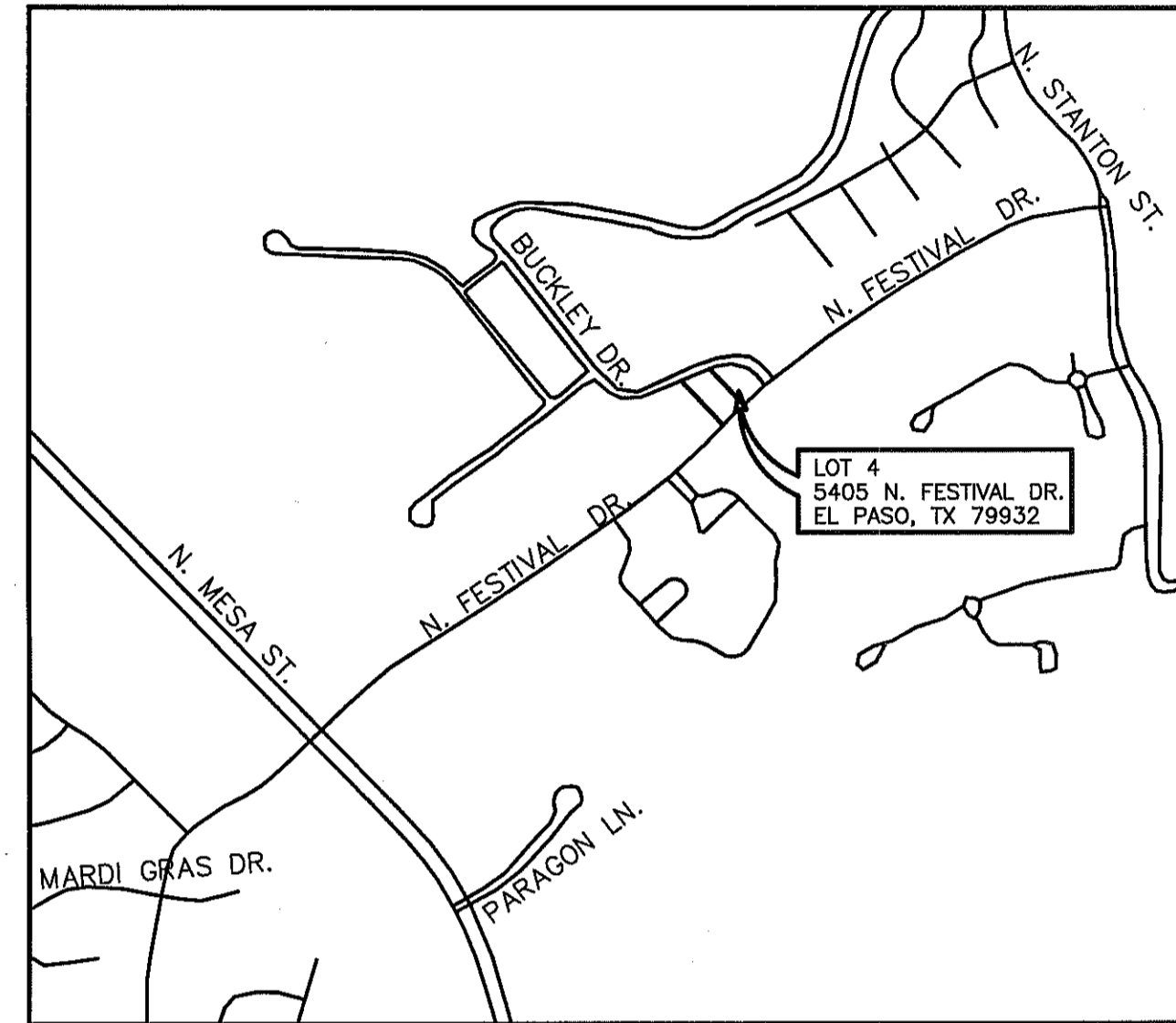


