATE OF TEXAS  
CONDE INC.  
6080 SURETY DR. SUITE 100  
EL PASO, TEXAS 79905  
(915) 592-0263

SHEET TITLE  
**FLUME DETAILS**

SHT 14 OF 17



SEE SHEET 15 FOR  
WROUGHT IRON GATE AND WROUGHT  
IRON FENCE OVER ROCKWALL DETAILS



14' WIDE FLUME  
Qd = 23.99 cfs  
Qc = 32.65 cfs  
V = 4.14 fps  
D = 0.41'  
6" FLUME WALLS

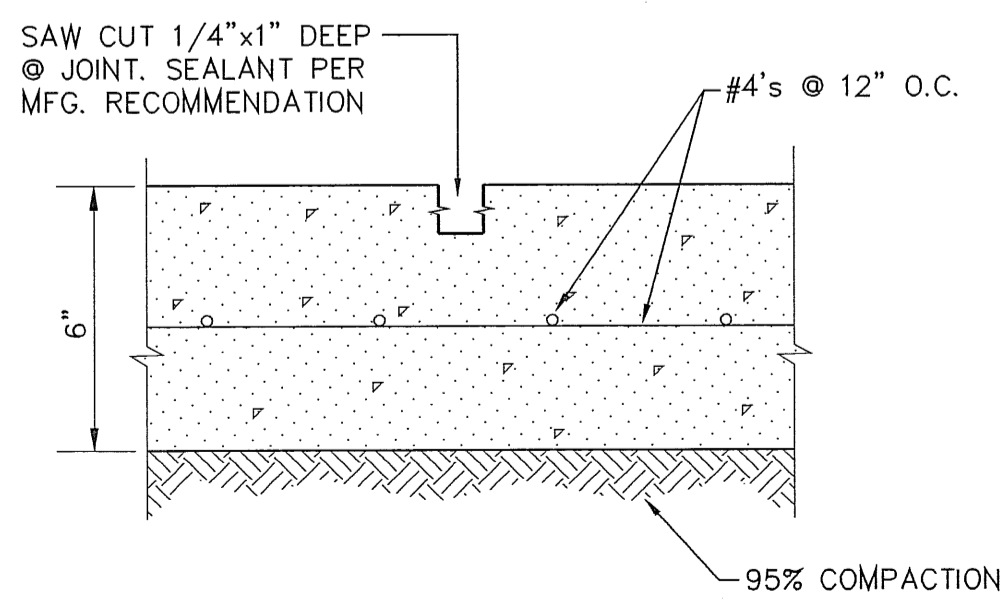
- CONSTRUCTION NOTES:**
- ALL CONCRETE FOR STRUCTURES SHALL BE 3000 PSI @ 28 DAYS UNLESS OTHERWISE NOTED.
  - MINIMUM COVER FOR REINFORCING STEEL SHALL BE 2" UNLESS OTHERWISE NOTED.
  - 95% COMPACTION REQUIRED FOR STRUCTURES AS PER ASTM D1557.
  - REINFORCING SHALL CONFORM TO THE REQUIREMENTS OF ASTM A615 GRADE 60.

TABLE

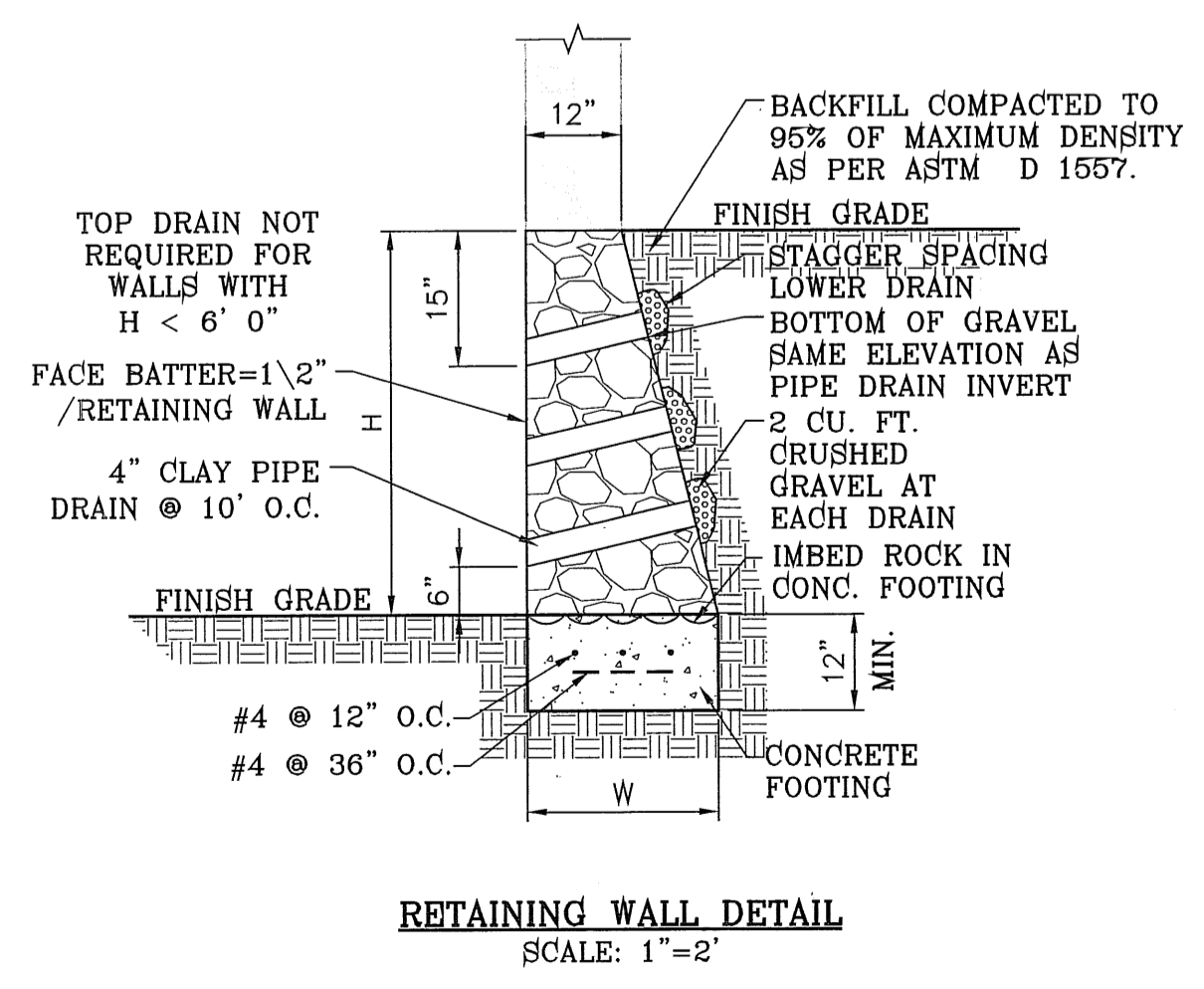
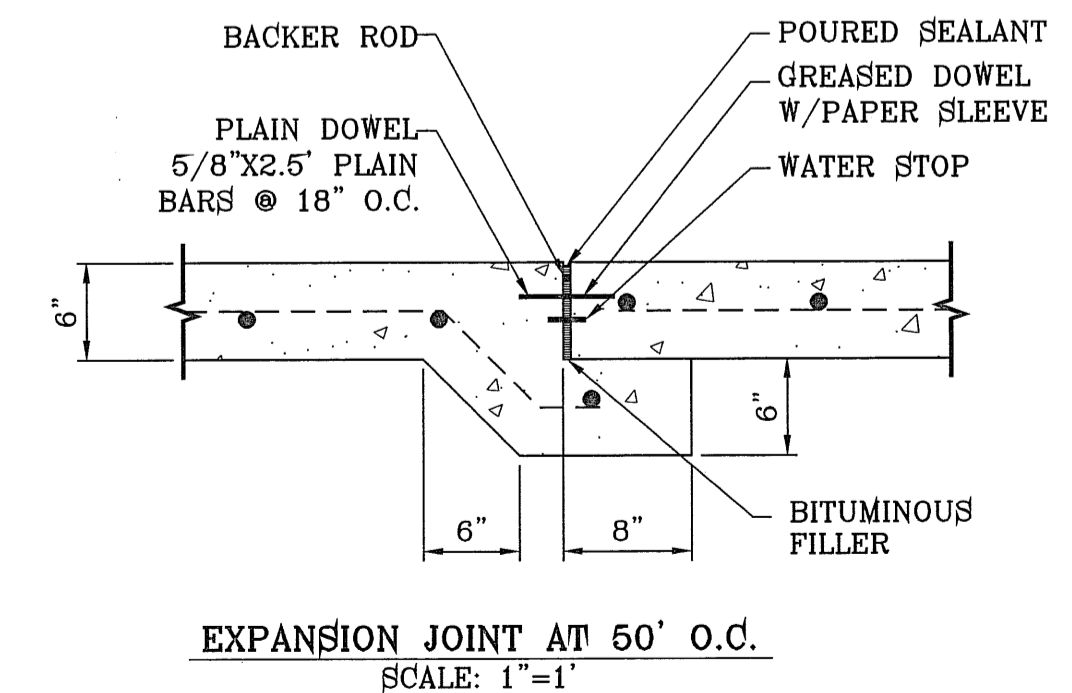
HEIGHT H (ft.)	BASE WIDTH W (ft.)	TOE PRESSURE (lbs/s.f.)	HEEL PRESSURE (lbs/s.f.)
2'-8"	1'-0"	2826	154
3'-0"	1'-2"	2038	128
4'-0"	2'-0"	1675	0
5'-0"	3'-0"	1568	228
6'-0"	3'-6"	1831	197
7'-0"	4'-3"	1821	410

- ROCKWALL NOTES:**
- STONE FOR ROCKWALLS SHALL BE AS NEARLY UNIFORM IN SECTIONS AS IS PRACTICABLE. THE STONE SHALL BE DENSE AND RESISTANT OF AIR AND WATER.
  - MORTAR MUST BE TYPE "S" 1800 P.S.I. AS PER ASTM C270.
  - MASONRY WALLS OVER SIX (6) FEET IN HEIGHT AND THOSE USED FOR EARTH RETENTION OVER TWO (2) FEET MUST BE DESIGNED AS STRUCTURAL WALLS.
  - WALLS ADJACENT TO PONDING AREAS OR DRAINAGE DITCHES MAY BE CONSTRUCTED OF BRICK, CINDER BLOCK, STONE OR CINDER BLOCK AND SHALL NOT BE LESS THAN SIX (6) FEET HIGH.
  - ROCKWALL MORTAR JOINTS MUST NOT EXCEED TWO (2) INCHES.
  - PROVIDE ONE (1) INCH EXPANSION JOINTS AT EVERY 100 FEET.
  - ALL STONE SHALL BE THOROUGHLY SOAKED BEFORE BEING PLACED.
  - NO RIVER ROCK SHALL BE ALLOWED.

CONSTRUCTION JOINTS ARE REQUIRED AT  
END OF DAYS PAVING OPERATION, OR WHERE  
PLACING OF CONCRETE IS DISCONTINUED  
A SUFFICIENT TIME FOR CONCRETE TO SET  
SPACING 10' O.C.

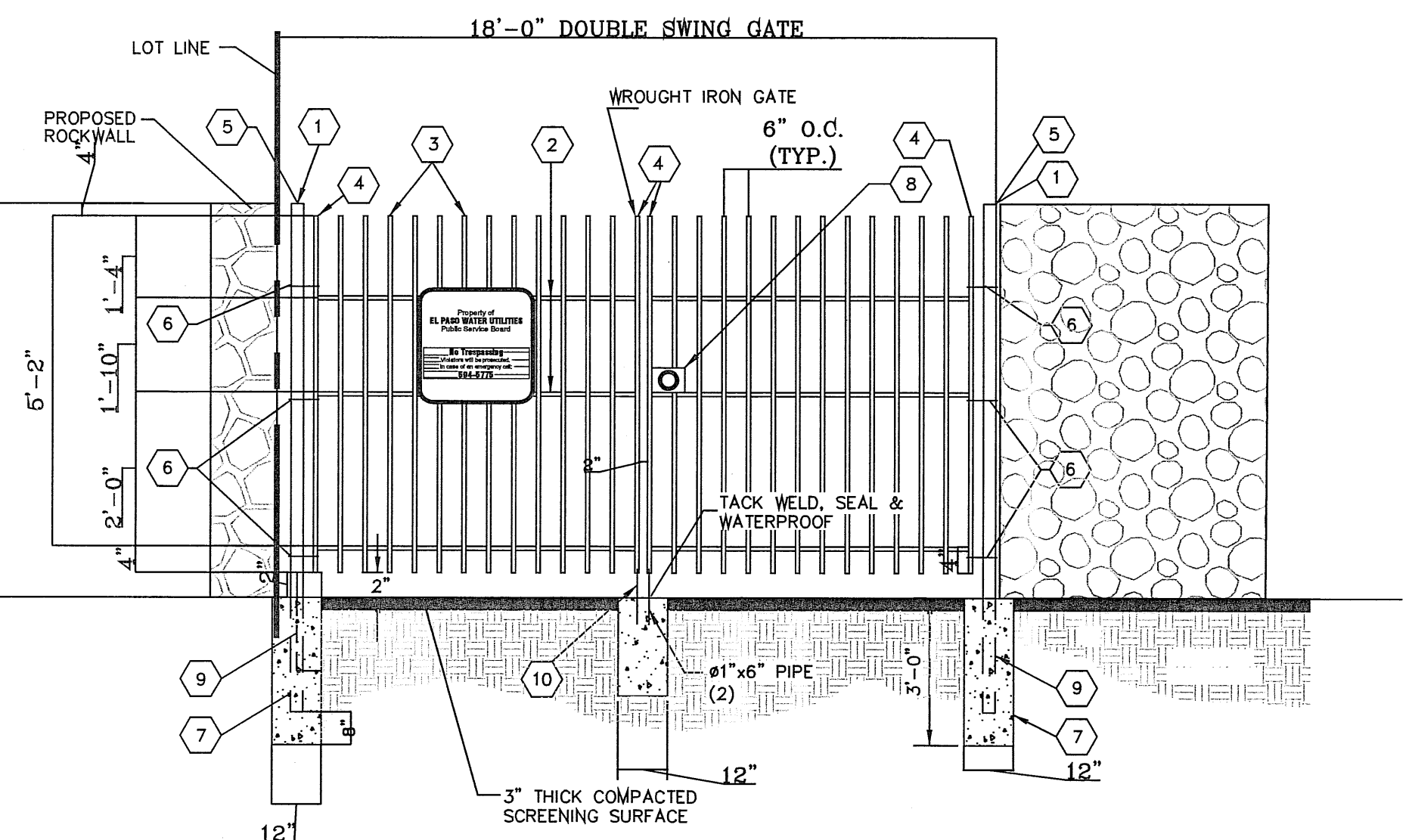
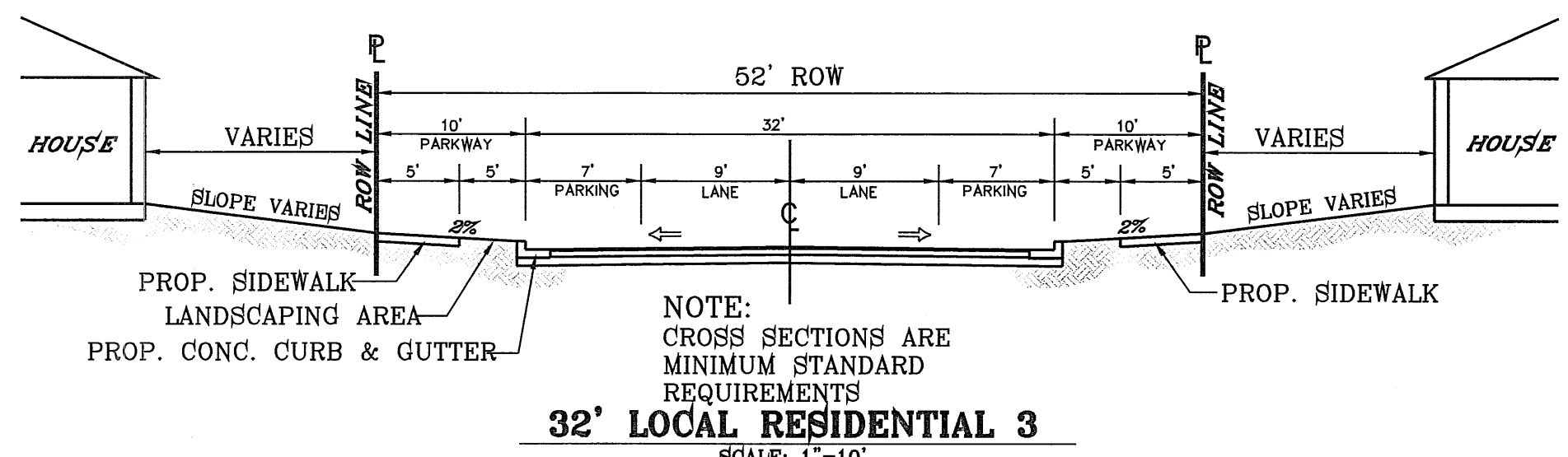


NOTE: CONTRACTION JOINTS ARE REQUIRED AT 10 O.C.



RETAINING WALL DETAIL  
SCALE: 1"=2"

C:\CIVIL\3D\Projects\GRAN VISTA\DWG\G1\_S17.dwg, STEEL, 4/5/2011, 1:53:14 PM

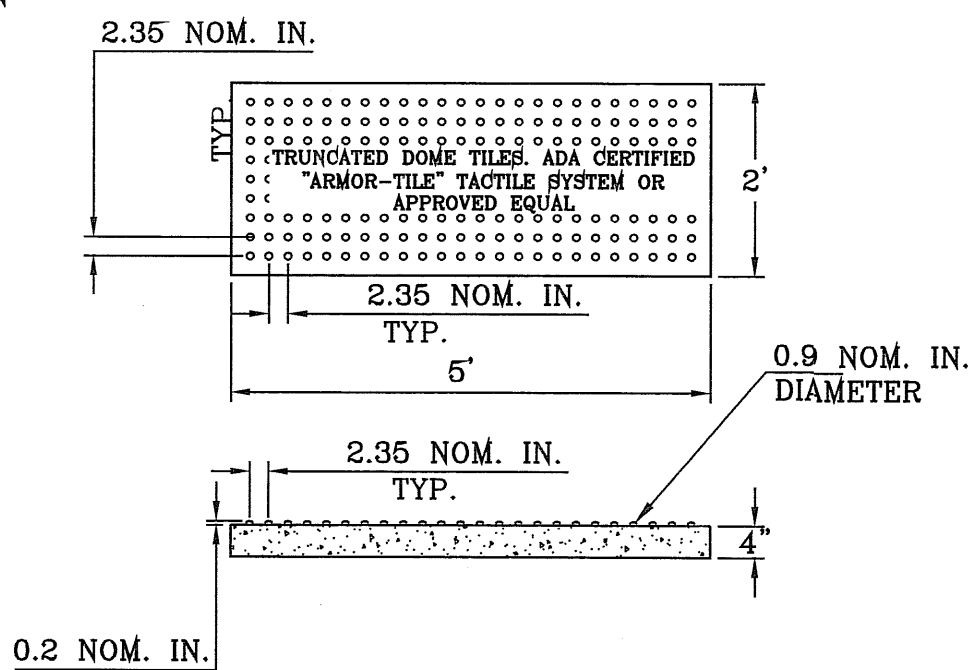


- KEY NOTES**
- 3" x 3" x 3/16" SQUARE STEEL TUBING
  - 2" x 1" x 14 GA. RECTANGULAR STEEL TUBING
  - 1 1/2" x 1/2" x 16 GA. RECTANGULAR STEEL TUBING
  - 2" x 1" x 10 GA. RECTANGULAR STEEL TUBING
  - FLAT TOP POLYVINYL CAP
  - BOLT HOOK AND STRAP HINGE
  - 1' x 3' DEEP 3000 PSI CONCRETE POST FOOTING
  - DOUBLE GATE HEAVY DUTY INDUSTRIAL LATCH W/PAD LOCK
  - 5"x5"x3/8" SQUARE STEEL SLEEVE W/7"x7"x3/8" STEEL BASE PLATE
  - CANE BOLT LATCH W/KEEPER 5-8" x 18" LONG (2 REQUIRED)



**SITE SIGN - NO TRESPASSING**  
SCALE: NTS

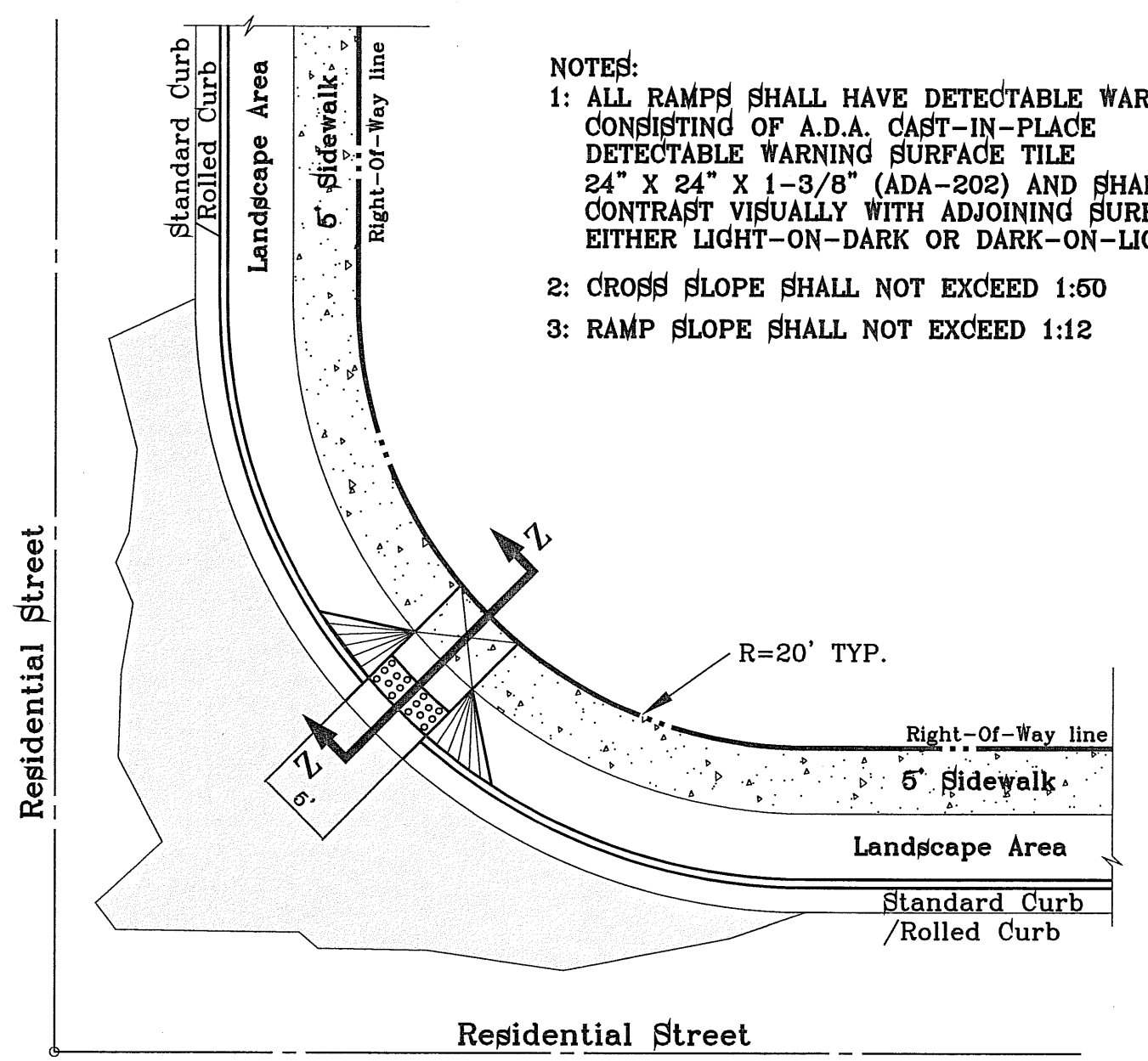
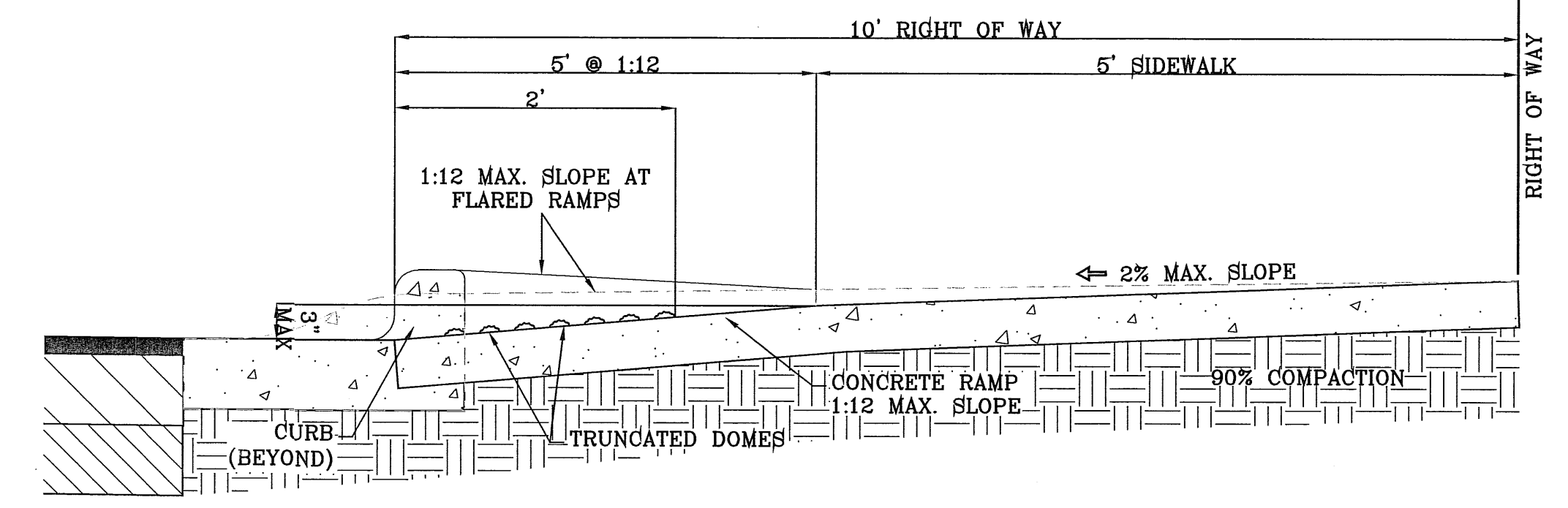
- GENERAL NOTES:**
- SIGN MATERIAL TO BE 16 GAUGE GALVANIZED SHEET METAL.
  - TOP PART OF SIGN SHALL SHOW BLACK LETTERS ON A WHITE BACKGROUND.
  - BOTTOM PART OF SIGN SHALL SHOW WHITE LETTERS ON A BLACK BACKGROUND.
  - SIGN SHALL BE SECURELY FASTENED TO FENCE IN A FASHION AS TO WITHSTAND SEVERE WEATHER AND VANDALISM.