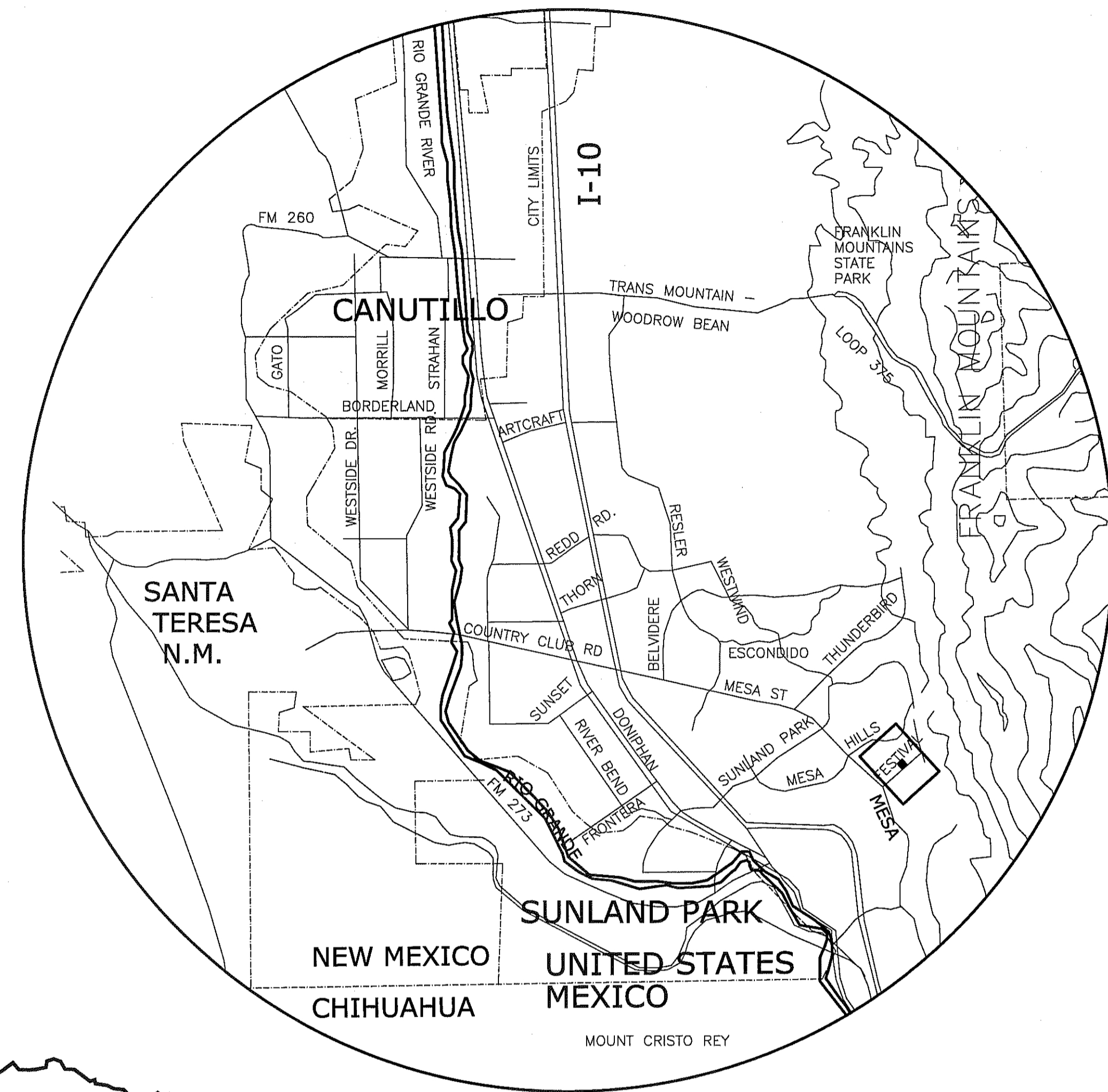
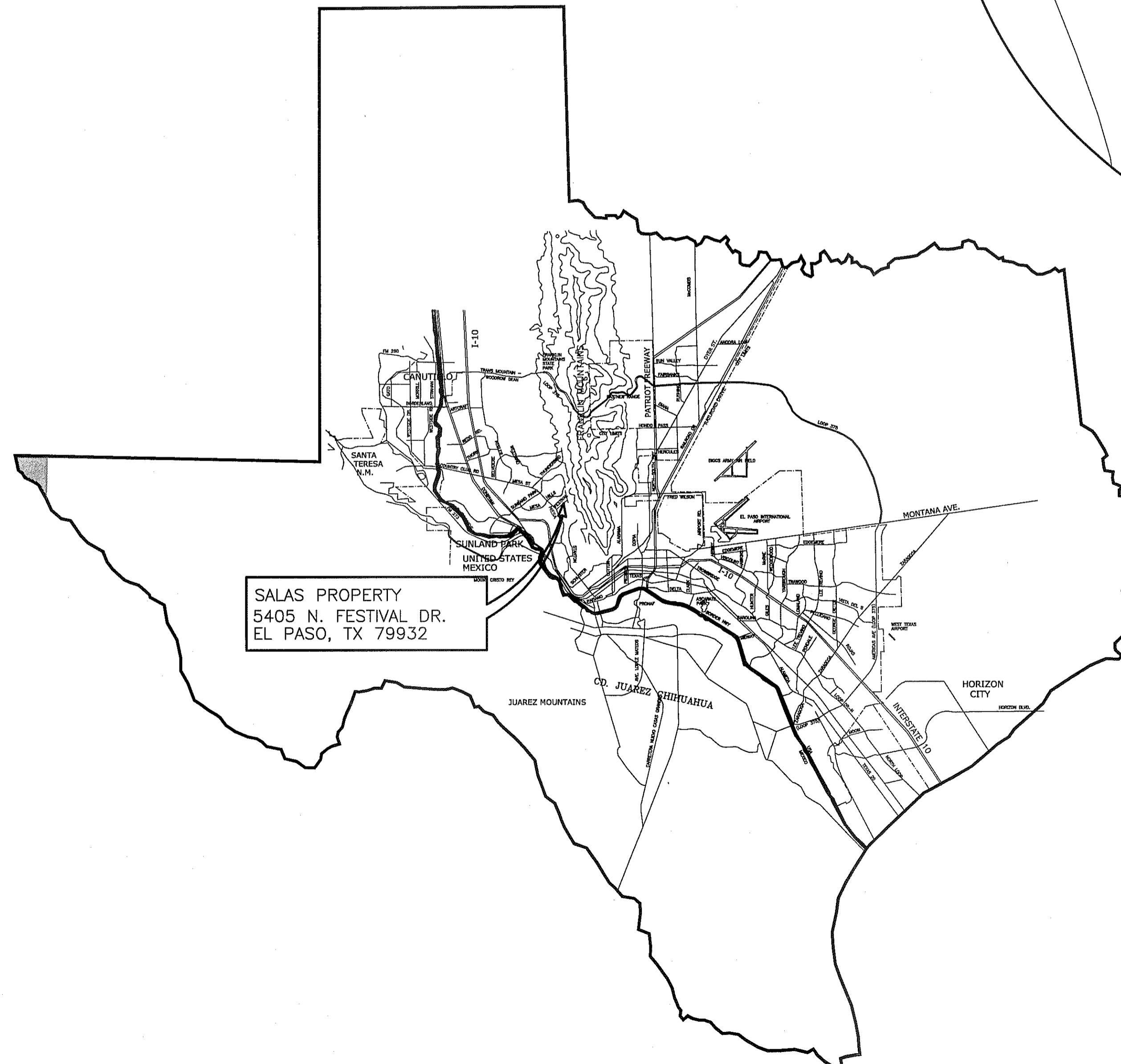
# "FESTIVA HILLS ADDITION, REPLAT A"