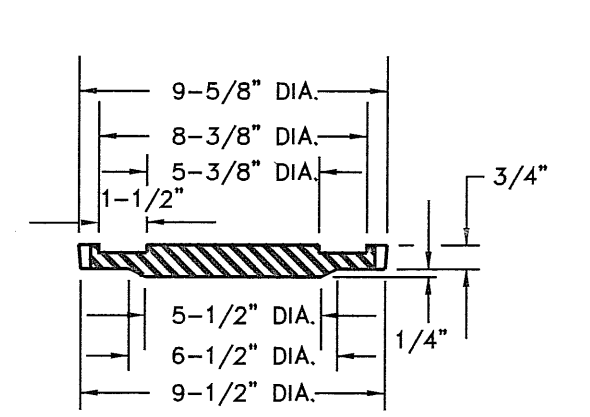
**DOME SIZE AND SPACING:**  
TRUNCATED DOMES SHALL HAVE A DIAMETER OF NOMINAL 0.90 INCHES AT THE BOTTOM, A DIAMETER OF 0.40 INCHES AT THE TOP, A HEIGHT OF NOMINAL 0.20 INCHES AND A CENTER-TO-CENTER SPACING OF NOMINAL 2.35 INCHES MEASURED ALONG ONE SIDE OF A SQUARE ARRANGEMENT.

**DOME ALIGNMENT:**  
DOMES SHALL BE ALIGNED ON A SQUARE GRID IN THE PREDOMINANT DIRECTION OF TRAVEL TO PERMIT WHEELS TO ROLL BETWEEN DOMES. DETECTABLE WARNING SURFACE SHALL EXTEND 24 INCHES MINIMUM IN THE DIRECTION OF TRAVEL AND THE FULL WIDTH OF THE CURB RAMP, LANDING, OR BLENDED TRANSITION.

**CONTRAST:**  
THERE SHALL BE A MINIMUM OF 70 PERCENT CONTRAST IN LIGHT REFLECTANCE BETWEEN THE DETECTABLE WARNING AND AN ADJOINING SURFACE. OR THE DETECTABLE WARNING SHALL BE "RED BRICK" COLOR, UNLESS OTHERWISE DIRECTED BY THE OWNER. THE MATERIAL USED TO PROVIDE VISUAL CONTRAST SHALL BE AN INTEGRAL PART OF THE DETECTABLE WARNING SURFACE. CONTRAST SHALL BE PROVIDED BY PLACING AND MIXING TINT IN THE PLASTIC CONCRETE USED FOR THE DETECTABLE WARNING SURFACE. NO PAINTING OF SURFACE SHALL BE PERMITTED.



- NOTES:**
- ALL RAMPS SHALL HAVE DETECTABLE WARNINGS CONSISTING OF A.D.A. CAST-IN-PLACE DETECTABLE WARNING SURFACE TILE 24" X 24" X 1-3/8" (ADA-202) AND SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES, EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT.
  - CROSS SLOPE SHALL NOT EXCEED 1:50
  - RAMP SLOPE SHALL NOT EXCEED 1:12

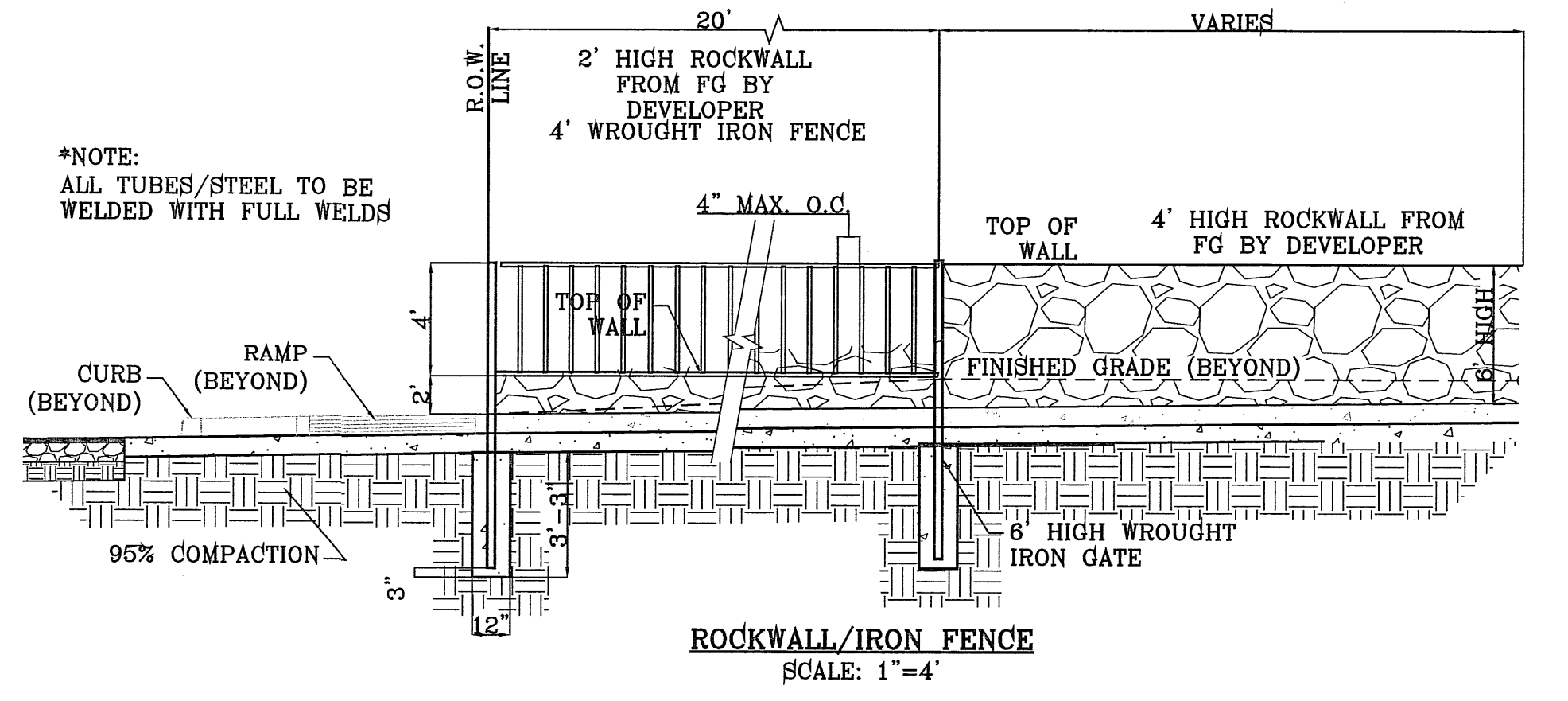
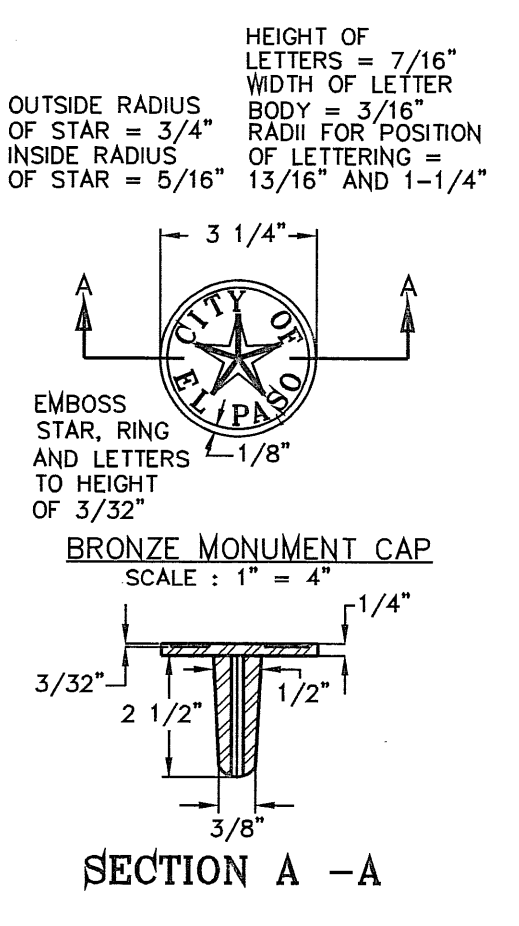
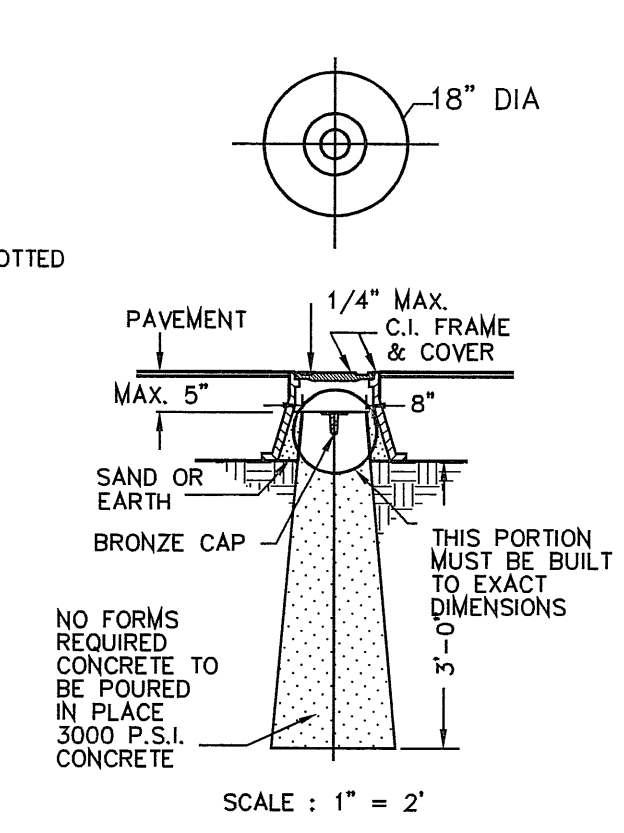
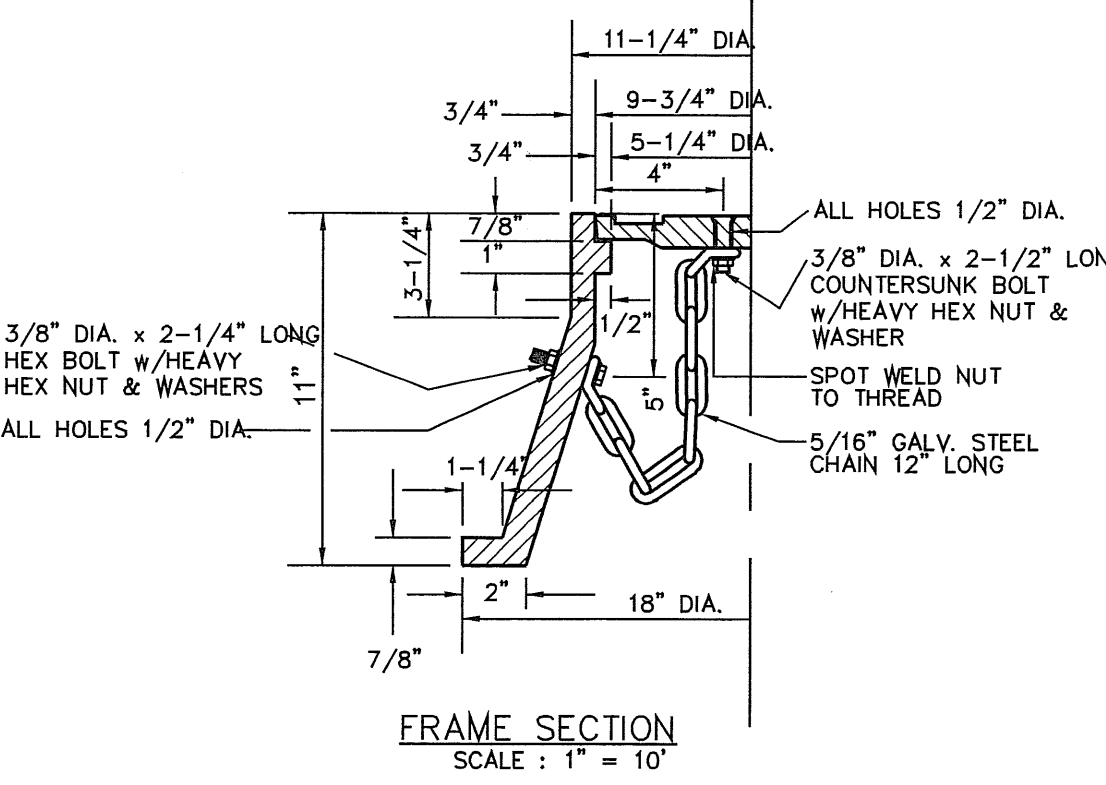
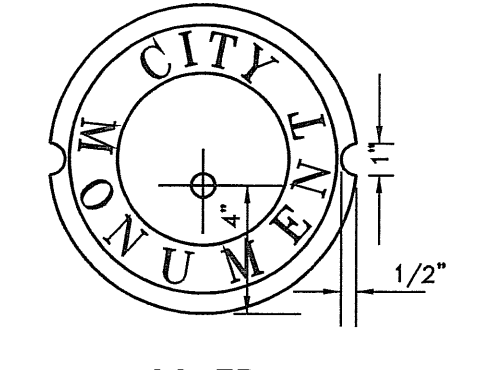


**SIZE AND CONSTRUCTION:**  
THE STANDARD CITY MONUMENT SHALL BE POURED-IN-PLACE CONCRETE CONE. EIGHT (8) INCHES MINIMUM DIAMETER AT THE TOP, EIGHTEEN (18) INCHES MINIMUM DIAMETER AT THE BOTTOM, THIRTY-SIX (36) INCHES MINIMUM IN DEPTH WITH THE MONUMENT CAP IN PLACE ON TOP.  
THE MONUMENT SHALL BE COVERED WITH A CAST IRON BOX AND COVER.

**NUMBER AND LOCATIONS:**  
THE MONUMENTS SHALL BE INSTALLED WHERE SHOWN ON THE SUBDIVISION PLAT AS APPROVED BY THE CITY ENGINEER.

ANY MONUMENT MUST BE WITHIN THE LINE OF SIGHT OF ANY OTHER MONUMENT (2000 FEET MAXIMUM DISTANCE BETWEEN MONUMENTS). THE SIZE, TOPOGRAPHY AND LAYOUT OF THE SUBDIVISION SHALL GOVERN THE NUMBER OF MONUMENTS REQUIRED.

NO FEWER THAN TWO MONUMENTS SHALL BE PLACED IN A ONE STREET SUB-DIVISION.  
AT LEAST ONE (1) MONUMENT SHALL BE PLACED ON EACH HORIZONTAL CURVE. TWO SHALL BE PLACED IF THE POINT OF INTERSECTION (P.I.) OF THE TANGENTS LEADING INTO THE CURVE FALLS OUTSIDE OF CITY RIGHT-OF-WAY. MONUMENTS SHALL BE INSTALLED SO THAT ALL FRONT PROPERTY CORNERS OF ALL LOTS IN THE SUBDIVISION ARE WITHIN LINE OF SIGHT OF A MONUMENT, OR WITHIN SIGHT OF LINE BETWEEN TWO ADJACENT MONUMENTS.



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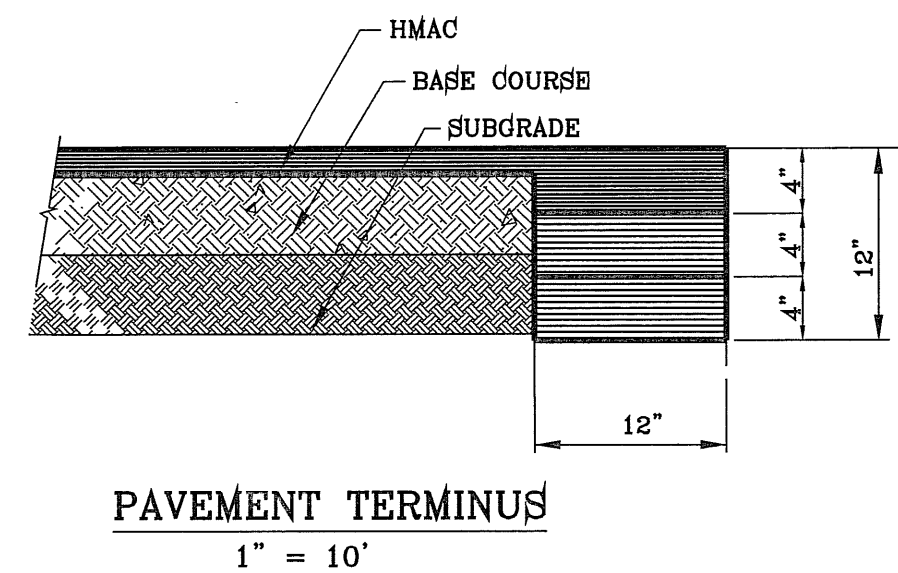
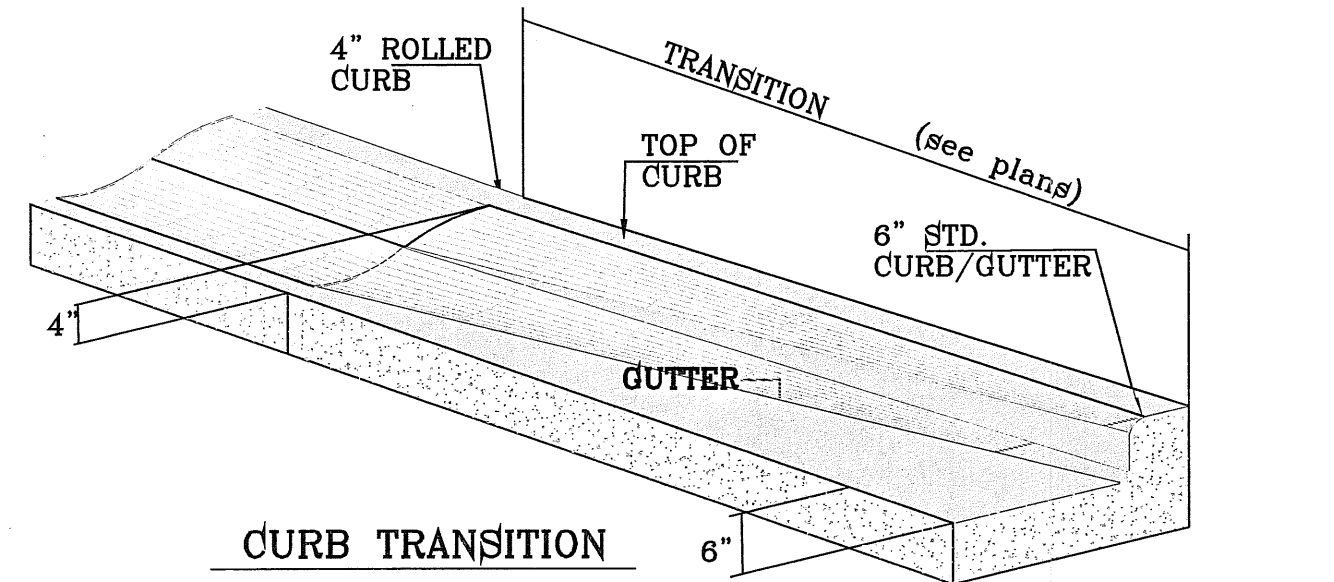
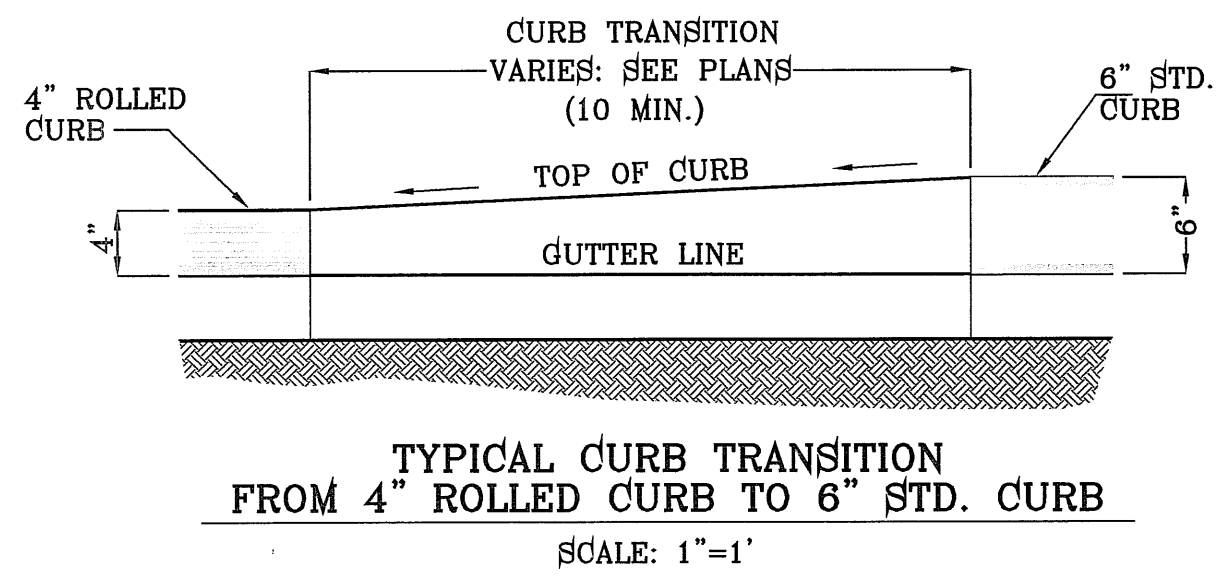
**GRAN VISTA ESTATES**  
**UNIT ONE REPLAT "A"**

**BEING A REPLAT OF GRAN VISTA ESTATES UNIT ONE,**  
CITY OF EL PASO, EL PASO COUNTY, TEXAS,  
CONTAINING 15.199 ACRES

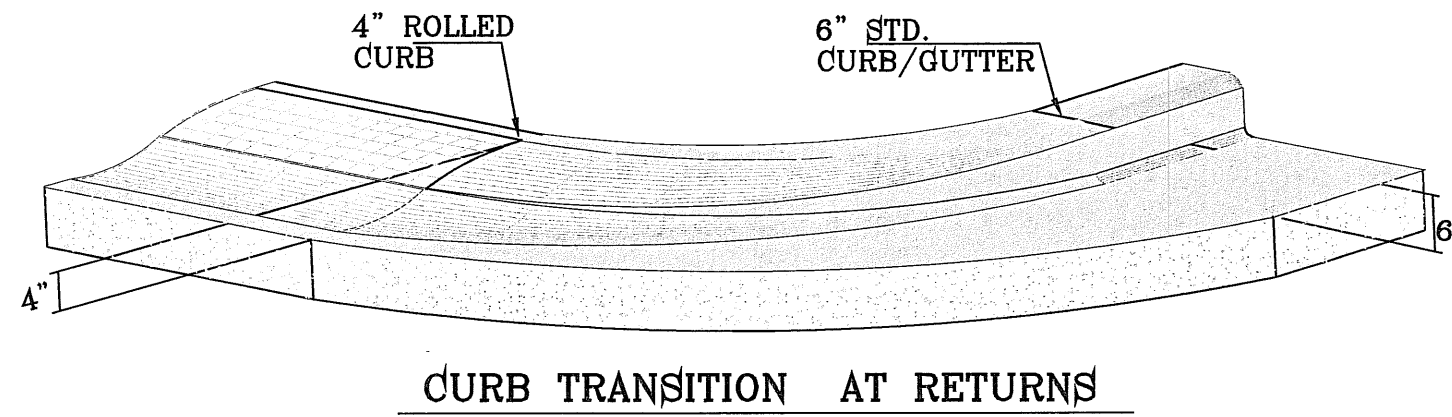
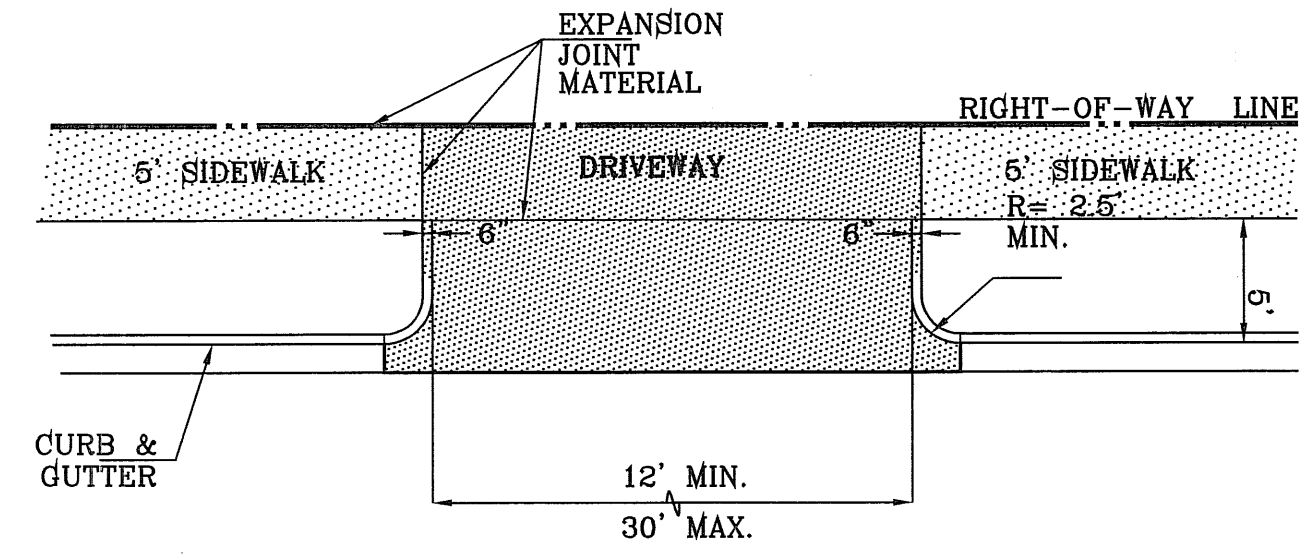
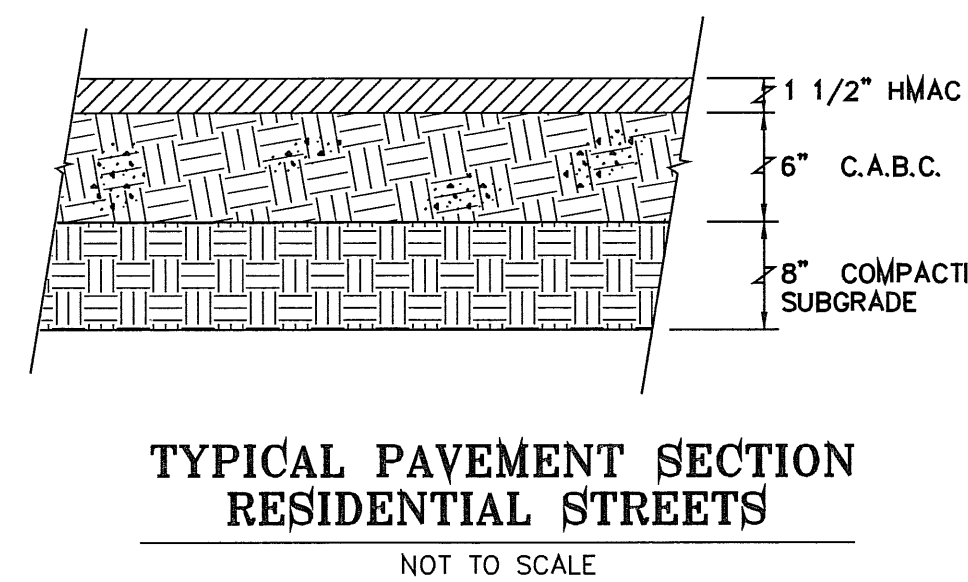
**SHT 15 OF 17**

**GRAN VISTA ESTATES - UNIT ONE REPLAT "A"**





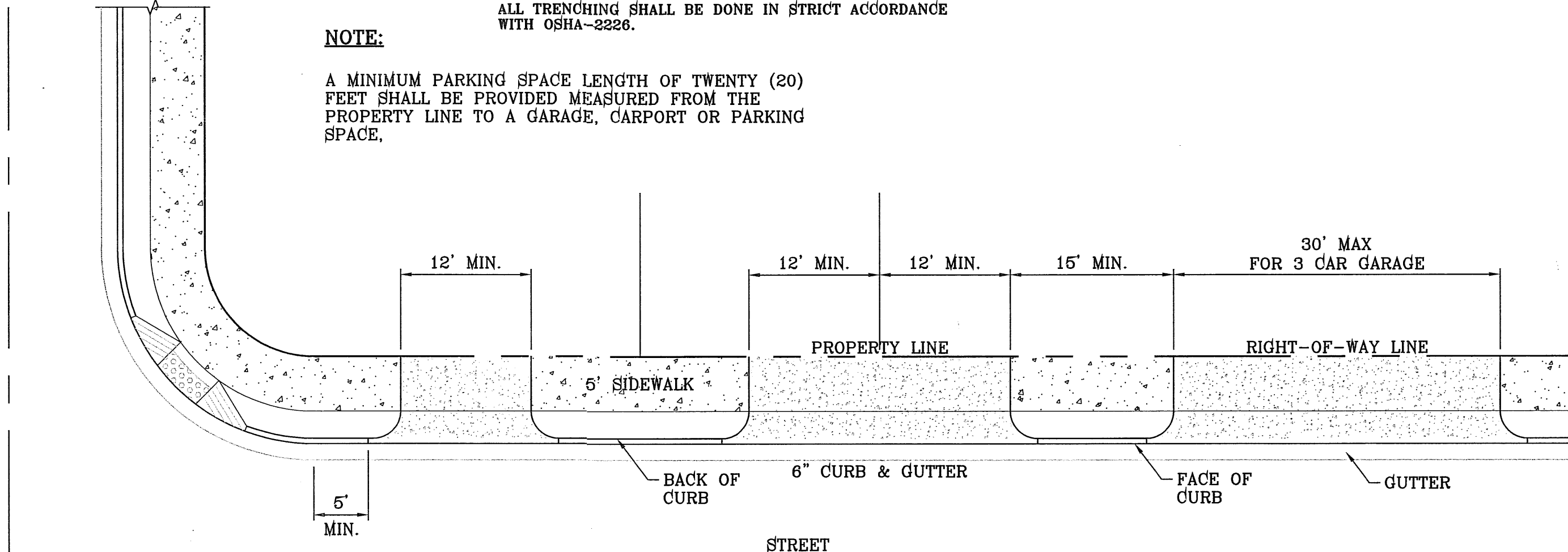
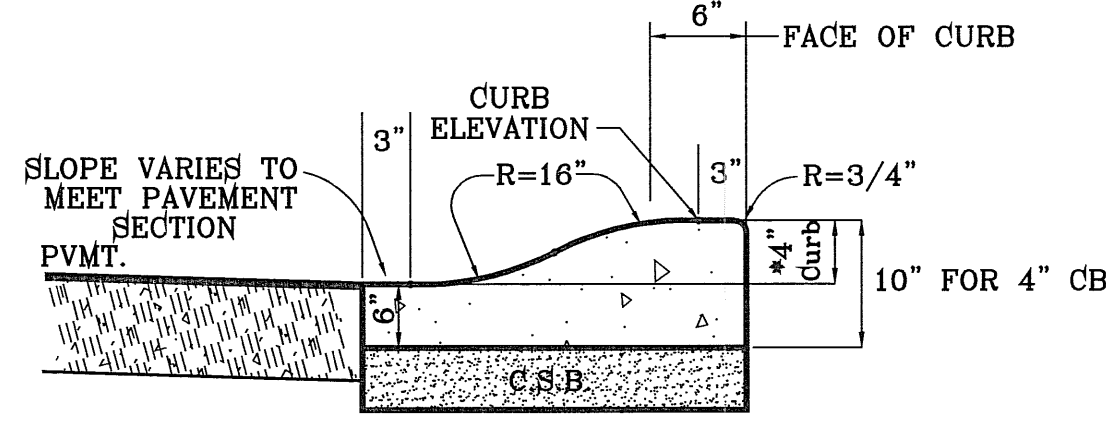
- PAVEMENT NOTES**
- SUBGRADE TO BE COMPACTED TO 95% OF MAXIMUM DENSITY AS PER ASTM D1557.
  - BASE TO BE COMPACTED TO NOT LESS THAN 100% DENSITY IN ACCORDANCE WITH ASTM D1557. TYPE A, GRADE 1 OR 2.
  - BITUMINOUS MATERIAL SHALL CONFORM TO AC-10 OR AC-20, TYPE "C", GRADE III, IN ACCORDANCE WITH ASTM D3318.
  - PRIME COAT TO BE 0.25 GAL. PER SQUARE YARD (MINIMUM COVERAGE) MC-70.
  - COMPACTION TESTS WHERE REQUIRED BY THE CITY ENGINEER MUST BE PAID FOR BY THE DEVELOPER.
  - C.B.R. TESTS WILL BE REQUIRED AT 500 FOOT INTERVALS AFTER SUBGRADE IS PLACED AND/OR A MINIMUM OF TWO TESTS IF STREET IS LESS THAN 500 FEET.
  - STRICT VERTICAL CONTROL OF ALL CURB AND GUTTER ELEVATIONS WILL BE MAINTAINED. BLUE TOPPING WILL BE REQUIRED THROUGHOUT.
  - ALL PLANS MUST BE IN ACCORDANCE WITH THE LATEST EDITION OF THE CITY OF EL PASO SUBDIVISION DESIGN AND IMPROVEMENT STANDARDS.
  - HMAC, BASE, SUB BASE WILL BE IN ACCORDANCE WITH THE LATEST CITY OF EL PASO SPECIFICATIONS.
  - MINIMUM PAVEMENT DESIGN DETAILS ARE SHOWN. ACTUAL PAVEMENT DESIGN WILL BE DETERMINED BY: C.B.R.



**NOTE:**  
THICKENED EDGE SHALL BE CONSTRUCTED IN COURSED NOT OVER 4" IN THICKNESS, EACH COURSE THOROUGHLY COMPACTED BEFORE PLACING NEXT COURSE. FINAL COURSE TO BE PLACED MONOLITHIC WITH PAVEMENT.

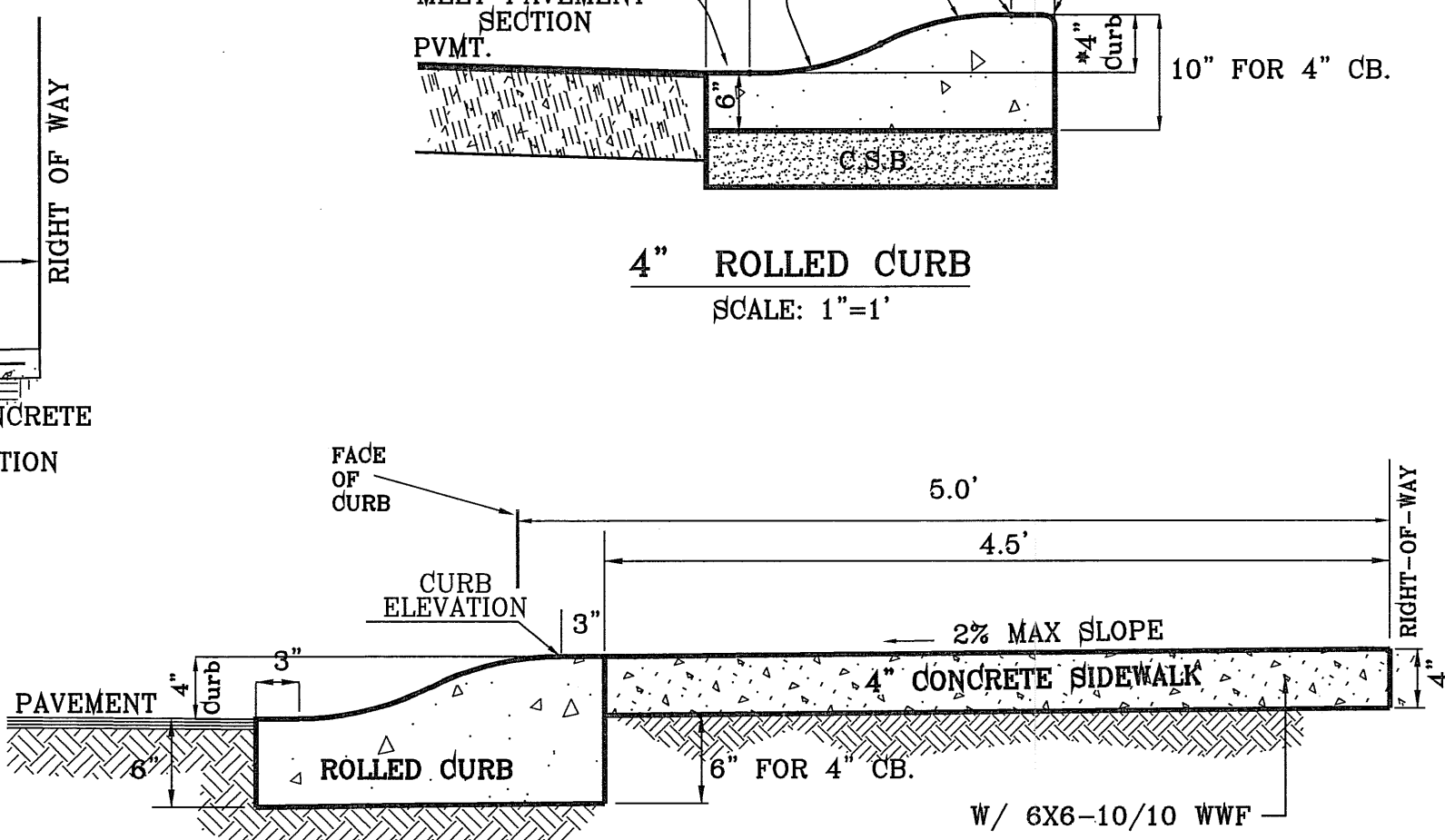
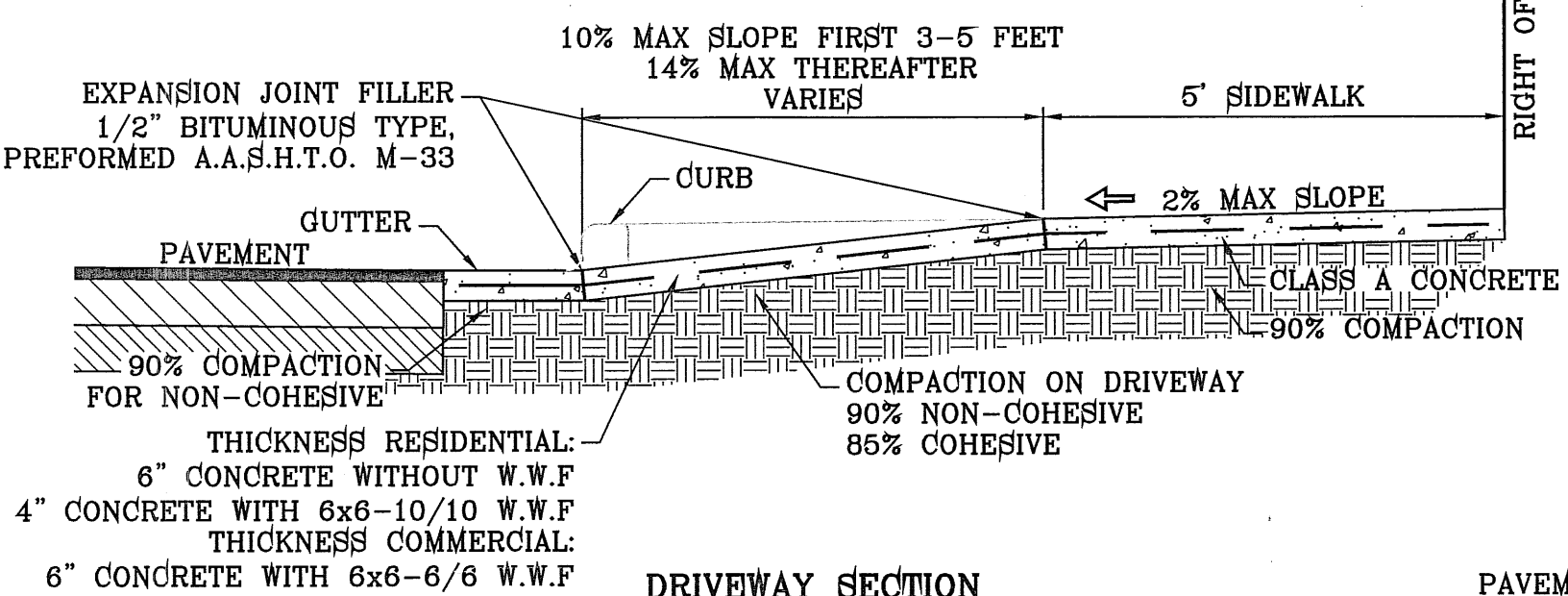
**TRENCHING:**  
ALL TRENCHING SHALL BE DONE IN STRICT ACCORDANCE WITH OSHA-2226.

**DRIVEWAY PLAN VIEW**  
AS PER CITY DESIGN STANDARD 6-8, 6-9  
SCALE: 1"=10'



**NOTE:**  
A MINIMUM PARKING SPACE LENGTH OF TWENTY (20) FEET SHALL BE PROVIDED MEASURED FROM THE PROPERTY LINE TO A GARAGE, CARPORT OR PARKING SPACE.

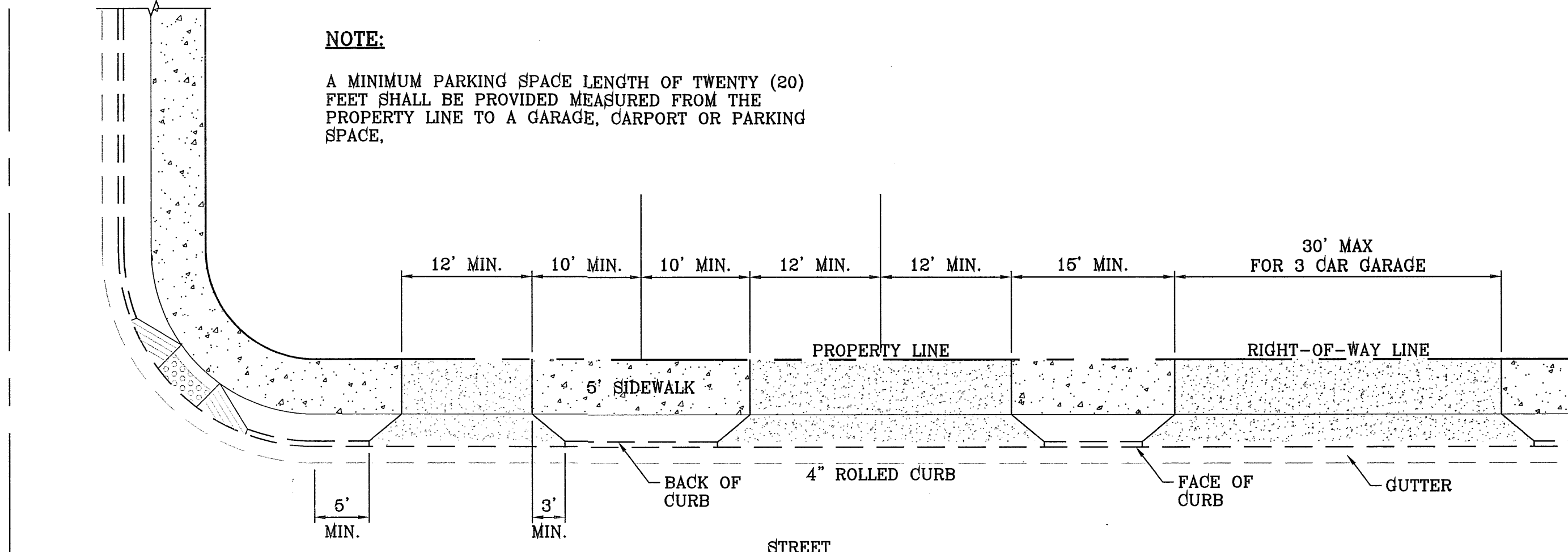
**TYPICAL RESIDENTIAL DRIVEWAY WITH CURB & GUTTER**  
SCALE: 1"=10'



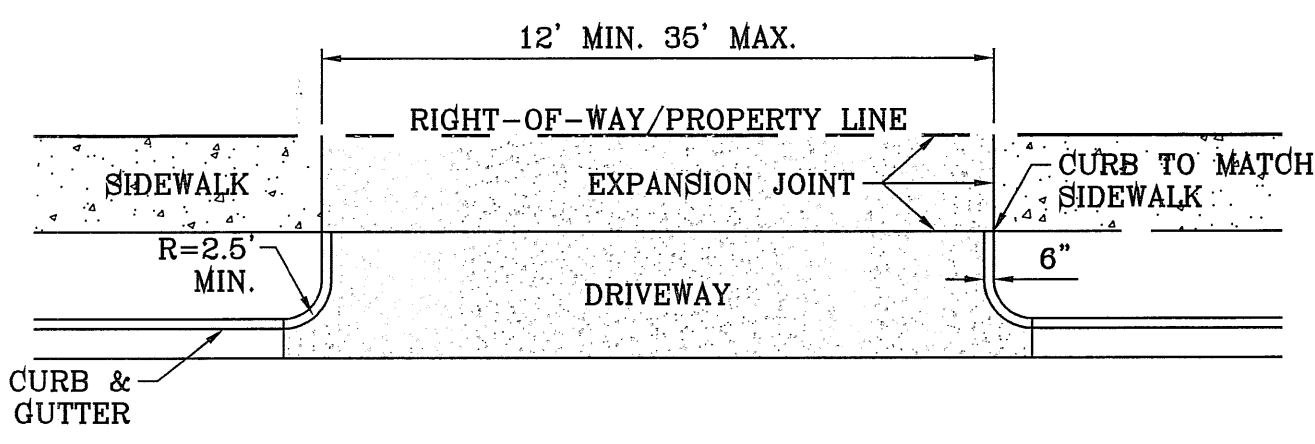
**DRIVEWAY DETAIL**  
SCALE: 1"=2'

**TYPICAL ROLLED CURB DETAIL AT CUL-DE-SACS**  
SCALE: 1"=1'

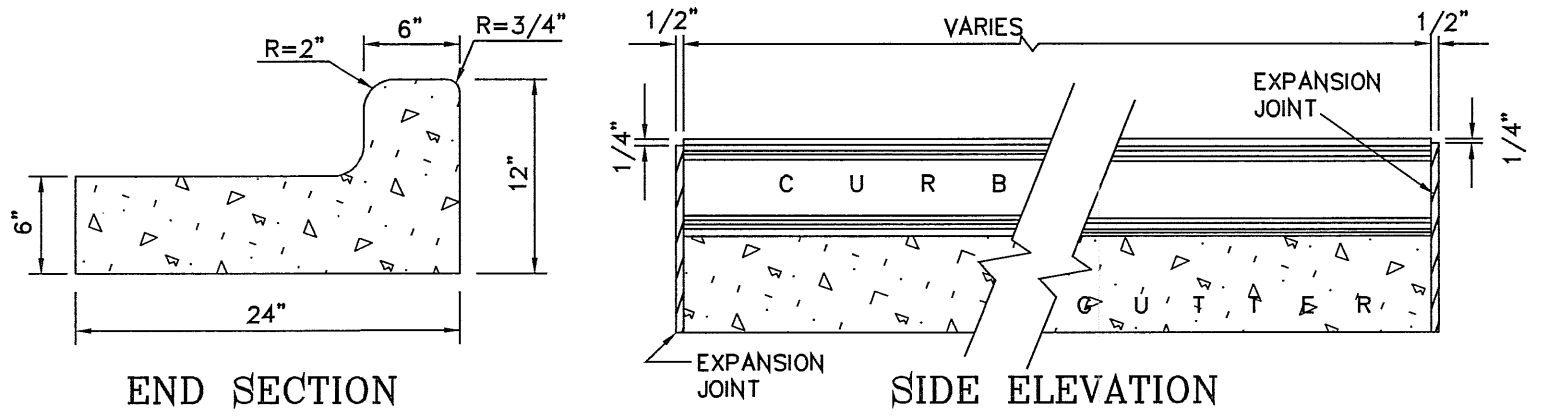
**NOTE:**  
A MINIMUM PARKING SPACE LENGTH OF TWENTY (20) FEET SHALL BE PROVIDED MEASURED FROM THE PROPERTY LINE TO A GARAGE, CARPORT OR PARKING SPACE.