**LOCATION MAP**  
1" = 1,200'

## INDEX SHEET

COVER SHEET	1 OF 8
EXISTING SITE PLAN	2 OF 8
PROPOSED FINAL PLAT BY OTHERS	3 OF 8
DEMOLITION PLAN	4 OF 8
PROPOSED DRAINAGE PLAN	5 OF 8
SECTIONS	6 OF 8
DETAILS	7 OF 8
POLLUTION PREVENTION PLAN	8 OF 8



DEVELOPMENT SERVICES DEPARTMENT  
**SITE PLAN REVIEW**  
 Reviewed For Conformance For Conditions Related To:  
 Demolition Only / Grading & Drainage / Wheelchair Ramps / On Site Parking Layout / Sidewalks / Driveways / Retaining Rock Walls / On-Site Ponding of Storm Waters  
 Contractor Must Call 24 Hours Prior To Construction For Inspection  
 BY *Jose Vazquez* DATE *6-05-12*

5/4/12  
  
*S. Nunez*

**SPECTRUM ENGINEERING**  
 TEXAS FIRM REG. F-5366  
 CIVIL - STRUCTURAL - CONSULTING  
 7100 W. HUNTER BLVD. SUITE 270  
 EL PASO, TX 79912  
 TELEPHONE: (915) 885-8811  
 FAX: (915) 885-8815  
 EMAIL: SUNEZ@SPECTRUMENR.COM

05/04/12  
  
 SALVADOR NUNEZ, P.E.  
 LICENSE NO. 66523

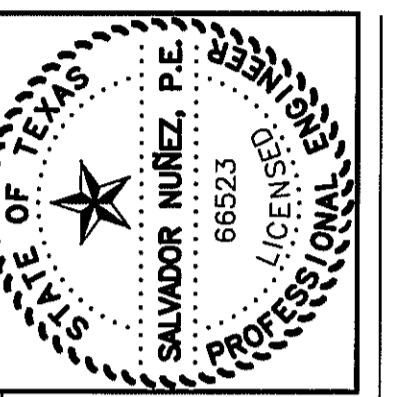
**FESTIVA HILLS ADDITION, REPLAT A**  
 BEING ALL OF LOT 2, 3 AND 4,  
 BLOCK 1, FESTIVA HILLS ADDITION  
 CITY OF EL PASO, EL PASO COUNTY, TEXAS  
 CONTAINING:  
 47,917.35 SQ. FT.  
 OR 1.1000 ACRES±