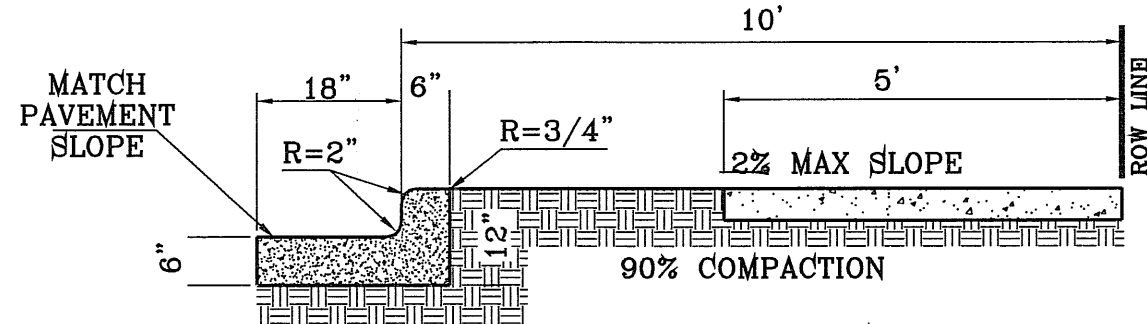
**TYPICAL RESIDENTIAL DRIVEWAY WITH ROLLED CURB**  
SCALE: 1"=10'



**DRIVEWAY DETAIL**  
SCALE: 1"=10'



**CURB DETAILS**  
SCALE: 1"=1'



**TYPICAL CURB AND SIDEWALK DETAIL**  
AS PER CITY DESIGN STANDARD 6-1  
SCALE: 1"=6'

- NOTES:**
- CONCRETE SHALL BE 3000 P.S.I. MINIMUM @ 28 DAYS.
  - DUMMY JOINTS REQUIRED AT 10' O.C. FOR CURB/GUTTER AND 5' O.C. FOR SIDEWALK.
  - EXPANSION MATERIAL REQUIRED AT CURB RETURNS WITH 1/2" PREMOLDED ASPHALT IMPREGNATED EXPANSION MATERIAL OR EQUAL.
  - EXPANSION JOINTS REQUIRED AT 50' O.C. WHEN FORMING FOR HEADER CURBS.
  - EXPANSION JOINTS REQUIRED FOR SIDEWALK AT 20' O.C.
  - WHENEVER SIDEWALK ABUTS ROCK OR MASONRY STRUCTURES SUCH AS CURBS OR BUILDINGS, EXPANSION JOINT FILLER SHALL BE USED IN ACCORDANCE WITH STANDARD SPECIFICATIONS.
  - \*FOR CUL-DE-SAC ONLY.

BENCHMARK	CITY MONUMENT AT THE CENTERLINE INTERSECTION OF KASTRIN ST. AND CASTNER DR.	ELEVATION	3716.40	CITY DATUM
DATE	11/04/08	REVISIONS		
BY		CITY REDLINES AS PER	10/28/08	COMMENTS
		CITY COMMENTS		

**PROJECT NAME**  
GRAN VISTA ESTATES  
UNIT ONE REPLAT "A"

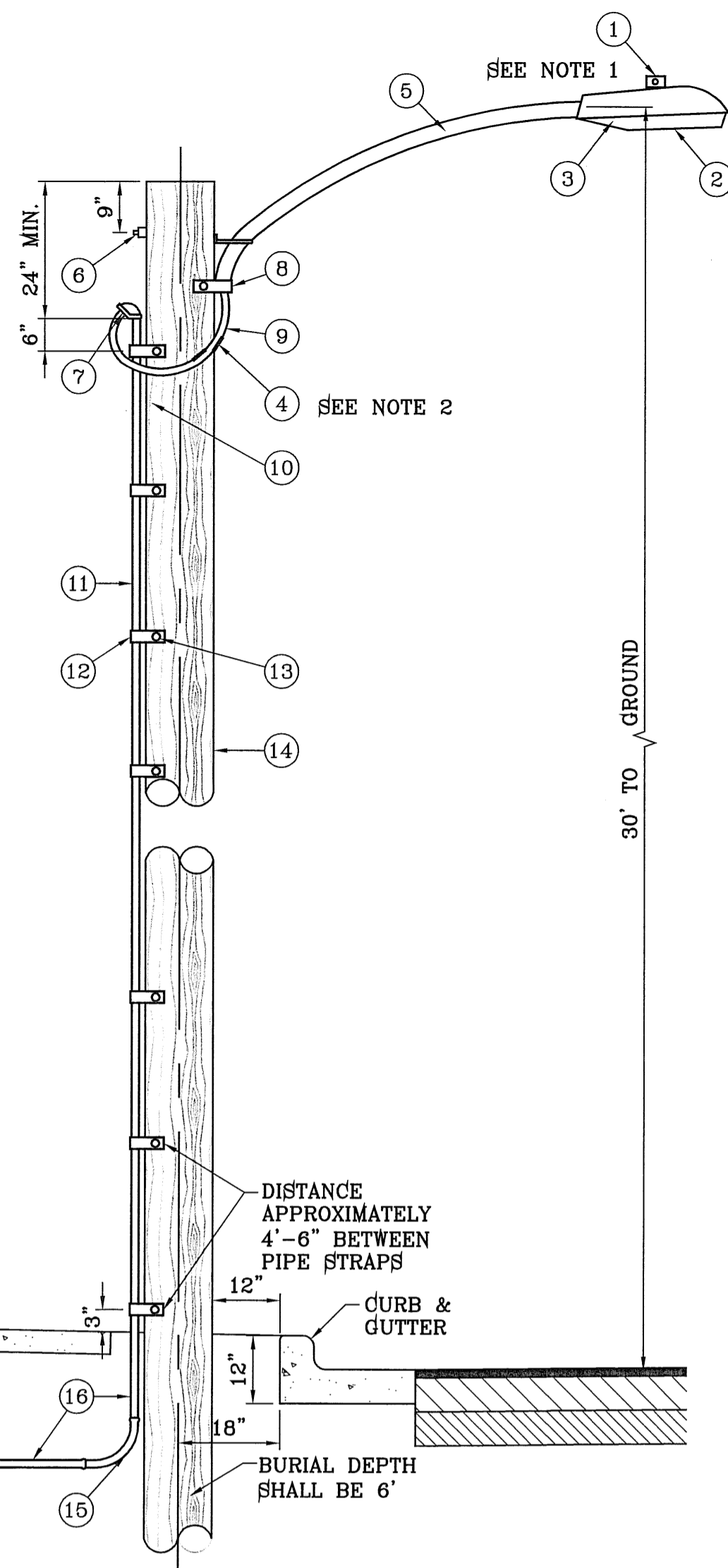
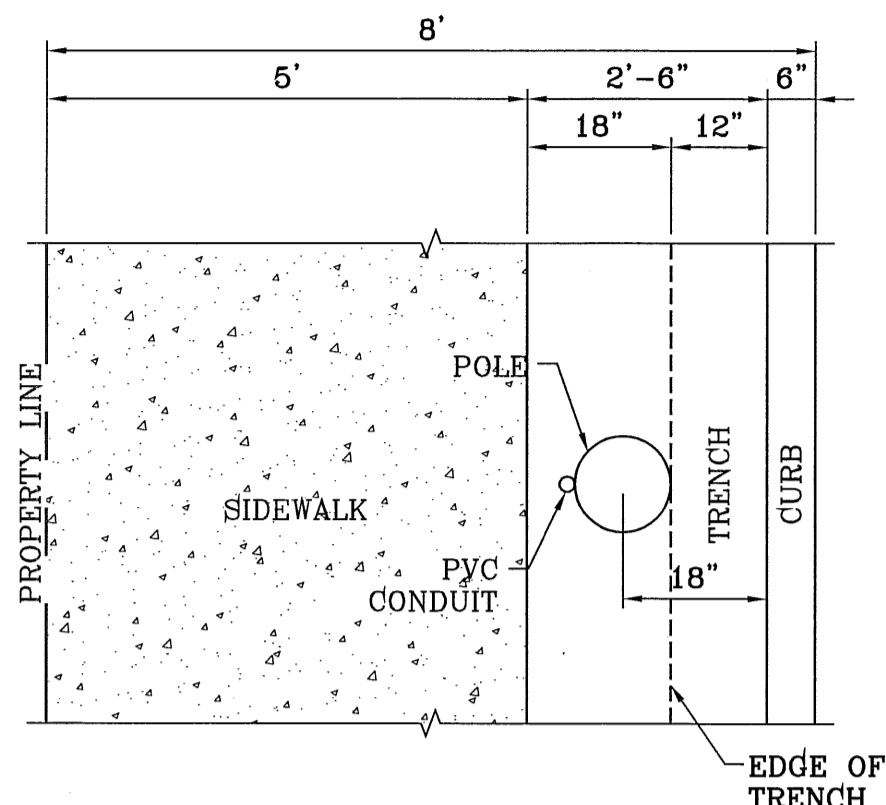
BEING A REPLAT OF GRAN VISTA ESTATES UNIT ONE, CITY OF EL PASO, EL PASO COUNTY, TEXAS, CONTAINING 15.199 ACRES.

ENGINEER'S SEAL	NOT REQUIRED
SCALF	AS SHOWN
HORIZ.	AS SHOWN
VERT.	AS SHOWN
DATE	JUNE 2008
DESIGN BY	YC
INITIATED BY	YC
CHECKED BY	YC
JOB NO.	707-84

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**SHEET TITLE**  
STANDARD  
DETAILS



**UNDERGROUND RESIDENTIAL STREET LIGHT WOOD POLE**  
E.P.E.C. STD. DSU 805  
SCALE: 1"=2'

**NOTE:** PROVIDE METAL POLES FOR PARK PERIMETER LIGHTING

**NOTE:** STREET LIGHTING TO BE IN ACCORDANCE WITH EL PASO DESIGN STANDARDS, SECTION VIII

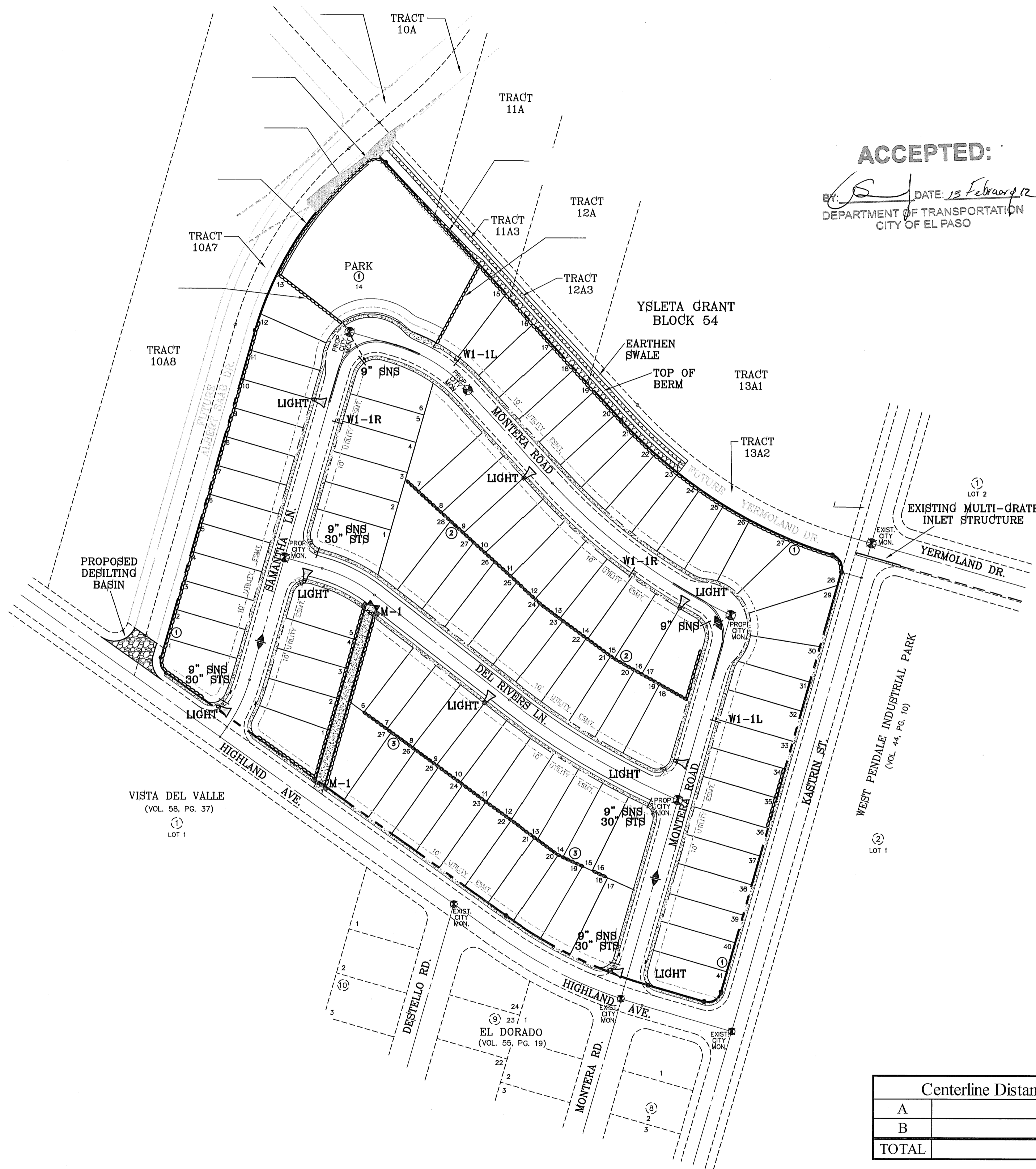
**NOTE:** INSTALL TRAFFIC CONTROL DEVICES AS SHOWN AND IN ACCORDANCE WITH CITY OF EL PASO DESIGN STANDARDS, SECTION VII

**LEGEND**

- ▲ PROPOSED LIGHT
- ☆ EXISTING LIGHT
- STOP SIGN WITH STREET NAME

- 1 MOUNT SO THAT PHOTO CELL IS FACING NORTH.
- 2 ITEM #9 SHALL NOT BE SPLICED INSIDE ITEM #5.
- 3 INSTALLATION MUST COMPLY WITH LOCAL CODE REQUIREMENTS.
- 4 FOR ANY CLARIFICATION, EXCEPTIONS OR QUESTIONS REGARDING THIS STANDARD, CALL THE EL PASO ELECTRIC COMPANY DISTRIBUTION DESIGN DEPARTMENT.

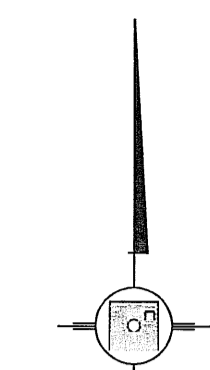
ITEM No.	DESCRIPTION	STOCK DSU No.	QTY.	C/U CODE	MACRO CODE
1	PHOTOCELL, 240 V-SEE NOTE 1	21-225	1		LCOBRAUG
2	HPS LAMP 100 W	21-085	1		
3	LUMINAIRE, 100 W HPS	21-335	1	LCOBRAHD	
4	SLEEVES, #12-10	05-140	2		
5	MAST ARM, 6" x 1 1/4"	21-200	1	LBRKT1*6	
6	MACHINE BOLT, 5/8" x 12"	02-470	1	LMB5/812	
	SQUARE DALY. WASHER, 2 1/4"x2 1/4"	02-780	1		
	COIL SPRING WASHER, 5/8"	02-788	1		
	LOCK NUT, 5/8"	02-706	1		
7	SERVICE ENTRANCE CAP FOR 1" PVC CONDUIT	17-281	1	LSVCCAP1	
8	LAG BOLT, 1/2" x 3"	02-343	2	LLAG12*3	
9	CABLE #10, 2 CONDUCTOR, 600V, UF	13-600	8'	L2C#10S	
10	COPPER CBL, #12, 19 SOLID, 600V BLUE	13-702	60'	LC#12CU	
11	SCHEDULE 80 1" PVC CONDUIT	17-280	30'	LSCH801	
12	PIPE STRAP FOR 1" PVC CONDUIT 2 HOLE	17-283	7	LPVCSTRP	
13	NAIL, STAINLESS STEEL SCREW 2.5"	14-427	.25#	LNAL14*2	
14	POLE, 35' CLASS 4	09-035	1	L354UG	
15	1" PVC 90 DEGREE ELBOW	17-297	1	LEL901	
16	1" PVC CONDUIT	17-299	AS REQ'D	LPVC1	
17	1" PVC 45 DEGREE ELBOW	17-298	1	LEL451	
18	1" PVC COUPLING	17-296	1	LCPLG1	



**ACCEPTED:**

DATE: 12 February 12  
DEPARTMENT OF TRANSPORTATION  
CITY OF EL PASO

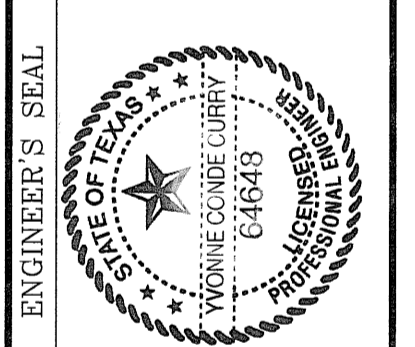
SCALE: 1"=100'



BENCHMARK	
CITY MONUMENT AT THE CENTERLINE INTERSECTION OF KASTRIN ST. AND CASTNER DR.	ELEVATION 3716.40
DATE	REVISIONS
11/04/08	CITY REDLINES AS PER 10/28/08 COMMENTS E.F.G.
12/12/08	CITY REDLINES AS PER 12/02/08 COMMENTS E.F.G.
1-10-2012	NARROWED STREETS (NEW GRADES) R.O.

**GRAN VISTA ESTATES UNIT ONE REPLAT "A"**  
BEING A REPLAT OF GRAN VISTA ESTATES UNIT ONE, CITY OF EL PASO, EL PASO COUNTY, TEXAS, CONTAINING 16.198 ACRES

SCALE  
HORIZ. 1"=100'  
VERT. ---  
DATE: JUNE 2008  
DESIGN BY: YC  
INITIATED BY: EFG  
CHECKED BY: YC  
JOB NO.: 707-84



**CONDE INC.**  
ENGINEERING / PLANNING  
SURVEYING / GPS  
6080 SURETY DR. SUITE 100  
EL PASO, TEXAS 79905  
(915) 692-0283



SHEET TITLE

**ILLUMINATION AND TRAFFIC CONTROL PLAN**

Centerline Distances	
A	1815.00
B	668.37
<b>TOTAL</b>	<b>2483.37</b>

Street Lights Required		
2483.37	Divided by	300
		8

Street Lights Provided	
8	

**GENERAL NOTES**

- \* CONTRACTOR SHALL BE FAMILIAR WITH PLANS, DETAILS AND SPECIFICATIONS AS THEY PERTAIN TO THE SITE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNER'S REPRESENTATIVE/LANDSCAPE DESIGNER AND PARKS DEPARTMENT IF ANY ITEMS CONTAINED WITHIN THE SCOPE OF WORK DEFINED HEREIN, ARE IN CONFLICT WITH PROPOSED CONTRACT.
- \* EXISTING UTILITY LINES ARE TO BE BLUE STAKED PRIOR TO EXCAVATION. CHECK AND FIELD VERIFY ALL SITE CONDITIONS, UTILITIES AND SERVICES PRIOR TO EXCAVATION. CALL FOR BLUE STAKING, 1-800-DIG-TESS.
- \* CONTRACTOR SHALL COORDINATE ALL WORK WITH OTHER CONTRACTORS.
- \* CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO COMMENCING WORK, I.E. BUILDING PERMIT, GRADING, SWP3, IRRIGATION, ETC.

**PLANTING NOTES**

- GENERAL**
- \* SCOPE: WORK COVERED IN THESE NOTES CONSISTS OF THE PLANTING OF SOD, TREES, SHRUBS, GRADING AND MULCHING, INCLUDING THE FURNISHING OF ALL LABOR, EQUIPMENT, MATERIALS AND PERFORMING ALL WORK IN CONNECTION WITH THE DRAWINGS AND SPECIFICATIONS.

**PROTECTION**

- \* PROTECTION OF PERSONS AND PROPERTY: CONTRACTOR IS TO BARRICADE OPEN EXCAVATIONS OCCURRING AS PART OF THIS WORK AND POST WITH WARNING LIGHTS OR OTHER WARNING MEASURES AS NECESSARY. PROTECTION OF EXISTING SHRUBS, TREES AND OTHER PLANT MATERIALS IS ALSO TO BE INCLUDED.
- \* PROTECT STRUCTURES, UTILITIES, SIDEWALKS, PAVEMENTS AND OTHER FACILITIES FROM DAMAGE CAUSED BY SETTLEMENT, LATERAL MOVEMENT, UNDERMINING, WASHOUT AND OTHER HAZARDS CREATED BY EARTHWORK OPERATIONS. ALL DAMAGES THAT MAY OCCUR DURING THIS PHASE OF WORK SHALL BE THE CONTRACTOR'S FINANCIAL RESPONSIBILITY.

**GRADING**

- \* PERFORM GRADING AND EXCAVATION WORK IN COMPLIANCE WITH APPLICABLE SPECIFICATIONS, REQUIREMENTS, CODES AND ORDINANCES OF ALL GOVERNING BODIES HAVING JURISDICTION.
- \* ROUGH GRADING: ROUGH GRADING SHALL BE PERFORMED TO SPECIFICATIONS BY GENERAL CONTRACTOR. GRADES TO BE +/- 2".
- \* FINE GRADING: SURFACE SHALL BE RAKED FREE OF STONES (1/2" AND ABOVE) AND EXTRANEOUS MATERIALS AND DEBRIS TO A SMOOTH AND EVEN TEXTURE. ALL EXTRANEOUS MATTER WILL BE DISPOSED OF BY CONTRACTOR.

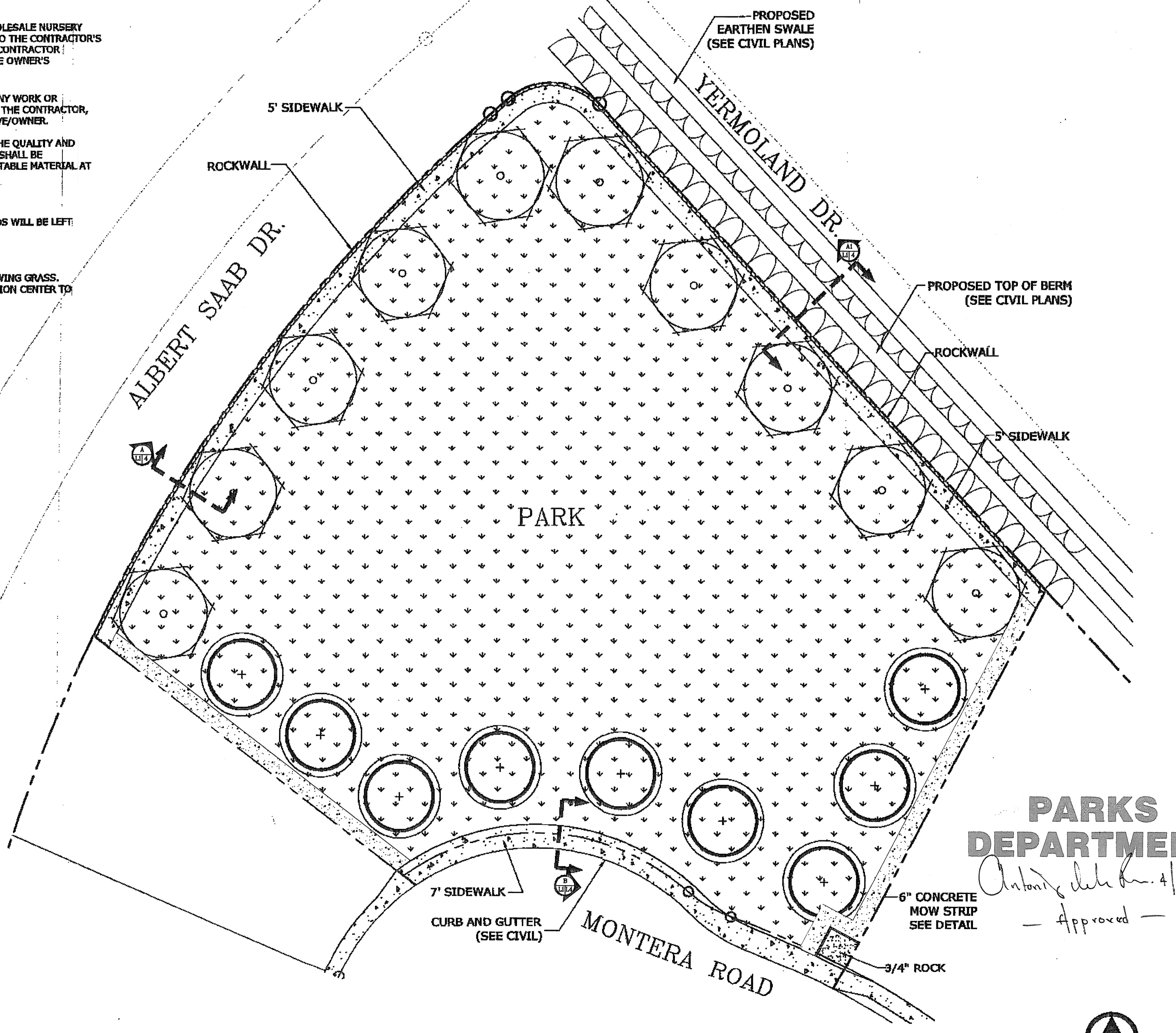
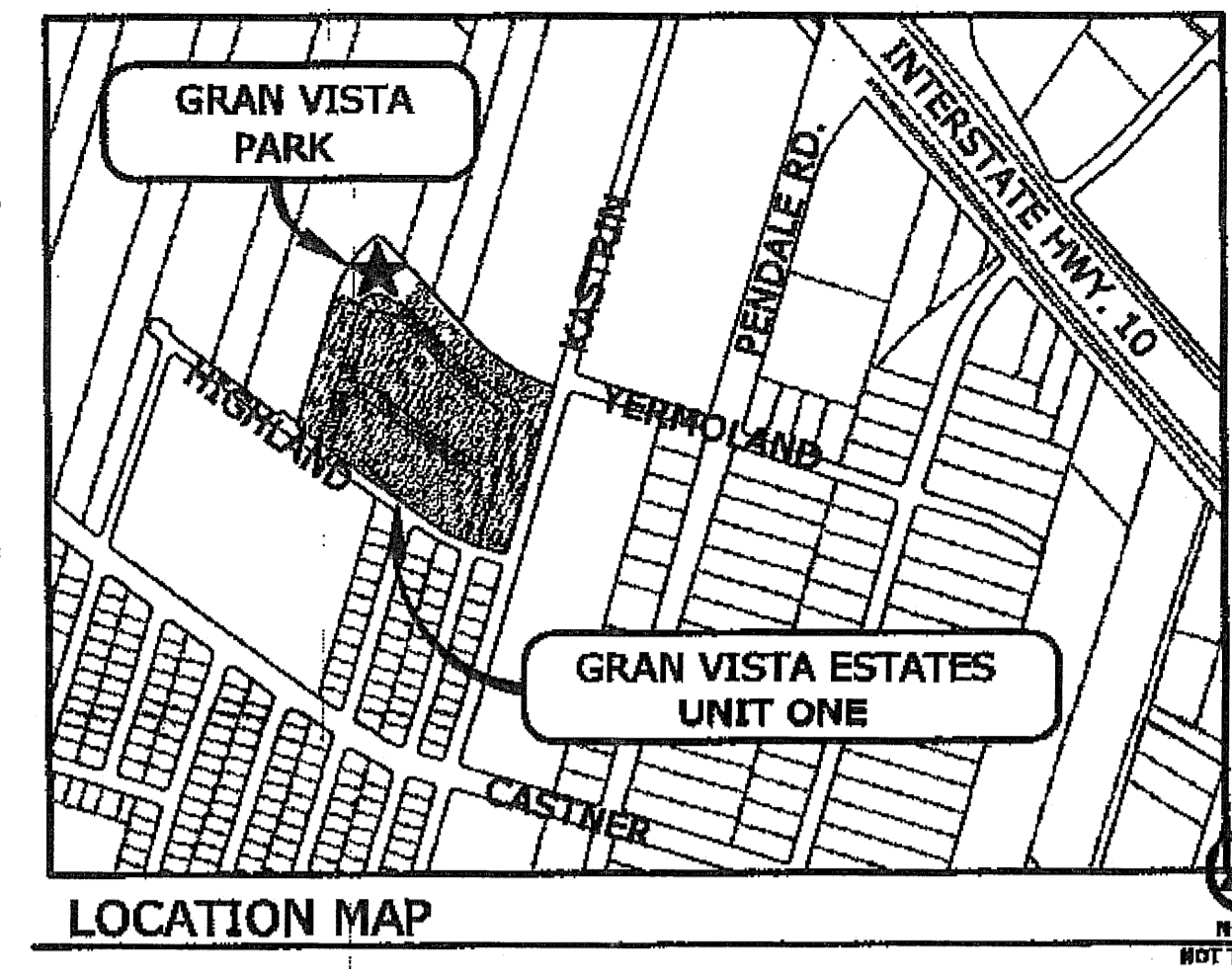
**PLANTINGS**

- \* PLANT MATERIAL SUBSTITUTIONS SHALL NOT BE MADE WITHOUT THE WRITTEN PERMISSION OF THE PARKS DEPARTMENT/LANDSCAPE DESIGNER. THE USE OF MATERIALS DIFFERING IN KIND, QUALITY OR SIZE FROM THAT SPECIFIED WILL BE ALLOWED ONLY AFTER THE LANDSCAPE DESIGNER & PARKS DEPARTMENT IS CONVINCED THAT ALL MEANS OF OBTAINING THE SPECIFIED MATERIAL HAVE BEEN EXHAUSTED. AT THE TIME BIDS ARE SUBMITTED, THE CONTRACTOR IS ASSUMED TO HAVE LOCATED THE MATERIALS NECESSARY TO COMPLETE THE JOB AS SPECIFIED. ALL REQUESTS FOR SUBSTITUTIONS MUST BE SUBMITTED NO LATER THAN 2 WEEKS PRIOR TO THE INITIATION OF WORK.

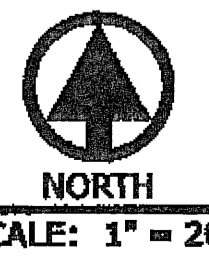
- \* PLANT MATERIAL QUALITY, SIZE AND CONDITION SHALL BE IN ACCORDANCE WITH AMERICAN STANDARD FOR NURSERY STOCK, 1990 EDITION, AS PUBLISHED BY THE COMMITTEE ON HORTICULTURAL STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.
  - \* ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY. ALL PLANTS SHALL HAVE NORMAL, WELL DEVELOPED BRANCHES AND VIGOROUS ROOT SYSTEMS. THEY SHALL BE SOUND, HEALTHY, VIGOROUS, FREE FROM DEFECTS, DISFIGURING KNOTS, ABRASIONS OF THE BARK, SUNSCALD INJURIES, PLANT DISEASES, INSECT EGGS, BORES AND ALL OTHER FORMS OF INFECTIONS.
  - \* UNLESS OTHERWISE STATED ON THE DRAWINGS OR APPROVED BY OWNER'S REPRESENTATIVE, ALL PLANTS SHALL BE NURSERY GROWN AND SHALL BE TAGGED WITH NURSERY LABELS INDICATING SPECIES AND VARIETY.
  - \* NONCONTAINER GROWN PLANTS SHALL HAVE A SOLID BALL OF EARTH OF MINIMUM SPECIFIED SIZE AND HELD IN PLACE SECURELY BY BURLAP AND A STOUT TWINE OR ROPE. BROKEN OR LOOSE BALLS WILL BE REJECTED.
  - \* UNLESS SPECIFICALLY NOTED ON THE DRAWING, ALL TREES SHALL HAVE A SINGLE TRUNK THAT IS STRAIGHT AND FREE OF "DOG-LEGS", "CROOKS", "Y-CROTCHES", OR OTHER DISTURBING SHAPES. THE CENTRAL LEADER OF ALL TREES SHALL NOT HAVE BEEN PRUNED. TREES WITH DOUBLE LEADERS ARE NOT ACCEPTABLE, UNLESS SPECIFIED AS MULTI-TRUNKED.
  - \* ALL PLANT MATERIAL SHALL HAVE A UNIFORM SHAPE AROUND ITS COMPLETE CIRCUMFERENCE PLANT MATERIAL WITH IRREGULAR BRANCHING PATTERNS OR WITH BRANCHING PATTERNS MORE HIGHLY DEVELOPED ON ONE SIDE THAN ON OTHER SIDES SHALL NOT BE ACCEPTABLE.
- JOB SITE**
- \* THE LANDSCAPE DESIGNER WILL INSPECT PLANT MATERIAL AT A WHOLESALE NURSERY OF THE CONTRACTOR'S CHOICE PRIOR TO DELIVERY OF MATERIALS TO THE CONTRACTOR'S YARD. HOWEVER, AT NO ADDITIONAL EXPENSE TO THE OWNER, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAVEL EXPENSES INCURRED BY THE OWNER'S REPRESENTATIVE FOR ANY TRAVEL OUTSIDE OF THE LOCAL AREA.
  - \* THE CONTRACTOR SHALL BE LIABLE FOR ANY LOSS OR DAMAGE TO ANY WORK OR MATERIALS, SUPPLIES AND EQUIPMENT ON THE JOB SITE CAUSED BY THE CONTRACTOR, ITS EMPLOYEES OR ANY PROJECT WITH THE OWNER'S REPRESENTATIVE/OWNER.
  - \* LANDSCAPE DESIGNER AND PARKS STAFF SHALL BE THE JUDGE OF THE QUALITY AND ACCEPTABILITY OF ALL PLANT MATERIALS. ALL REJECTED MATERIAL SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND REPLACED WITH ACCEPTABLE MATERIAL AT NO ADDITIONAL COST TO OWNER.
- MULCHING**
- \* ALL PLANTING BEDS SHOWN ON PLANS SHALL BE MULCHED. NO BEDS WILL BE LEFT UNCOVERED OR NOT TOP DRESSED, UNLESS OTHERWISE SPECIFIED.
- SOILS**
- \* DEVELOPER SHALL ENSURE AT LEAST 1 FOOT OF TOP SOIL FOR GROWING GRASS. SOIL SAMPLES SHALL BE TAKEN TO TEXAS A&M RESEARCH & EXTENSION CENTER TO DR. MIYAMOTO.
- CARE AND REPLACEMENT**
- \* ALL TREES SHALL BE GUARANTEED FOR THE PERIOD OF ONE FULL YEAR BEGINNING ON THE DATE OF FINAL ACCEPTANCE.

**LANDSCAPE LEGEND**

SYMBOL	COMMON NAME	BOTANICAL NAME	QTY
<b>2" CALIPER TREE - 10' HEIGHT MINIMUM</b>			
	BERRINDA ASH	FRAXINUS VELUTINA 'BERRINDA'	9
	CHILEAN MESQUITE	PROSOPIS CHILENSIS	10
<b>TURF &amp; GRAVEL</b>			
	3/4" FRANKLIN RED ROCK, 3" DEPTH W/ NON-WOVEN POLYPROPYLENE WEED BARRIER FABRIC TO BE PINNED DOWN AT 3' O.C. EACH WAY & 12" O.C. ALONG PERIMETER & SEAMS; OVERLAP MIN. 12" AT SEAMS		
	BERMUDA GRASS SOD - VARIETY 'SANTA ANA'		



**PARKS DEPARTMENT**  
*Anthony del Rio 4/12/12*  
 - Approved -



**LANDSCAPE PLAN**

**11/17/08**  
 FILE: R:\GRANVISTA\LANDNEW.DWG  
 DESIGN BY: SA  
 DRAWN BY: SA & C.H.  
 CHECKED BY: J.B.

REVISIONS:  
 DATE: 11/17/08  
 DESCRIPTION: CHANGED TREE TYPES, MODIFIED NOTES AND SECTION DETAILS AND MODIFIED SWALE AND BERM AREAS OUTSIDE OF PARK

CONSULTANT'S SEAL

*desert elements*  
 LANDSCAPE DESIGN  
 13000 E. Grand Ave., Suite 100, Denver, CO 80231  
 303.751.1111  
 ds-jennif@desert-elements.com

**GRAN VISTA PARK**  
 1157 MONTERO ROAD

BEING LOT 14, BLOCK 1, OF GRAN VISTA ESTATES UNIT ONE, REPLASO, EL PASO COUNTY, TEXAS, CONTAINING 1.00 ACRE.

**LANDSCAPE PLAN**

**L-1**  
 SHEET 1 OF 5

**IRRIGATION LEGEND**

SYMBOL	ITEM
<b>M</b>	3" YARD WATER METER
<b>B</b>	1.5" 825Y FEBCO BACKFLOW PREVENTER W/ INSULATED ALUMINUM OR STAINLESS STEEL ENCLOSURE
<b>C</b>	RAINBIRD ESP-8LX CONTROLLER WITH RAINBIRD RAIN SENSOR MOD. RSD-CEX (SEE DETAILS FOR INSTALLATION)
	2.5" REMOTE CONTROL VALVE, WEATHERMATIC BRASS 8200CR-25 2" REMOTE CONTROL VALVE, WEATHERMATIC BRASS 8200CR-20 1" REMOTE CONTROL VALVE, RAINBIRD 100-PEB
	3" MAINLINE - PVC SCH. 40 - MANUAL DRAIN AT LOW POINT
	LATERAL LINE - CLASS 200 PVC (ALL UNSIZED PIPE TO BE 1")
	RAINBIRD MODEL XBT-20-6 DRIP EMITTER 2 GPH, WITH CAPILLARY TUBING WITH E.O.C.V.S./STAKES INSTALL 3 EMITTERS PER TREE AND ENCLOSE IN AGRIFIM EMITTER BOX EB-6
	PVC SLEEVE - 2 TIMES LARGER THAN LATERAL OR MAIN
	1" BUCKNER, DOUBLE LUG QUICK COUPLER VALVE W/ LASCO SNAP-LOK W/ MALE BRASS STABILIZER ELBOW TO BE SET IN A CARSON VALVE BOX.
	HUNTER I-20 - 36S - 8.0 BLUE STANDARD NOZZLE (25 PSI, 37'R, 6.0 GPM) HUNTER I-20 - ADS - 8.0 BLUE STANDARD NOZZLE (25 PSI, 37'R, 6.0 GPM)
<b>A B</b> <b>C D</b>	A) STATION NUMBER      B) SIZE OF VALVE IN INCHES C) TOTAL GPM              D) NUMBER OF HEADS

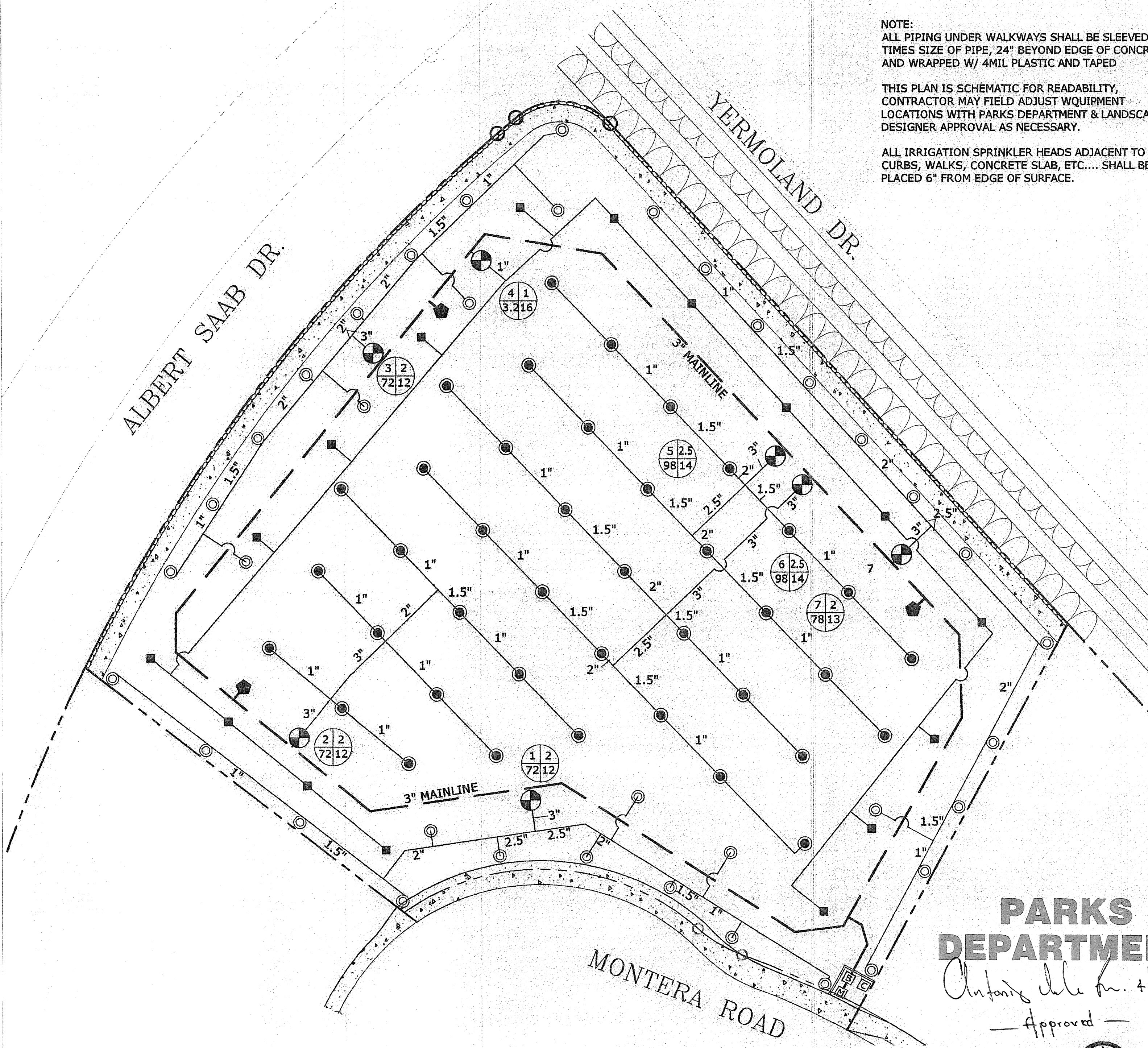
PRESSURE LOSS TABLE					
SECTION #	5		Section GPM		98
STATIC PRESSURE	APPROX 75		PSI		
Pipe Losses					
Length of pipe	Flow GPM	Size in	Pressure loss 100 ft	Pressure Loss this item	Pressure Loss accumulated
26	6	1"	0.51	0.13	0.13
25	12	1"	1.83	0.46	0.59
25	18	1.5"	0.64	0.16	0.75
6	24	2"	0.37	0.02	0.77
21.5	42	2.5"	0.47	0.10	0.87
15.5	98	3"	0.79	0.12	1.00
192	98	3"	0.79	1.52	2.51
Total Pipe Loss					2.51
Equipment Losses					
Item	Size	Pressure Loss this item	Pressure Loss Accumulated		
Valve	2.5"	2.60	2.60		
Backflow	1.5"	11.00	13.60		
Water Meter	3"	2.90	16.50		
Total Equipment Loss					16.50
Total Pressure Loss					19.01
Minimum Head Pressure					25.00
Design Pressure					44.01

PRECIPITATION SCHEDULE						
STATION NO.	VALVE SIZE	TOTAL GPM	PRECIPITATION RATE	WATERING REQUIREMENTS	NOZZLE SIZE	NUMBER OF HEADS/EMITT.
1	2"	72	1.39 IN./HR.	52 MIN. 3 TIMES PER WEEK FOR AN APPLICATION OF 3.6" PER WEEK	I-20-ADS	12
2	2"	72	1.07 IN./HR.	67 MIN. 3 TIMES PER WEEK FOR AN APPLICATION OF 3.6" PER WEEK	I-20-36S	12
3	2"	72	1.39 IN./HR.	52 MIN. 3 TIMES PER WEEK FOR AN APPLICATION OF 3.6" PER WEEK	I-20-ADS	12
4	1"	3.2		60 MIN. 3 TIMES PER WEEK FOR	DRIP	16
5	2.5"	98	1.07 IN./HR.	67 MIN. 3 TIMES PER WEEK FOR AN APPLICATION OF 3.6" PER WEEK	I-20-36S	14
6	2.5"	98	1.07 IN./HR.	67 MIN. 3 TIMES PER WEEK FOR AN APPLICATION OF 3.6" PER WEEK	I-20-36S	14
7	2"	78	1.39 IN./HR.	52 MIN. 3 TIMES PER WEEK FOR AN APPLICATION OF 3.6" PER WEEK	I-20-ADS	13

WITH EACH STATION RUNNING CONSECUTIVELY (ADDING TOGETHER TIME UNDER WATER REQUIREMENTS), TOTAL RUN TIME IS 417 MIN. OR 6.95 HOURS

PRECIPITATION RATE:  
 $P.R. (in./hr) = \frac{(GPM \text{ of } 360^\circ) \times 96.25}{HEAD \text{ SP} \times ROW \text{ SP}}$   
 $P.R. (in./hr) FULL = \frac{6 \times 96.25}{25' \times 21.5'} = 1.07$   
 $P.R. (in./hr) HALF = \frac{(6 \times 2) \times 96.25}{23' \times 36'} = 1.39$