SHEET TITLE  
 COVER SHEET  
**1 OF 8**

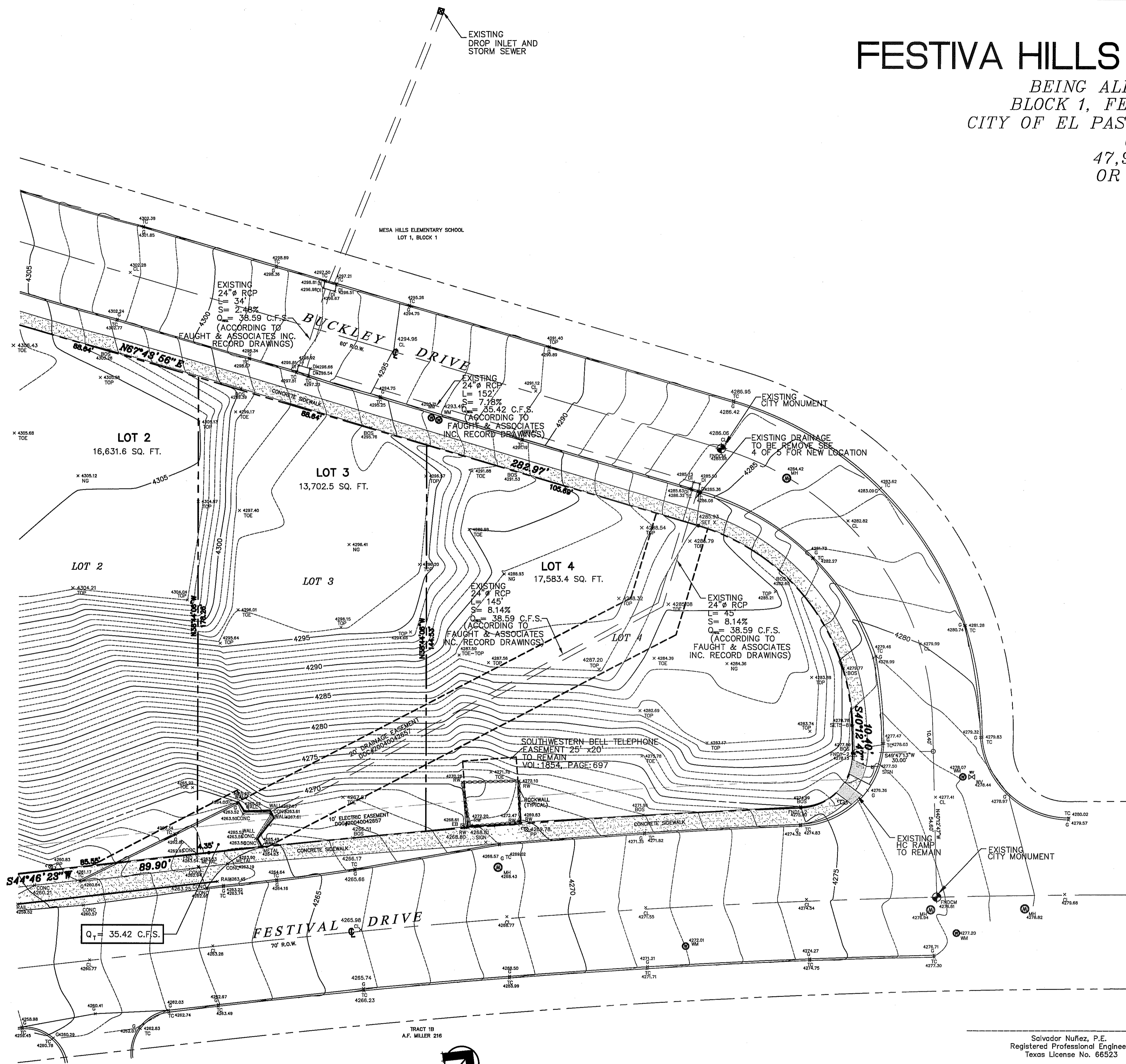
# FESTIVA HILLS ADDITION, REPLAT A

BEING ALL OF LOT 2, 3 AND 4,  
BLOCK 1, FESTIVA HILLS ADDITION  
CITY OF EL PASO, EL PASO COUNTY, TEXAS  
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TEXAS FIRM  
REG.: F-5386  
**SPECTRUM  
ENGINEERING**  
CIVIL - STRUCTURAL - CONSULTING  
7100 WESTWIND DR., SUITE 270  
FARMVILLE - (915) 585-2255  
E-MAIL: SPECTRUM@SPEL.COM



**FESTIVA HILLS ADDITION, REPLAT A**  
BEING ALL OF LOT 2, 3 AND 4,  
BLOCK 1, FESTIVA HILLS ADDITION  
CITY OF EL PASO, EL PASO COUNTY, TEXAS  
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LEGEND	
CL	= CENTERLINE STREET
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**LEGAL DESCRIPTION**  
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BLOCK 1, FESTIVA HILLS ADDITION  
CITY OF EL PASO, EL PASO COUNTY, TEXAS  
CONTAINING:  
47,917.35 SQ. FT.  
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**FLOOD ZONE:**  
THIS PROPERTY LIES IN ZONE "C",  
AS DESIGNATED BY F.E.M.A.;  
CITY OF EL PASO,  
COMMUNITY PANEL NO. 480214-0028-C, DATED 02-05-86

## EXISTING SITE PLAN

SCALE: 1" = 20.0'