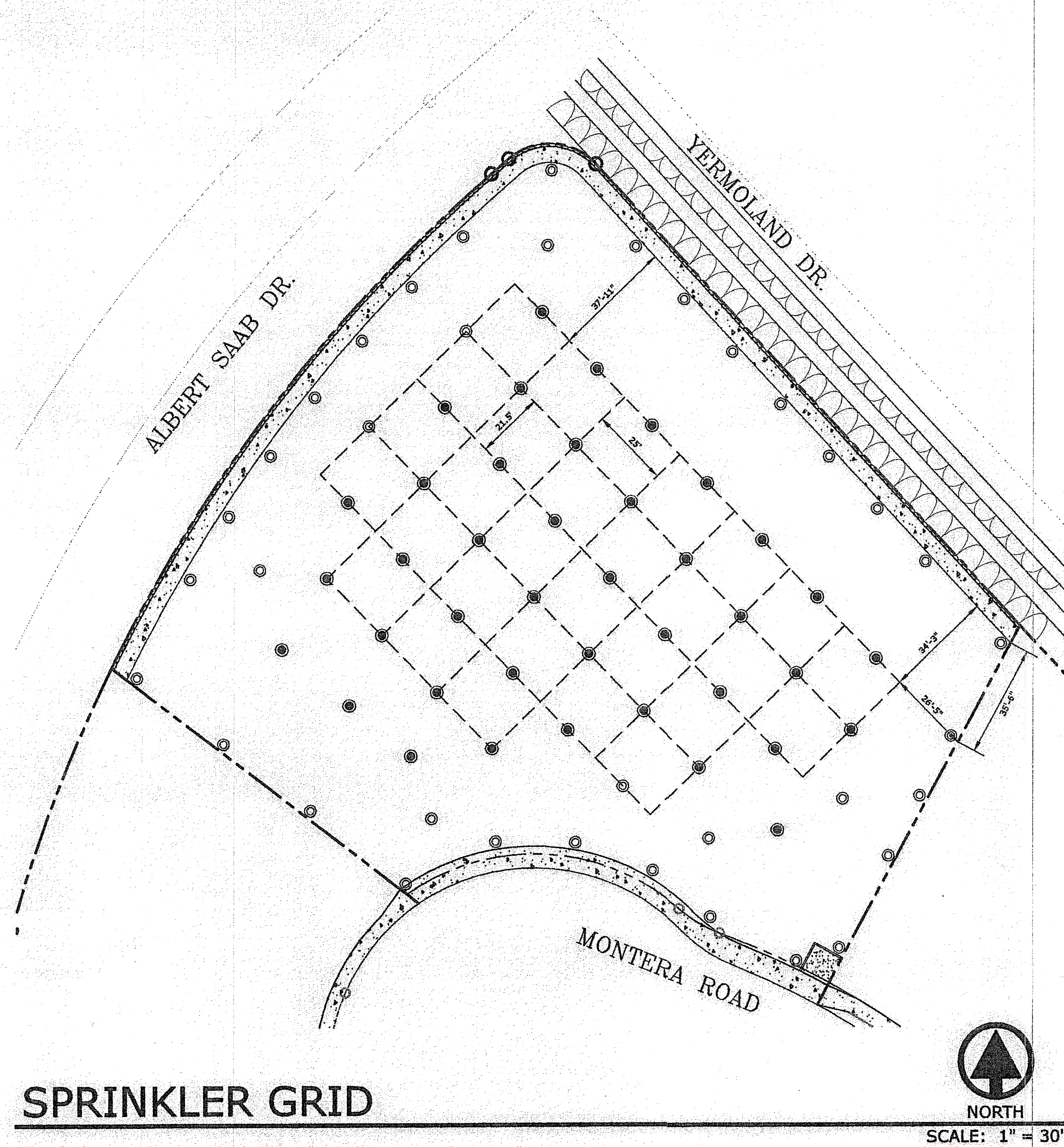
NOTE:  
 ALL PIPING UNDER WALKWAYS SHALL BE SLEEVED, 2 TIMES SIZE OF PIPE, 24" BEYOND EDGE OF CONCRETE AND WRAPPED W/ 4MIL PLASTIC AND TAPED  
 THIS PLAN IS SCHEMATIC FOR READABILITY, CONTRACTOR MAY FIELD ADJUST EQUIPMENT LOCATIONS WITH PARKS DEPARTMENT & LANDSCAPE DESIGNER APPROVAL AS NECESSARY.  
 ALL IRRIGATION SPRINKLER HEADS ADJACENT TO CURBS, WALKS, CONCRETE SLAB, ETC.... SHALL BE PLACED 6" FROM EDGE OF SURFACE.



**PARKS DEPARTMENT**  
 Approved: *Antonio del Rio* 4/12/12  
 NORTH  
 SCALE: 1" = 20'

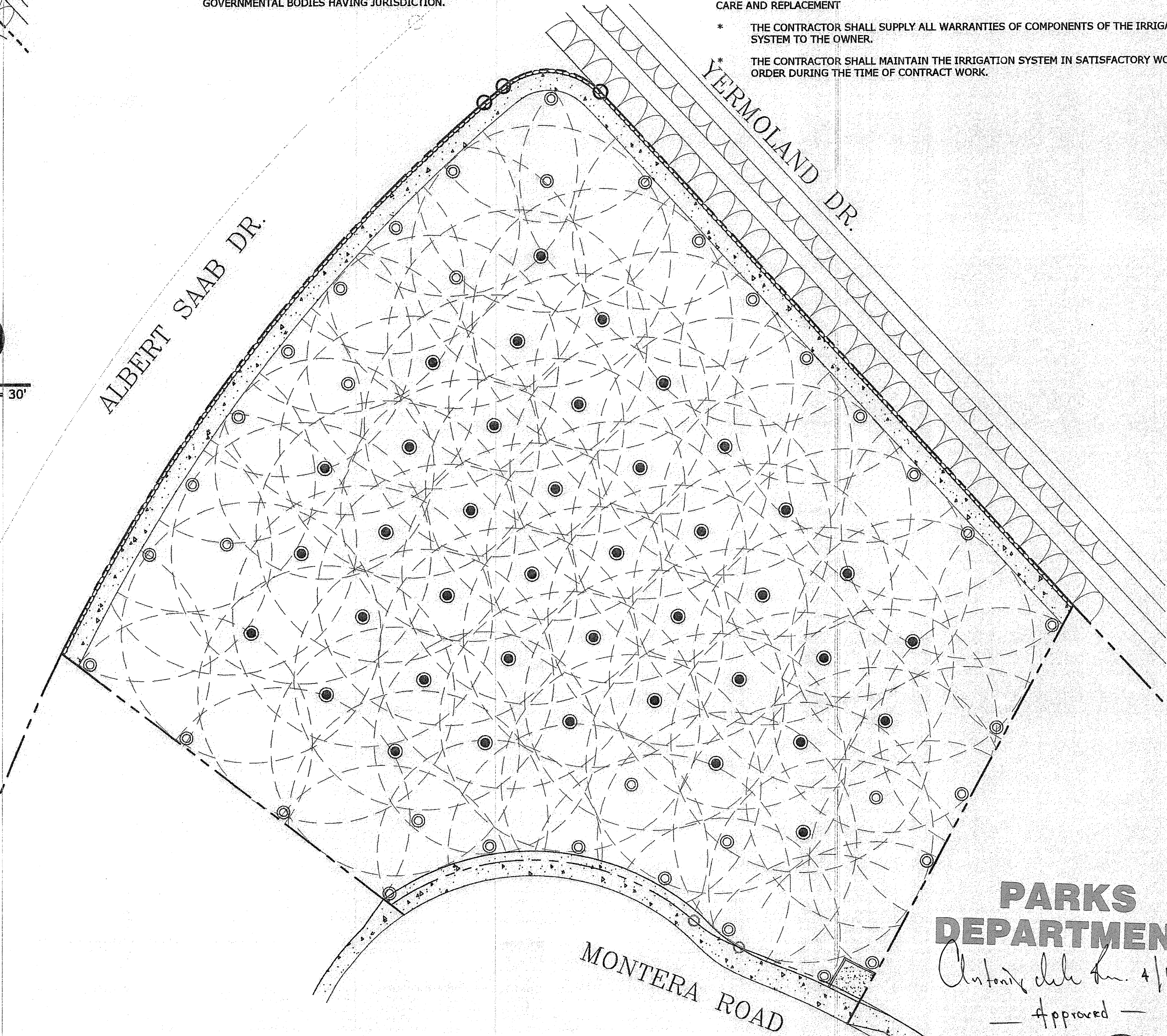
**IRRIGATION PLAN**

11/17/08  
 FILE: R0/GRANVISTA-LANDNEW.DWG  
 DESIGN BY: S.A.  
 DRAWN BY: S.A. & C.H.  
 CHECKED BY: J.B.  
 REVISIONS:  
 DATE: 11/17/08  
 DESCRIPTION: CHANGED PRECIPITATION SCHEDULE ADDED PRECIPITATION RATE CALCULATIONS  
 CONSULTANT'S SEAL  
 STATE OF TEXAS  
 LANDSCAPE DESIGNER  
 11/17/08  
**desert elements**  
 LANDSCAPE DESIGN  
 1-3 arduino dr., sunland park, nm 88063  
 de-jmiller@deserthelements.com 575.589.9100  
**GRAN VISTA PARK**  
 1157 MONTERA ROAD  
 GRAND VISTA ESTATES UNIT ONE,  
 LOT 14, BLOCK 1  
 CITY OF EL PASO, EL PASO COUNTY, TEXAS.  
 CONTAINING 1.00 ACRES  
 IRRIGATION PLAN  
**L-2**  
 SHEET 2 OF 5



SPRINKLER GRID

NORTH  
SCALE: 1" = 30'



SPRAY COVERAGE

NORTH  
SCALE: 1" = 20'

**IRRIGATION NOTES**

**GENERAL**

- \* IRRIGATION IN TEXAS IS REGULATED BY THE TEXAS COMMISSION ON ENVIRONMENTAL QUALITY, P.O. BOX 13087, AUSTIN, TX 78711-3087.
- \* WORK UNDER THIS SECTION CONSISTS OF INSTALLING A COMPLETE UNDERGROUND IRRIGATION SYSTEM AS SHOWN ON THESE PLANS, DETAILS AND SPECIFICATIONS. THE CONTRACTOR PERFORMING THIS WORK SHALL FURNISH ALL LABOR, EQUIPMENT, MATERIALS, INCIDENTAL WORK, AND PERMITS NECESSARY FOR THE COMPLETION OF THE IRRIGATION SYSTEM, EXCEPT FOR THOSE COMPONENTS SPECIFIED TO BE FURNISHED BY OTHERS.
- \* ALL ROADWAY TRENCHING, PATCHING, AND TRAFFIC CONTROL SHALL BE PERFORMED TO THE CITY OF EL PASO STANDARDS FOR PUBLIC WORK CONSTRUCTION. THE CONTRACTOR SHALL PREPARE FOR THE OWNER AND OTHER REQUIRED ENTITIES HAVING JURISDICTION A TRAFFIC CONTROL PLAN AND A PROJECTED TIME SCHEDULE.
- \* THE DEVELOPER SHALL COORDINATE WATER "TAP-IN" LOCATIONS AND CONTROLLER LOCATIONS WITH THE PARK STAFF & LANDSCAPE DESIGNER PRIOR TO INSTALLATION.
- \* ALL PLANT MATERIALS SHALL BE IRRIGATED WITH AUTOMATIC IRRIGATION SYSTEMS AS PER PLANS, DETAILS AND SPECIFICATIONS UNLESS OTHERWISE INDICATED ON THE DRAWINGS.
- \* WHERE TREES, LIGHT STANDARDS, ETC. ARE AN OBSTRUCTION OF PIPING AND DRIP EMITTERS, THEY SHALL BE ADJUSTED AND/OR RELOCATED AS NECESSARY TO OBTAIN FULL COVERAGE WITHOUT EXCESSIVE OVERFLOW. PLANS ARE DIAGRAMMATIC AND APPROXIMATE DUE TO SCALE OF DRAWINGS. ALL VALVES SHALL BE LOCATED IN PLANTING AREAS OR SODDEN AREAS WHERE SHOWN AND ALL PIPING SHALL BE INSTALLED PRIOR TO LANDSCAPING OR PAVING WORK. NO TEES, ELLS OR OTHER TURNS IN PIPING SHALL BE LOCATED UNDER PAVING. CAP ALL ENDS HAND TIGHT, PRIOR TO BACKFILL.
- \* COMPLY WITH REQUIREMENTS OF THE I.P.C. AND ANY OTHER GOVERNMENTAL BODIES HAVING JURISDICTION.

- \* ALL BACKFILL SHALL BE IMPORTED CLEAN MATERIAL. TRENCH IS TO BE EVEN WITH EXISTING GRADES AFTER COMPACTION. NO ORGANIC MATERIAL AND NO STONES IN BACKFILL LARGER THAN 1/2" IN DIAMETER.
- \* TRENCH BACKFILL MATERIAL SHALL BE COMPACTED 85% PROCTOR DENSITY
- \* COORDINATE PROGRAMS TO AVOID STATION OVERLAP.
- \* CONTRACTOR TO FLUSH ALL LINES PRIOR TO INSTALLING HEADS AND EMITTERS.
- \* ALL VALVES TO BE IN APPROVED VALVE BOXES (SEE SPECS AND NOTES). LOCATE VALVE BOXES IN GROUPINGS OF TWO OR THREE AND LOCATE NEAR WALKWAYS WHERE POSSIBLE. ALL VALVES TO BE TAGGED WITH THE VALVE RESPECTIVE NUMBER.
- \* THE CONTRACTOR SHALL PREPARE AN ASBUILT MYLAR SET OF PLANS FOR THE OWNER.
- \* THE MAINLINE SHALL BE PRESSURE TESTED AT 50 PSI ABOVE STATIC PRESSURE OR DESIGN PRESSURE, BASED ON HIGHEST VALUE, FOR 24 HOURS WITH A PARKS DEPARTMENT REPRESENTATIVE PRESENT.

**COMPONENTS AND PRODUCTS**

- \* ALL COMPONENTS INSTALLED AS THE UNDERGROUND IRRIGATION SYSTEM ARE TO BE NEW AND IN GOOD WORKING ORDER AND WITHOUT FLAWS UNLESS OTHERWISE INDICATED ON THE PLANS, DETAILS AND SPECIFICATIONS.
- \* IF THE CONTRACT DRAWINGS AND/OR SPECIFICATIONS DO NOT THOROUGHLY DESCRIBE THE METHOD OR TECHNIQUES TO BE USED FOR INSTALLATION, THE CONTRACTOR SHALL FOLLOW THE INSTALLATION METHODS RECOMMENDED BY THE PARKS DEPARTMENT AND/OR MANUFACTURER.
- \* ALL PLANT MATERIALS INSTALLED SHALL HAVE THE AUTOMATIC IRRIGATION SYSTEM FULLY OPERABLE AT THE TIME OF PLANT INSTALLATION.

**CARE AND REPLACEMENT**

- \* THE CONTRACTOR SHALL SUPPLY ALL WARRANTIES OF COMPONENTS OF THE IRRIGATION SYSTEM TO THE OWNER.
- \* THE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN SATISFACTORY WORKING ORDER DURING THE TIME OF CONTRACT WORK.

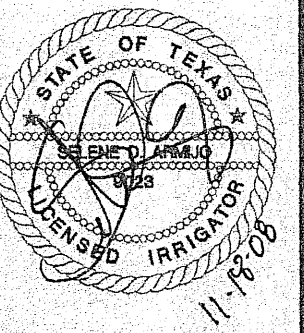
11/17/08

FILE: RO/GRANVISTA-LANDNEW.DWG

DESIGN BY: S.A.  
DRAWN BY: S.A. & C.H.  
CHECKED BY: J.B.

REVISIONS: DESCRIPTION:  
DATE:

CONSULTANT'S SEAL



*desert elements*  
LANDSCAPE DESIGN  
13 aradivino dr., sanland park, nm 88063  
dp-jennifer@pep.r.com 505.287.9100

GRAN VISTA PARK  
1157 MONTERA ROAD

GRAND VISTA ESTATES UNIT ONE,  
LOT 14, BLOCK 1  
CITY OF EL PASO, EL PASO COUNTY, TEXAS,  
CONTAINING 1.00 ACRES

IRRIGATION PLAN

**PARKS DEPARTMENT**

*Anthony del Rio 4/12/12*  
Approved



NORTH  
SCALE: 1" = 20'

L-3  
SHEET 3 OF 5

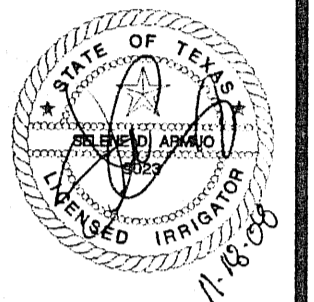
11/17/08

FILE: R:\GRANVISTA-LANDNEW.DWG

DESIGN BY: S.A.  
DRAWN BY: S.A. & C.H.  
CHECKED BY: J.B.

REVISIONS:	DESCRIPTION:

CONSULTANT'S SEAL



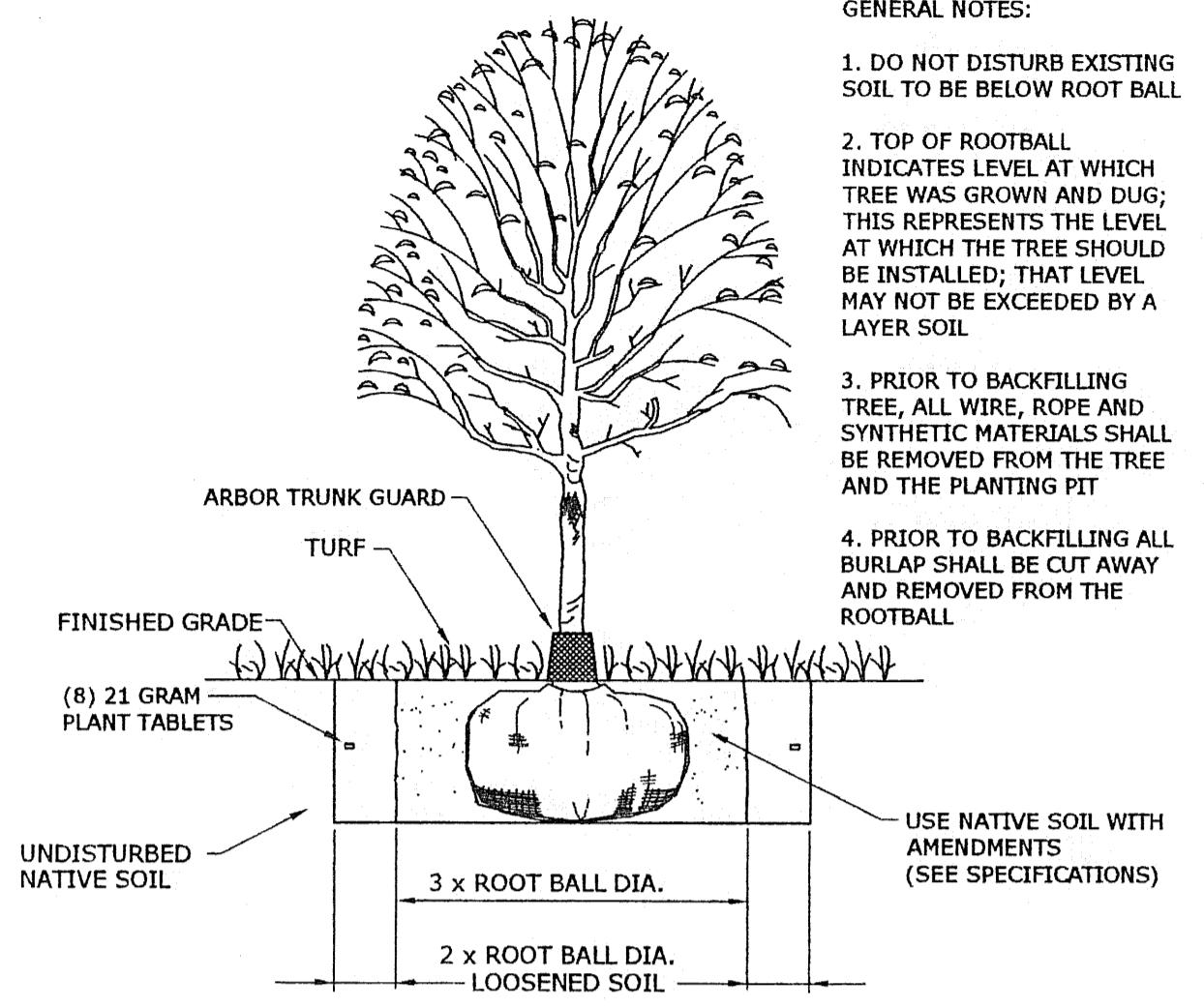
*desert elements*  
LANDSCAPE DESIGN  
13 Ardmore Dr., Sunland Park, TX 78043  
de-jennifer@desert-elements.com 575.589.7100