CONSULTING COMPANY  
1790 N. LEE TREVIÑO DR. SUITE 503  
EL PASO, TEXAS 79936  
TEL (915) 633-6422

Salvador Nuñez, P.E.  
Registered Professional Engineer  
Texas License No. 66523

**NOTES:**  
RESTRICTIVE COVENANTS FOR THIS SUBDIVISION ARE FILED IN THE OFFICE OF THE COUNTY CLERK, DEED AND RECORD SECTION.  
INSTRUMENT No. \_\_\_\_\_ BOOK \_\_\_\_\_ PAGE \_\_\_\_\_ DATE \_\_\_\_\_  
SET 5/8" REBAR AT ALL EXTERIOR BOUNDARY CORNERS.  
TAX CERTIFICATE FOR THIS SUBDIVISION ARE FILED IN THE OFFICE OF THE COUNTY CLERK, DEED AND RECORD SECTION.  
INSTRUMENT No. \_\_\_\_\_ BOOK \_\_\_\_\_ PAGE \_\_\_\_\_ DATE \_\_\_\_\_  
TIES SHOWN TO EXISTING CITY MONUMENTS ARE BASED ON RECORD INFORMATION ONLY.  
POSTAL DELIVERY SERVICE WITHIN THE SUBDIVISION WILL BE PROVIDED USING NEIGHBORHOOD DELIVERY AND COLLECTION BOXES.  
THIS PROPERTY LIES IN ZONE "C", AS DESIGNATED BY F.E.M.A.; CITY OF EL PASO, JANUARY 03, 1997, COMMUNITY PANEL NO. 480214-0021 D.  
WATER SUPPLY AND SEWAGE DISPOSAL WILL BE PROVIDED BY THE EL PASO WATER UTILITIES

ENGINEERING & CONSTRUCTION  
MANAGEMENT DEPARTMENT  
REVIEWED  
5/4/12  
STATE OF TEXAS  
SALVADOR NUÑEZ  
66523  
LICENSED PROFESSIONAL ENGINEER