GRAN VISTA PARK  
1157 MONTERA ROAD

GRAND VISTA ESTATES UNIT ONE,  
LOT 14, BLOCK 1  
CITY OF EL PASO, EL PASO COUNTY, TEXAS.  
CONTAINING 1.00 ACRES

LANDSCAPE &  
IRRIGATION DETAILS

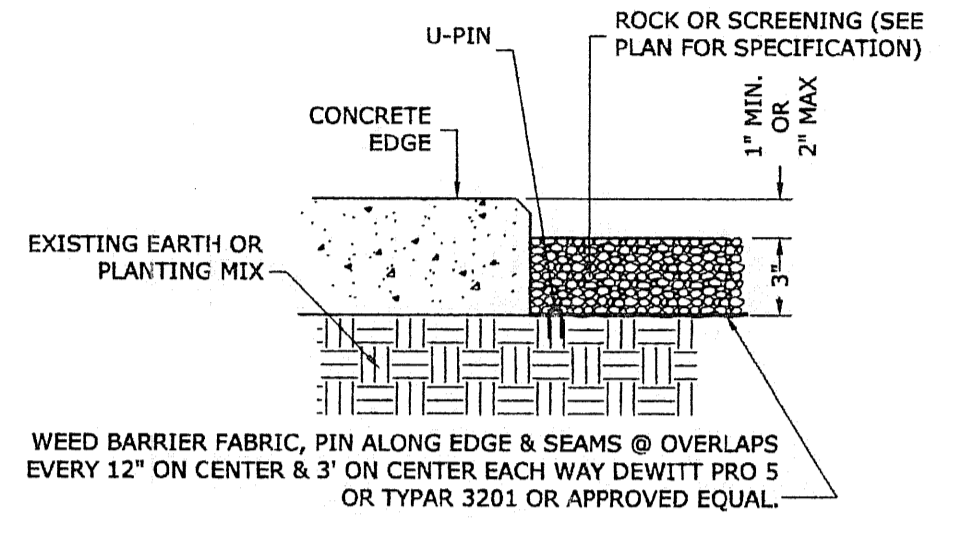
L-4  
SHEET 4 OF 5



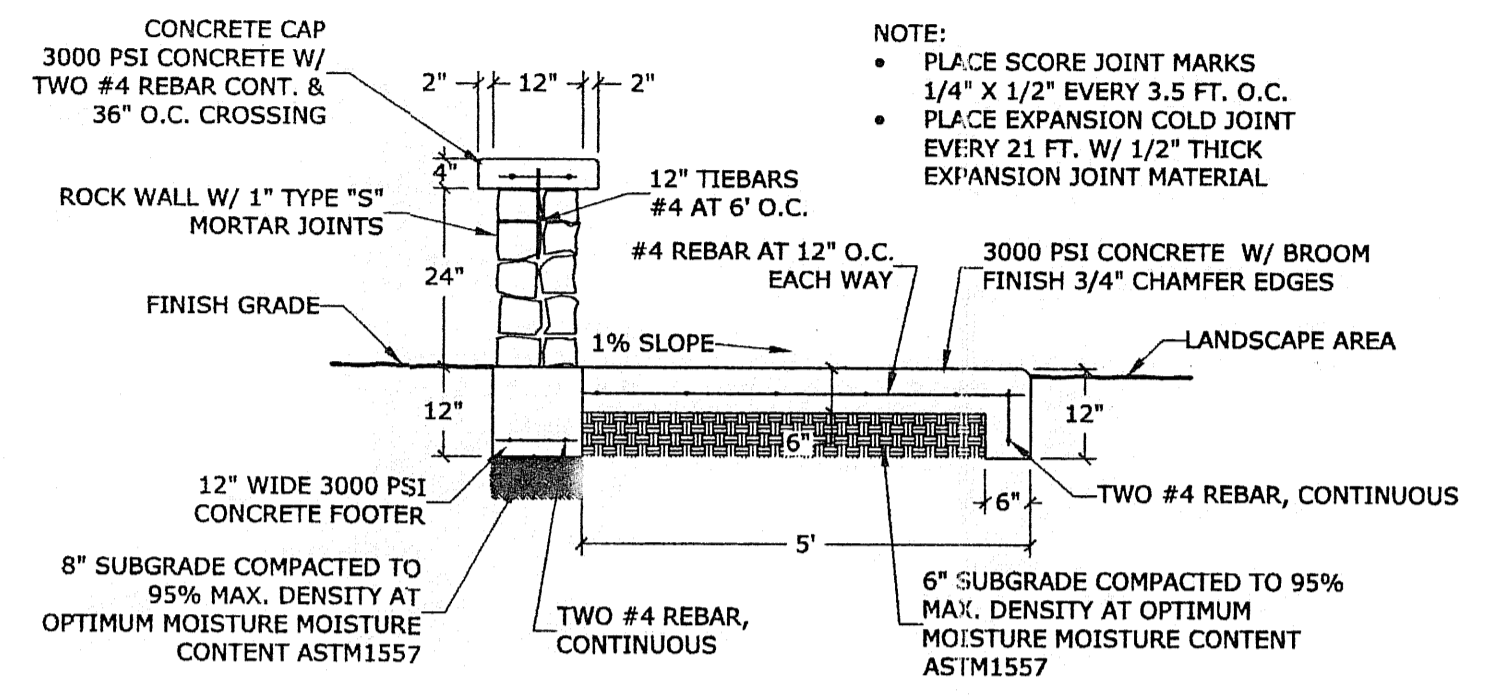
**TREE PLANTING DETAIL**  
NOT TO SCALE

**GENERAL NOTES:**

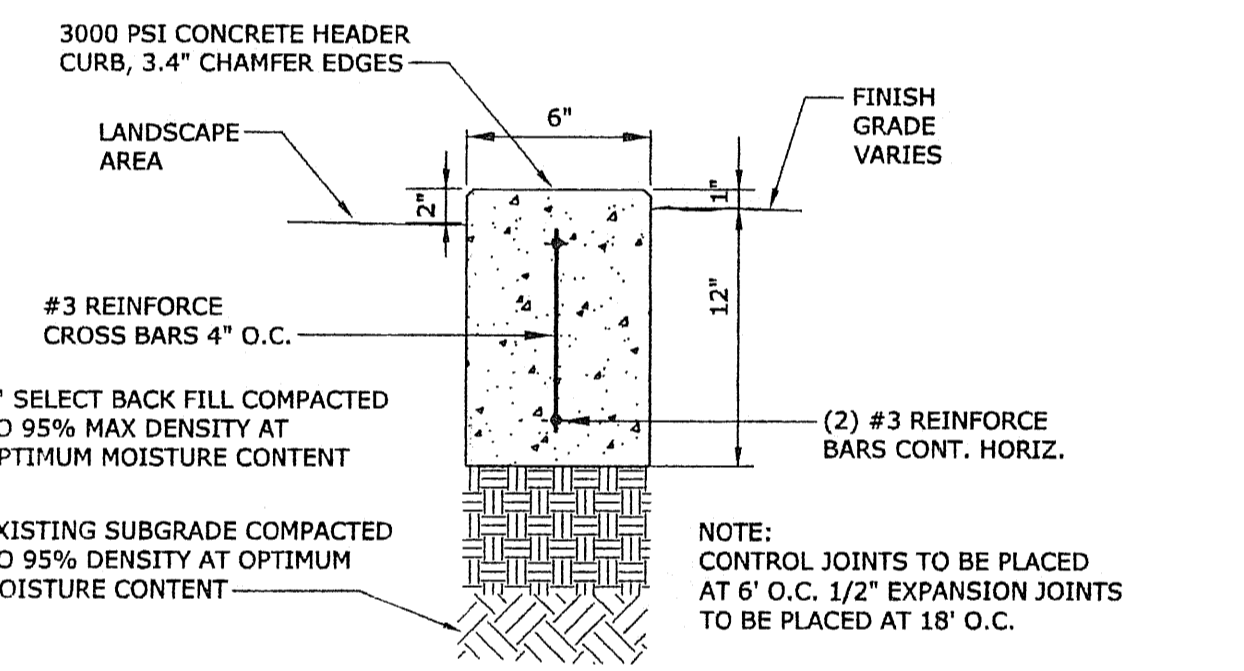
- DO NOT DISTURB EXISTING SOIL TO BE BELOW ROOT BALL
- TOP OF ROOTBALL INDICATES LEVEL AT WHICH TREE WAS GROWN AND DUG; THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY NOT BE EXCEEDED BY A LAYER SOIL
- PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT
- PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY AND REMOVED FROM THE ROOTBALL



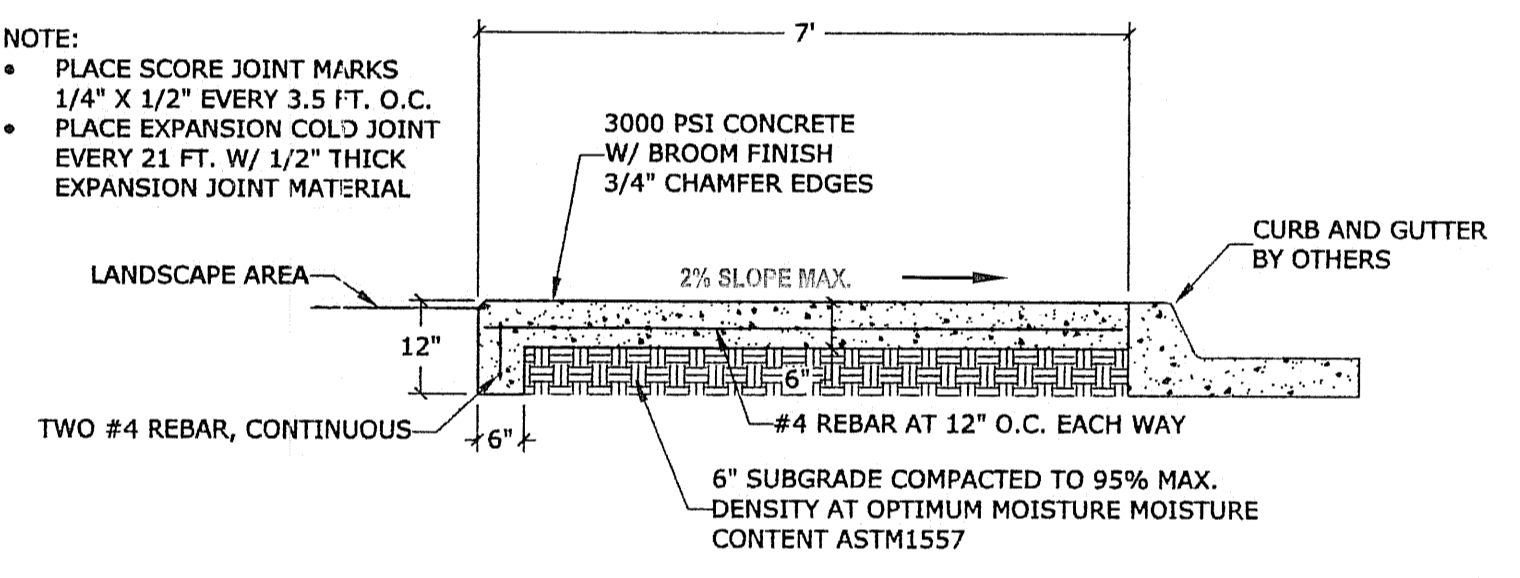
**GRAVEL MULCH DETAIL**  
NOT TO SCALE



**ROCK WALL AND SIDEWALK SECTION DETAIL**  
NOT TO SCALE



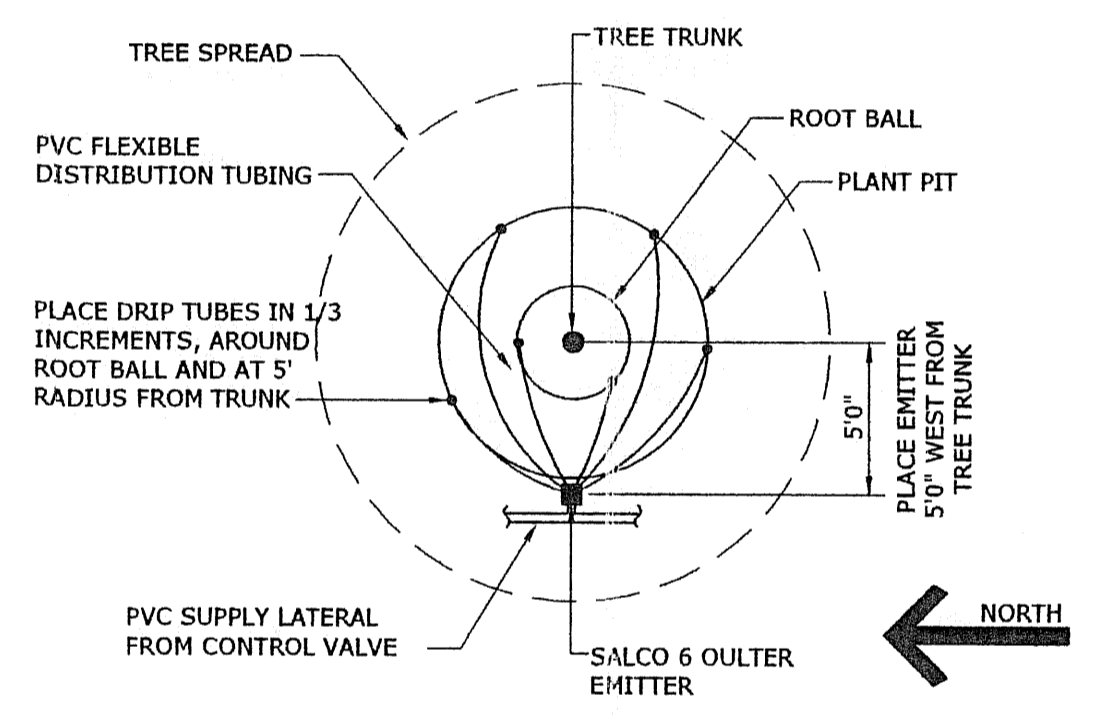
**CONCRETE MOWSTRIP DETAIL**  
NOT TO SCALE



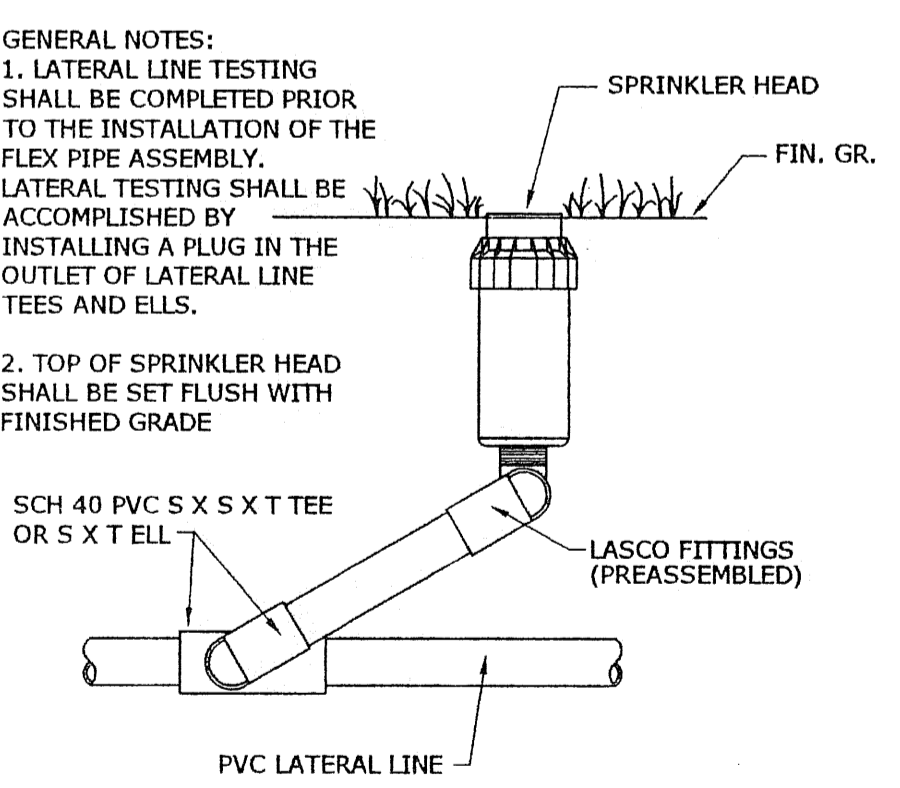
**SECTION B 7' CONCRETE SIDEWALK**  
NOT TO SCALE

**NOTE:**

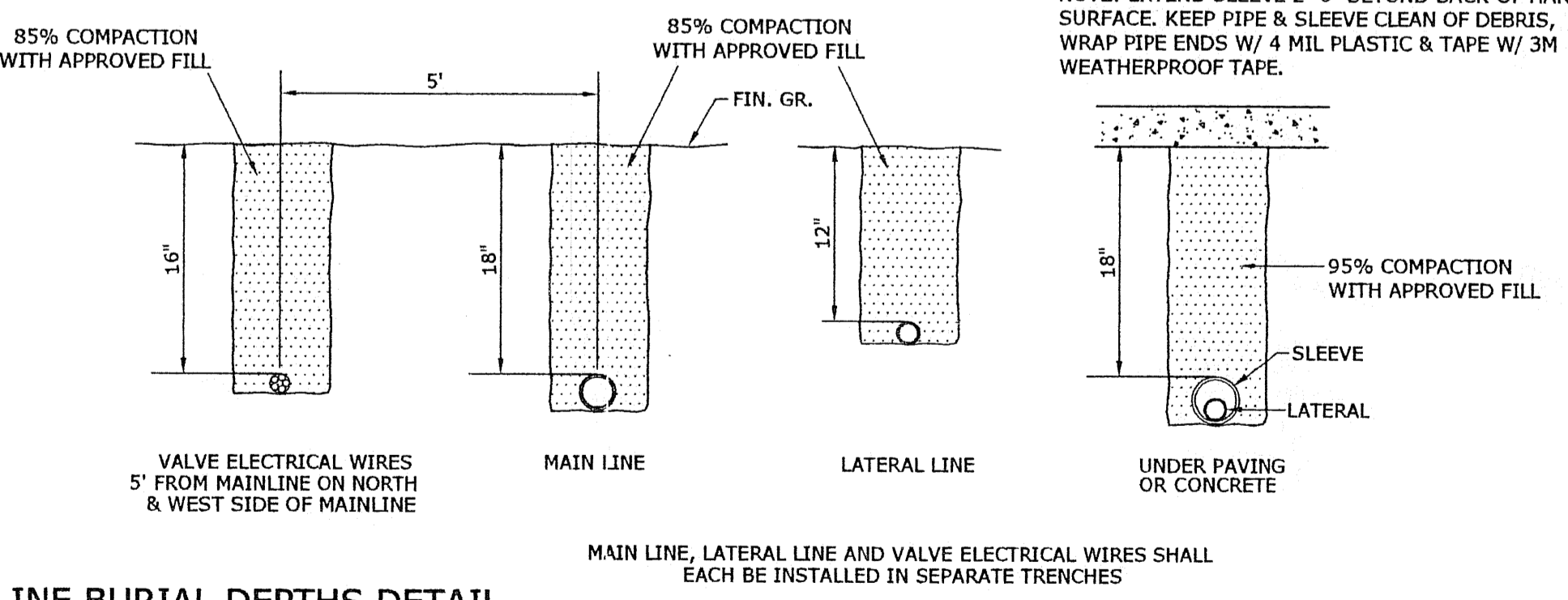
- PLACE SCORE JOINT MARKS 1/4" X 1/2" EVERY 3.5 FT. O.C.
- PLACE EXPANSION COLD JOINT EVERY 21 FT. W/ 1/2" THICK EXPANSION JOINT MATERIAL



**DRIP EMITTER PATTERN DETAIL**  
NOT TO SCALE

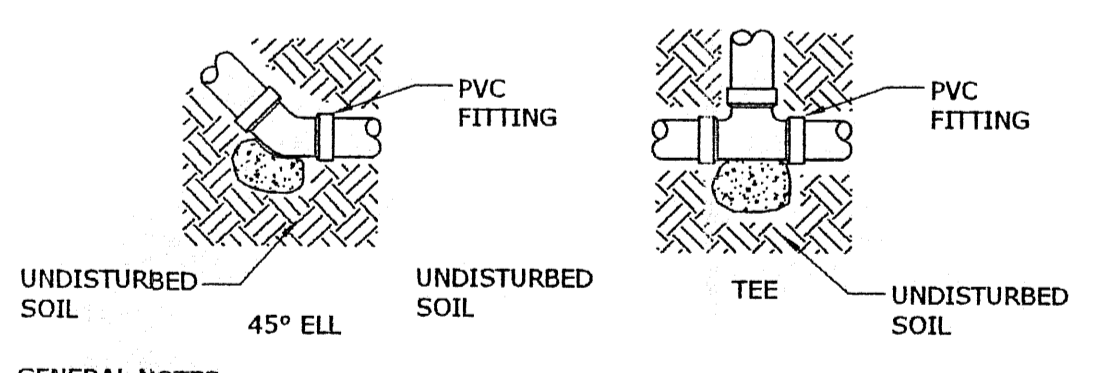


**SPRINKLER HEAD DETAIL**  
NOT TO SCALE



**LINE BURIAL DEPTHS DETAIL**  
NOT TO SCALE

NOTE: EXTEND SLEEVE 2'-0" BEYOND BACK OF HARD SURFACE. KEEP PIPE & SLEEVE CLEAN OF DEBRIS, WRAP PIPE ENDS W/ 4 MIL PLASTIC & TAPE W/ 3M WEATHERPROOF TAPE.



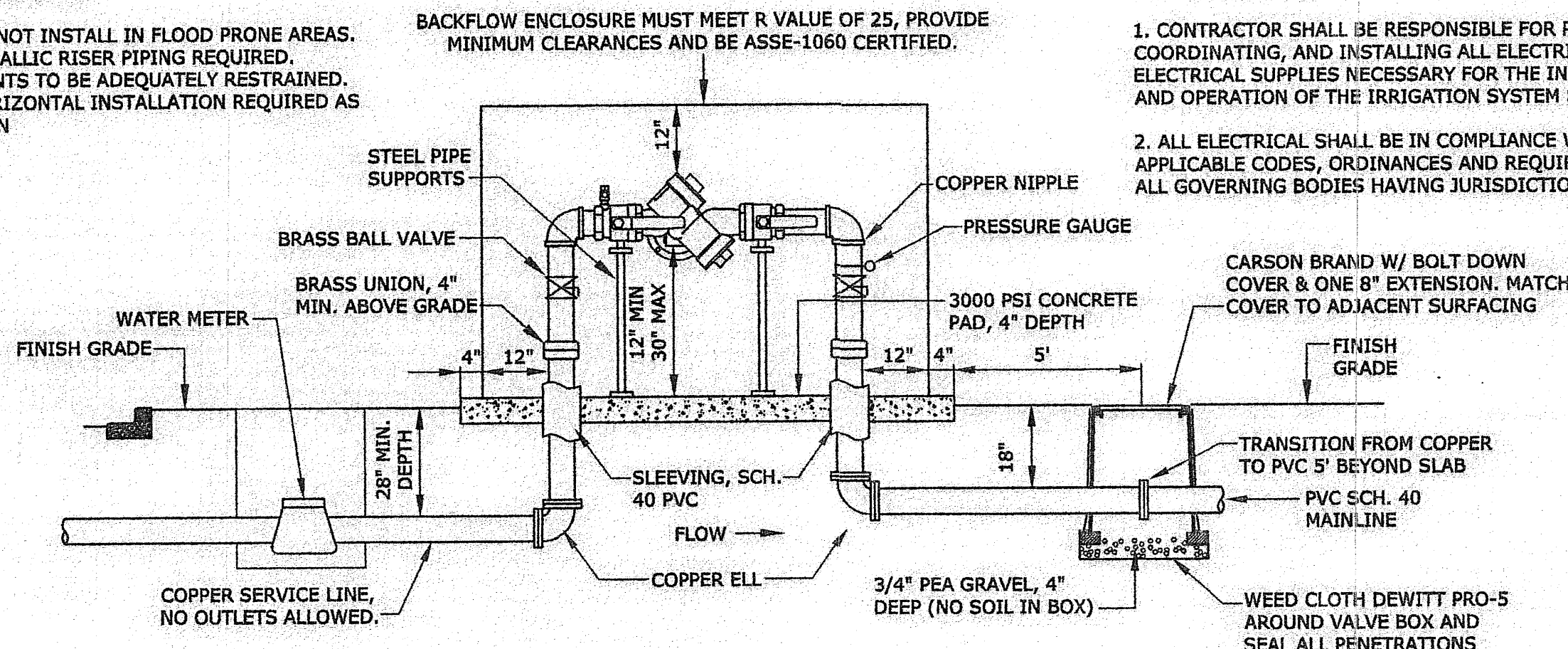
GENERAL NOTES:  
1. ONLY MAINLINES 3" IN DIAMETER AND LARGER SHALL RECEIVE CONCRETE THRUST BLOCKS. EACH BLOCK MUST BE 2 sq.ft. MIN. OF 3,000 PSI CONCRETE PLACED BETWEEN THE FITTING AND THE TRENCH WALL. SEE SPECIFICATIONS FOR THE STEPS USED IN DETERMINING THE BEARING AREA REQUIRED.  
2. PVC FITTINGS SHALL BE PROTECTED FROM CONCRETE BY PLACING 10 MIL. PLASTIC SHEETING BETWEEN CONCRETE AND FITTING

**THRUST BLOCK DETAIL**  
NOT TO SCALE

**PARKS DEPARTMENT**  
*Antonio de la...* 4/12/12  
Approved

**GENERAL NOTES:**

1. DO NOT INSTALL IN FLOOD PRONE AREAS.
2. METALLIC RISER PIPING REQUIRED.
3. JOINTS TO BE ADEQUATELY RESTRAINED.
4. HORIZONTAL INSTALLATION REQUIRED AS SHOWN

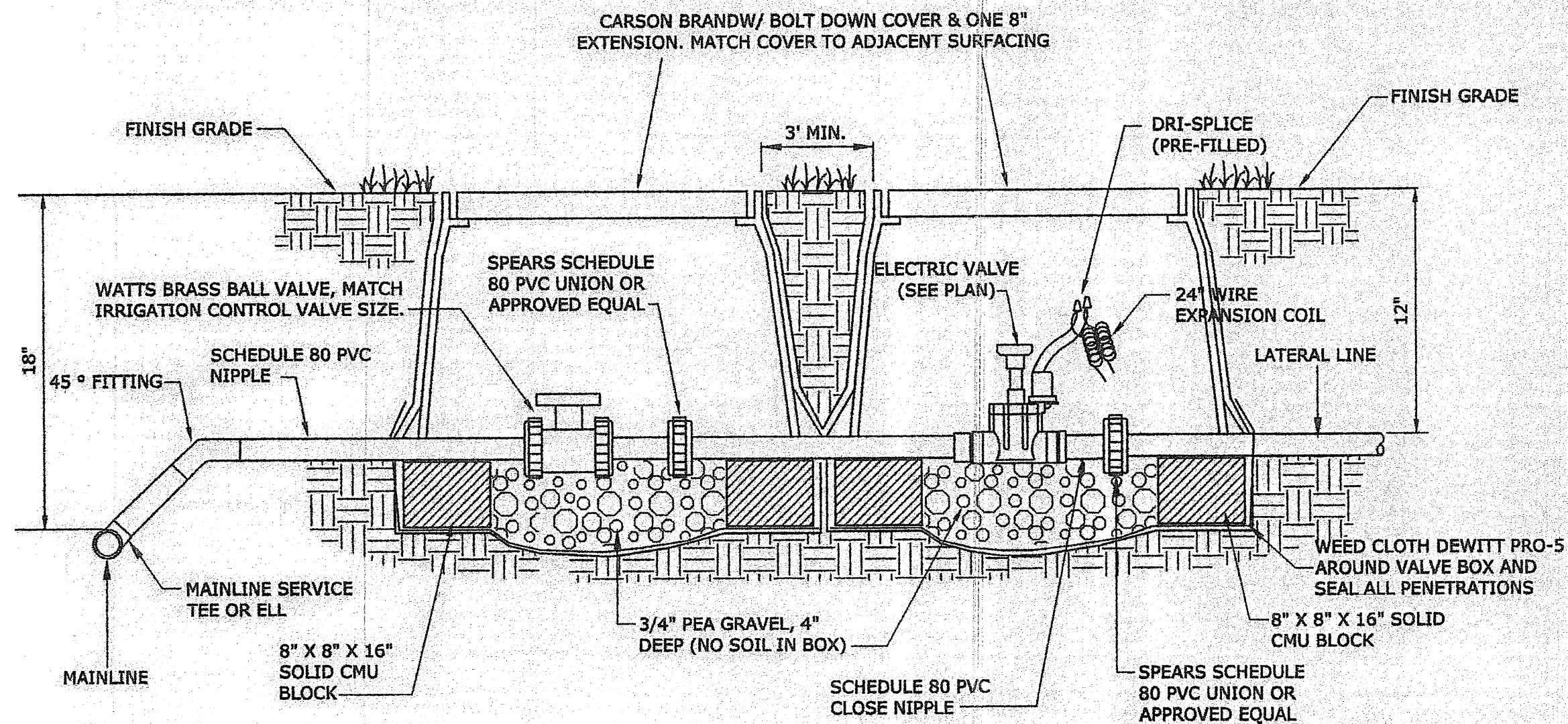


**REDUCED PRESSURE ZONE ASSEMBLY FEBCO Mo.825Y DETAIL**

NOT TO SCALE

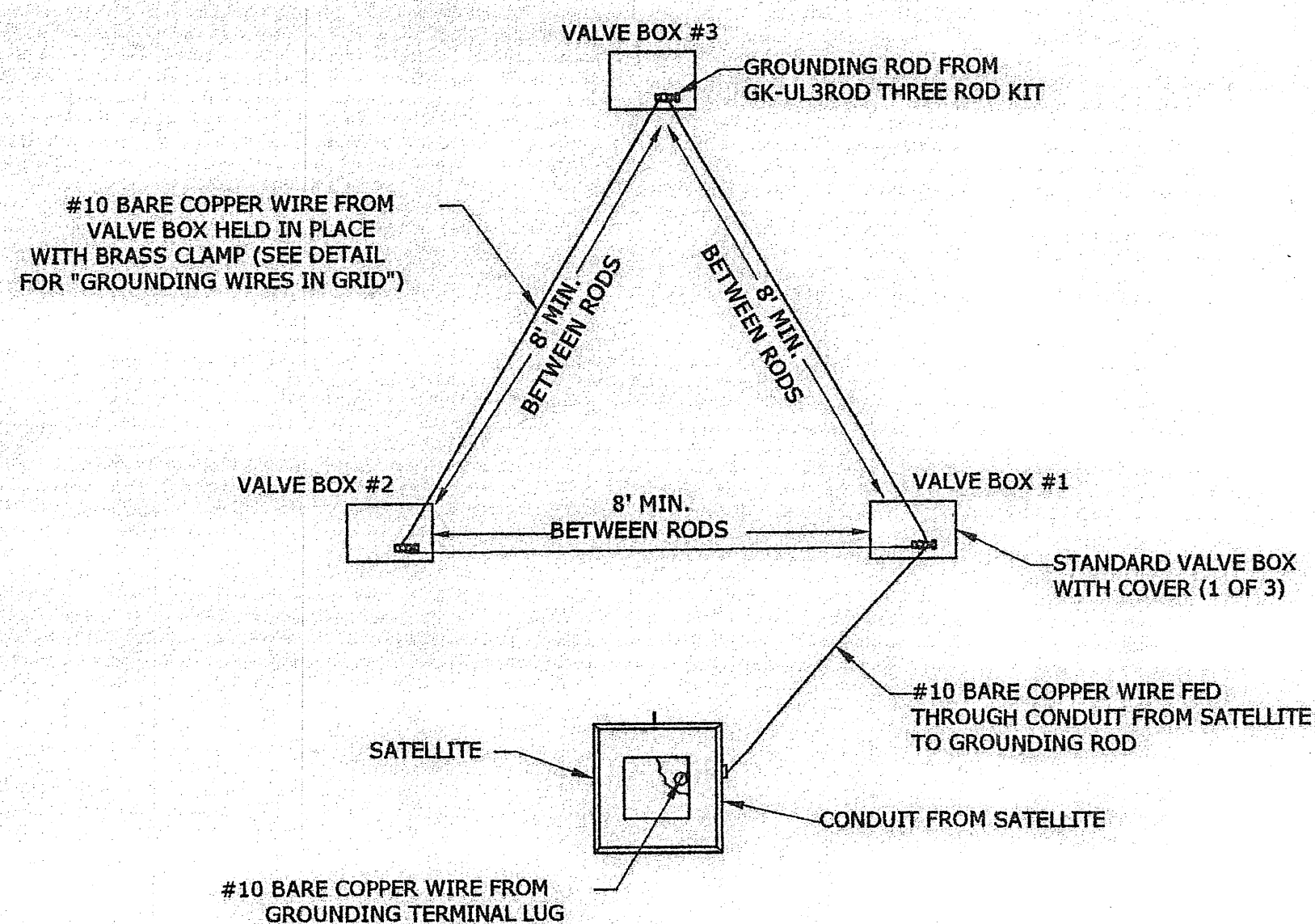
**ELECTRICAL NOTES:**

1. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING, COORDINATING, AND INSTALLING ALL ELECTRICAL AND ELECTRICAL SUPPLIES NECESSARY FOR THE INSTALLATION AND OPERATION OF THE IRRIGATION SYSTEM SPECIFIED.
2. ALL ELECTRICAL SHALL BE IN COMPLIANCE WITH ALL APPLICABLE CODES, ORDINANCES AND REQUIREMENTS OF ALL GOVERNING BODIES HAVING JURISDICTION.



**CONTROL VALVE DETAIL**

NOT TO SCALE



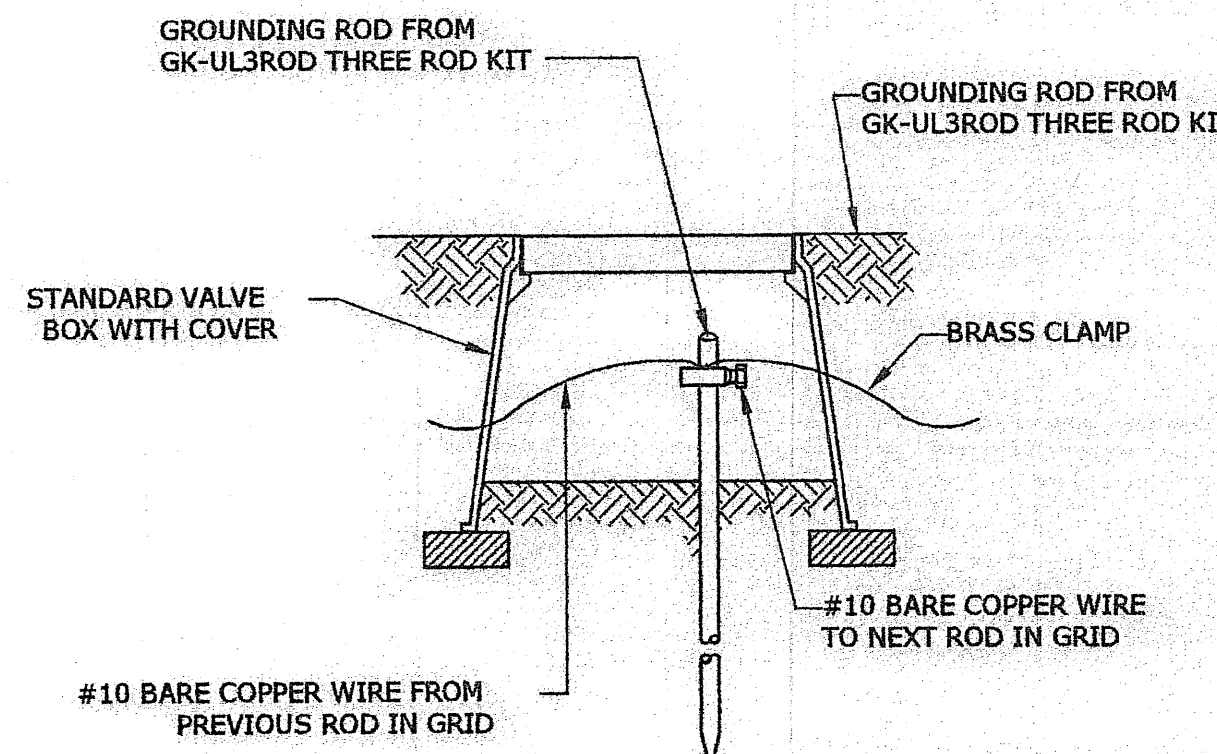
**TRIANGULAR GRID PLAN VIEW DETAIL**

NOT TO SCALE

**GROUNDING ROD NOTES:**

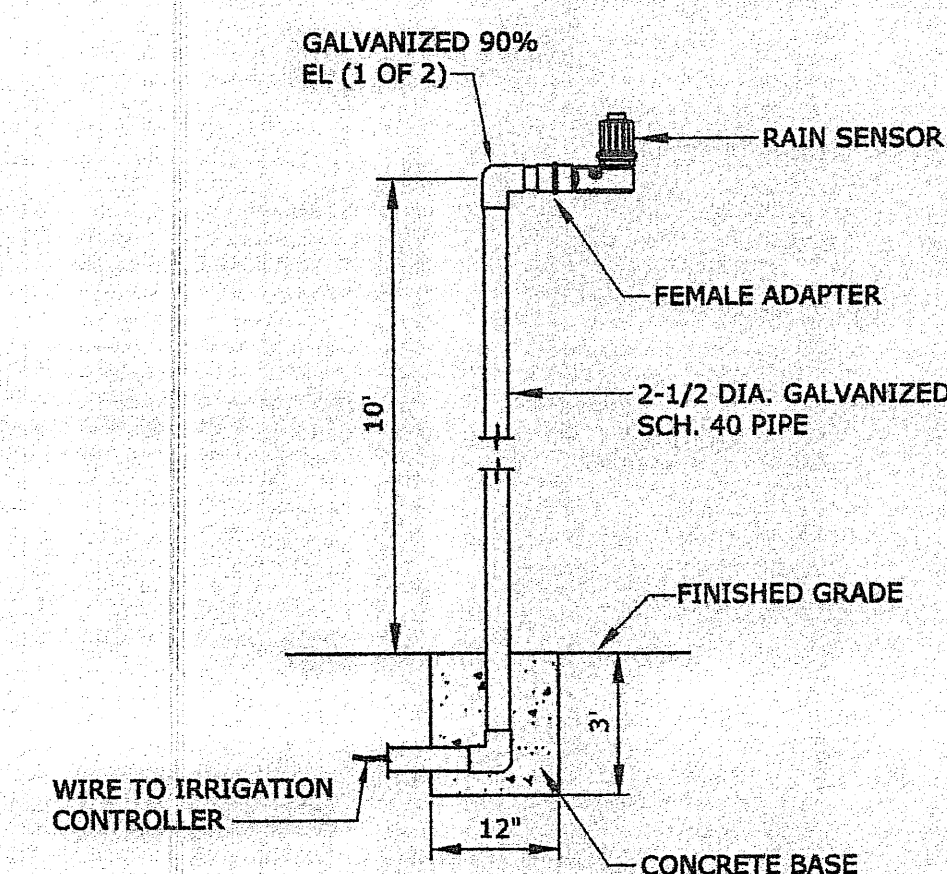
GROUNDING RODS SERVE AS ELECTRODES FOR DEVICES TO DISSIPATE THE SURGE INTO THE EARTH. CAREFULLY READ THE FOLLOWING INSTALLATION INSTRUCTIONS:

1. ALWAYS USE A 5/8" x 8' COPPER CLAD ROD.
2. RUN A #10 OR LARGER BARE COPPER WIRE FROM THE DEVICE TO THE ROD.
3. KEEP THE GROUND WITNES AS SHORT AND STRAIGHT AS POSSIBLE FROM THE DEVICE TO THE FIRST TUD.
4. CLAMP ALL WIRES TO THE GROUNDING ROD. DO NOT SOLDER OR TAPE THEM TO THE ROD.
5. ALWAYS USE A SEPARATE CLAMP TO ATTACH EACH WIRE TO A ROD.
6. TO INSTALL GROUNDING ROD, USE GK-TOOLS ROD DRIVING SLEEVE.
7. SPACE THREE RODS IN A TRIANGULAR GRID AT LEAST 8' APART FROM THE OTHERS IN THE GRID. CONNECT ALL THREE RODS WITH A SOLID #10 COPPER WIRE.
8. WHEN TESTED WITH THE PROPER EQUIPMENT, GRIDS SHOULD HAVE AN EARTH RESISTANCE NO GREATER THAN 15 OHMS.
9. WHENEVER MORE THAN ONE WIRE IS ATTACHED TO A GROUNDING ROD ALWAYS USE A SEPARATE CLAMP FOR EACH WIRE. TRYING TO INSTALL MORE THAN ONE WIRE PER CLAMP COULD CAUSE A POOR CONNECTION RESULTING IN HIGH RESISTANCE LEVELS.



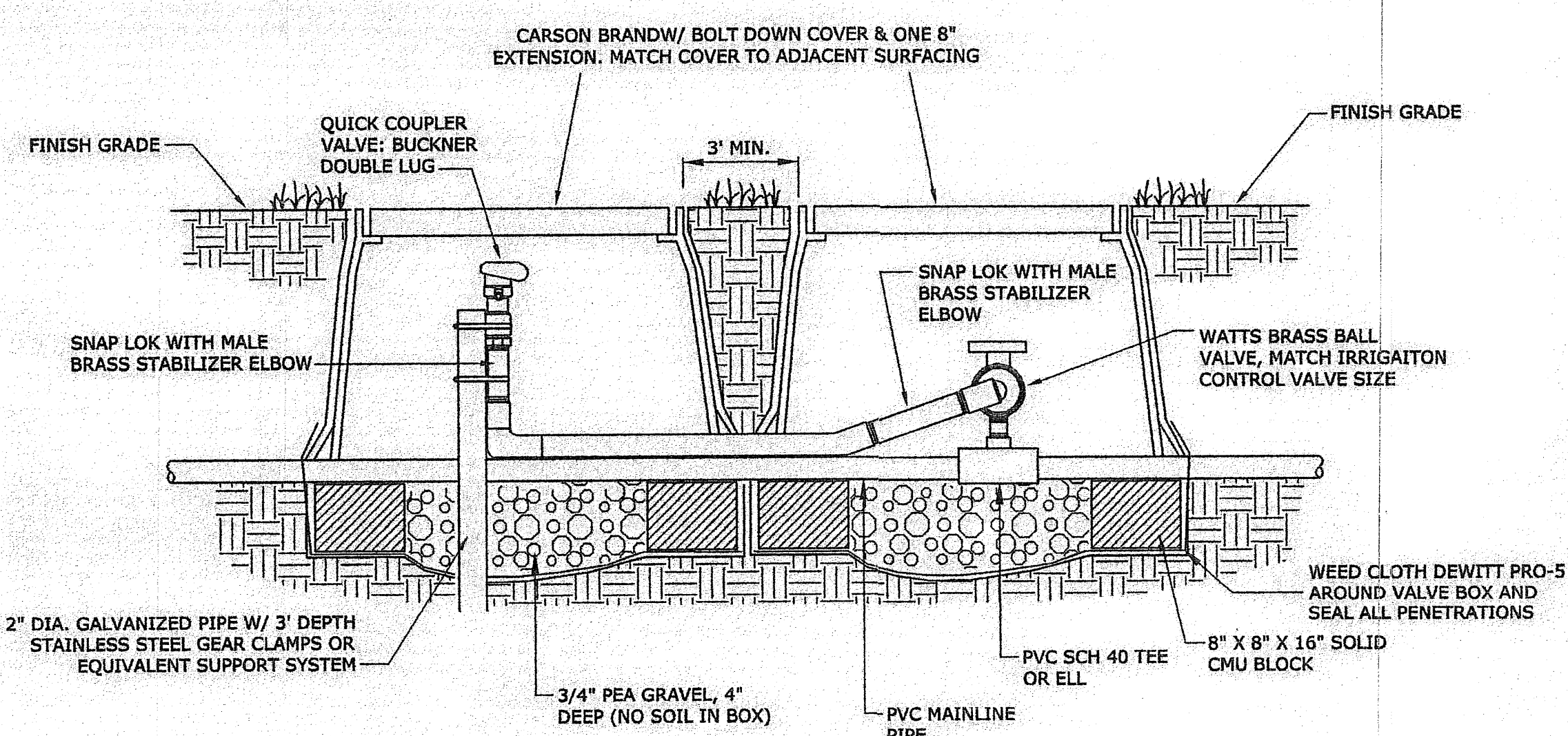
**GROUNDING WIRES IN GRID DETAIL**

NOT TO SCALE



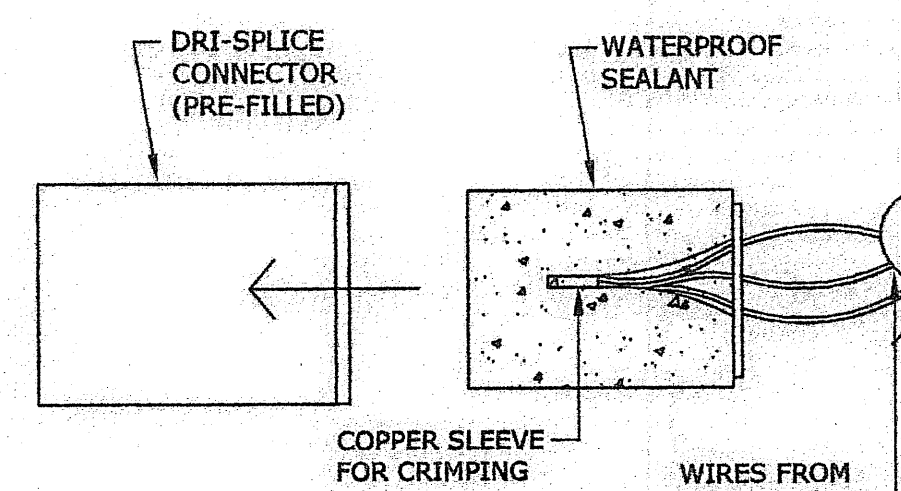
**RAIN SENSOR DETAIL**

NOT TO SCALE



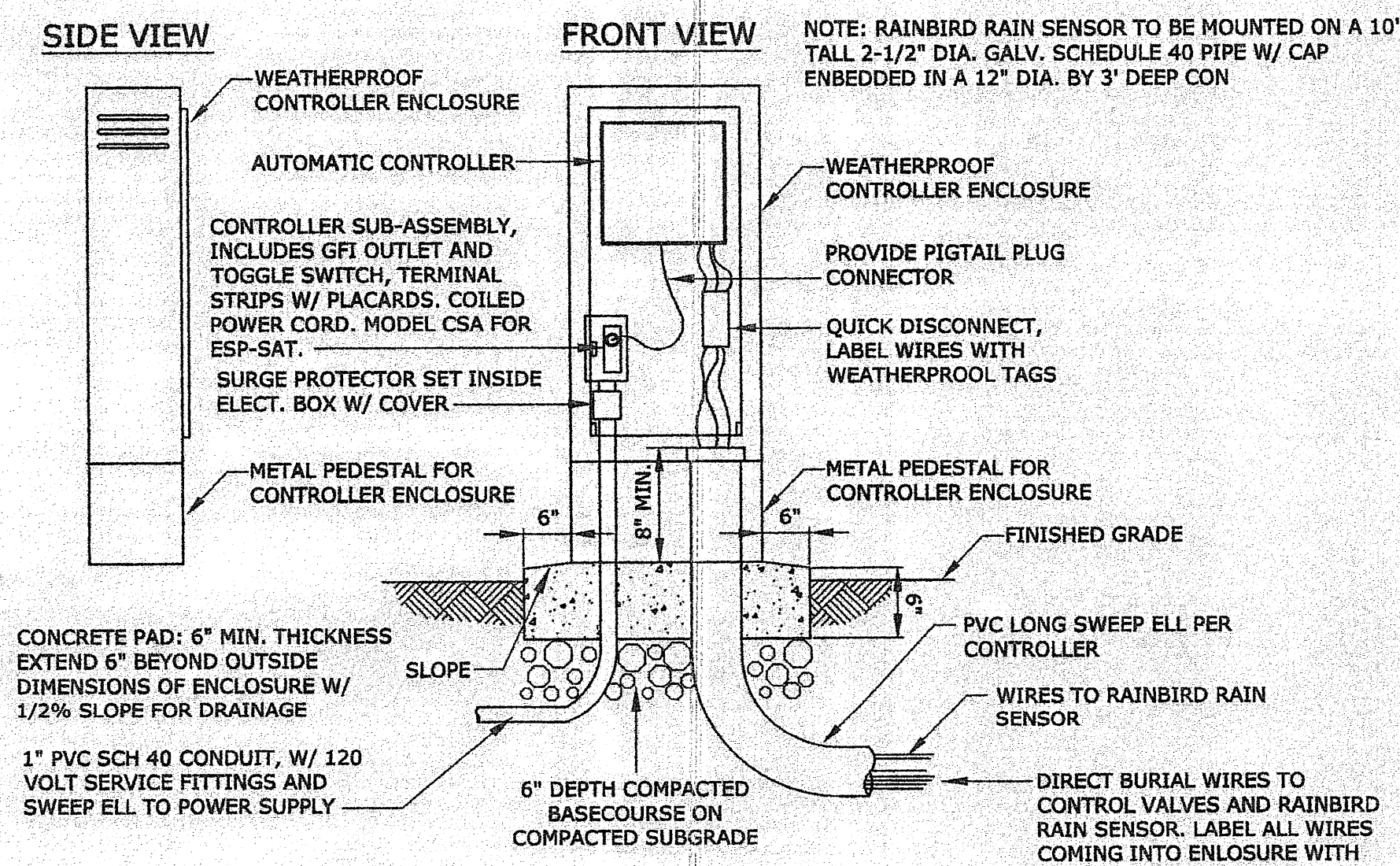
**QUICK COUPLER DETAIL**

NOT TO SCALE



**WIRE CONNECTORS**

NOT TO SCALE

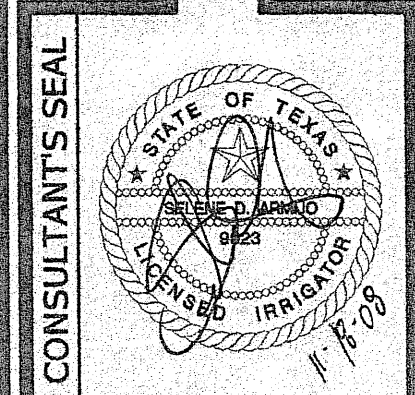


**CONTROLLER ASSEMBLY & ENCLOSURE DETAIL**

NOT TO SCALE

11/17/08  
FILE: R0/GRANVISTA-LANDNEW.DWG  
DESIGN BY: S.A.  
DRAWN BY: S.A. & C.H.  
CHECKED BY: J.B.

REVISIONS:  
DATE:  
DESCRIPTION:



desert elements  
LANDSCAPE DESIGN  
13 ardo vno dr., sanland park, nm 88043  
de-jennifer@dep.ir.com 575.899.9100

GRAN VISTA PARK  
1157 MONTERA ROAD  
GRAND VISTA ESTATES UNIT ONE,  
LOT 14, BLOCK 1  
CITY OF EL PASO, EL PASO COUNTY, TEXAS.  
CONTAINING 1.00 ACRES

IRRIGATION DETAILS

L-5  
SHEET 5 OF 5

PARKS DEPARTMENT  
Antonio del Rio 4/12/12  
Approved