DATE ISSUED:	09-08-10
REVISION:	
▲	01-13-12
▲	03-27-12
▲	05-04-12

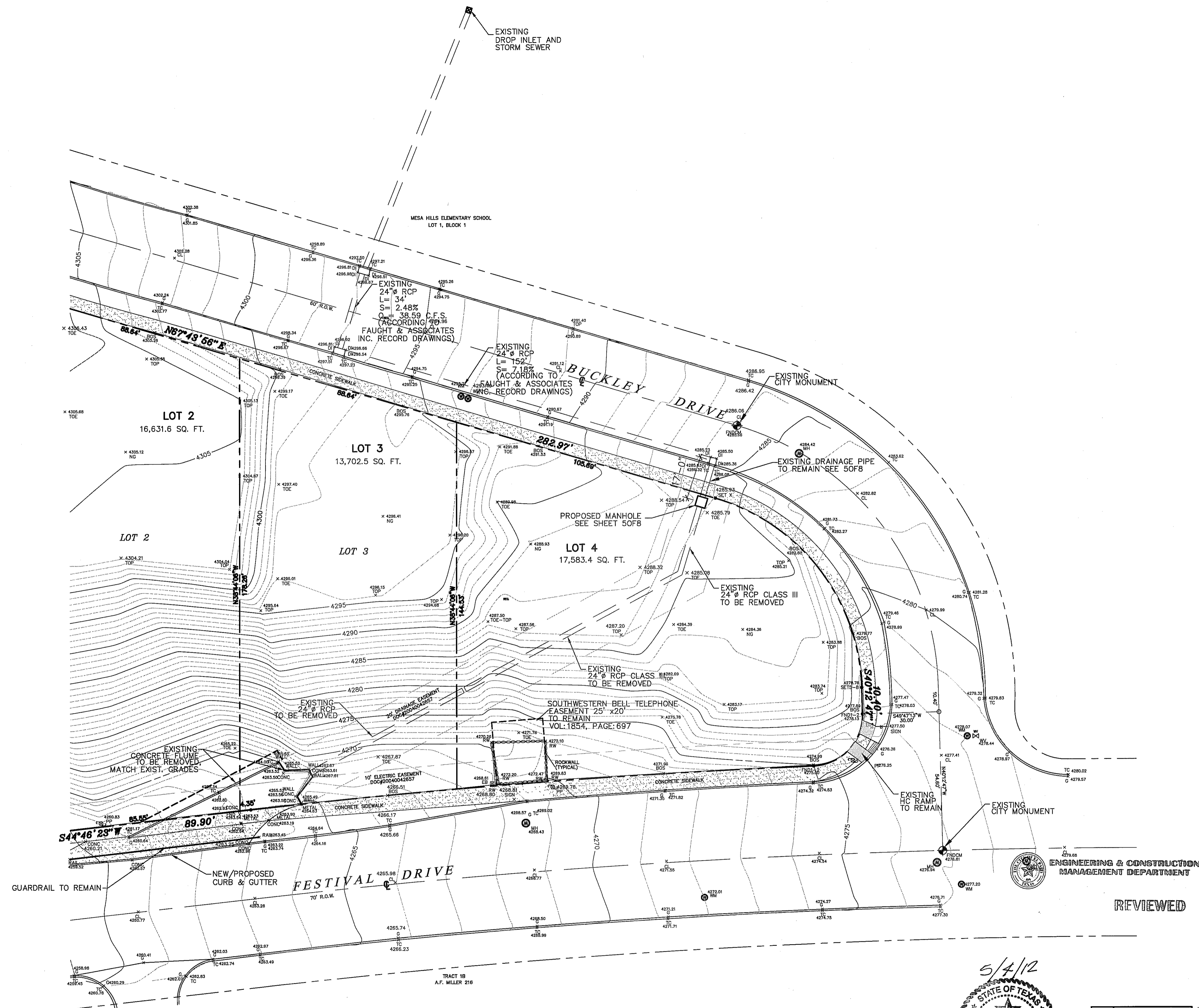
SHEET TITLE  
EXISTING SITE PLAN

2 OF 8



# GENERAL NOTES

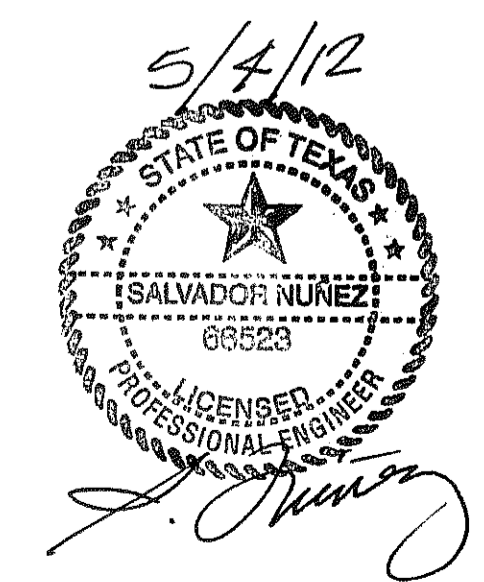
1. WARNING! BEFORE EXCAVATING CONTRACTOR SHALL LOCATE AND PROTECT ALL UNDERGROUND UTILITY LINES. CONTRACTOR SHALL REPLACE ANY UTILITIES DAMAGED DURING CONSTRUCTION, AT NO ADDITIONAL COST TO THE OWNER.
2. CONTRACTOR SHALL WATER CONSTRUCTION SITE AREA A MINIMUM OF TWICE A DAY TO KEEP DUST TO A MINIMUM - ONCE IN THE MORNING AND ONCE IN THE AFTERNOON. THIS SHALL BE DONE ON WEEKENDS AND HOLIDAYS.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR PREVENTING THE EROSION OF SILT, SEDIMENT, OR OTHER MATERIAL FROM THE CONSTRUCTION SITE ONTO ADJACENT STREETS AND PROPERTIES.
4. THIS GRADING PLAN SHALL BE COORDINATED WITH OTHER APPLICABLE CONSTRUCTION DRAWINGS FOR DIMENSIONS AND LAYOUT.
5. FILL MATERIALS FOR SITE GRADING AND BACKFILL MAY CONSIST OF ONSITE AND/OR IMPORTED MATERIALS IN COMPLIANCE WITH THE FOLLOWING:
  - FILL MATERIALS SHALL BE FREE OF ANY ORGANIC OR DELETERIOUS SUBSTANCE AND SHALL NOT CONTAIN ROCKS OR LUMPS OVER 4 INCHES IN GREATEST DIMENSION.
  - FILL MATERIALS SHALL BE CLASSIFIED IN ACCORDANCE WITH ASTM D-2447. SOILS CLASSIFIED AS GW, GP, GC, GM, GC-GM, GP-GC, SW, SP, SC, SM, SC-SM, SP-SM, GP-SM ARE CONSIDERED SATISFACTORY. SOILS WITH A PLASTICITY INDEX OF GREATER THAN 12 OR IF CLASSIFIED AS PT, OL, OH, ML, CL, OR CH SHALL BE CONSIDERED UNSATISFACTORY.
  - THE SURFACE ON WHICH FILL MATERIAL IS TO BE PLACED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 6 INCHES, WATERED TO ADD THE AMOUNT OF MOISTURE REQUIRED FOR OPTIMUM COMPACTION, AND THEN COMPACTED TO 95% OF MAXIMUM DENSITY IN ACCORDANCE WITH ASTM D-1557.
  - FILL MATERIAL SHALL BE PLACED IN LIFTS NOT EXCEEDING 8 INCHES UNCOMPACTED DEPTH WITH MOISTURE CONTENT AT PLUS OR MINUS 2 PERCENT OF OPTIMUM. EACH LIFT SHALL BE COMPACTED TO 95 PERCENT OF MAXIMUM DENSITY IN ACCORDANCE WITH ASTM D-1557.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING IMPROVEMENTS IN THE PROJECT AREA AND ITS VICINITY. ANY DAMAGES RESULTING FROM THE CONTRACTOR'S CONSTRUCTION WORK SHALL BE REPAIRED TO ITS ORIGINAL CONDITION BY THE CONTRACTOR, AT NO COST TO THE OWNER.
7. CONTRACTOR SHALL PROVIDE SILT BARRIER AS REQUIRED IN THE FIELD.
8. CONTRACTOR SHALL OBTAIN AND FOLLOW THE PAVEMENT DESIGNS SPECIFICATIONS BY A QUALIFIED ENGINEER USING SITE SPECIFIC GEOTECHNICAL INVESTIGATION.
9. CONTRACTOR SHALL SECURE A TRAFFIC CONTROL PLAN PERMIT AND COORDINATE ANY TRAFFIC SIGNAGE ISSUES AND CONCERNS WITH EPDOT RUBEN GONZALEZ AT (815) 621-6750.
10. ALL SIGNAGE SHALL BE INSTALLED A MINIMUM OF 3 FEET FROM BACK OF THE CURB OR EDGE OF STRIPING, AND OUTSIDE OF ANY PROPOSED SIDEWALKS OR 3 FOOT CONCRETE BUFFERS. ALL SIGNS SHALL FACE THE DIRECTION OF TRAFFIC IT IS INTENDED TO CONTROL AND SHALL BE PLACED AS NOT TO CREATE A VISUAL HAZARD FOR VEHICLE OR PEDESTRIAN TRAFFIC.
11. ANY DAMAGES TO TRAFFIC SIGNAL INFRASTRUCTURES WILL BE REPAIRED BY THE CONTRACTOR AT NO EXPENSE TO THE CITY OF EL PASO. REPAIRS SHALL BE PERFORMED UNDER THE SUPERVISION OF THE CITY'S DEPARTMENT OF TRANSPORTATION AND UNDER FULL COMPLIANCE WITH THE CITY'S STANDARDS.



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## DEMOLITION PLAN

SCALE: 1" = 20.0'



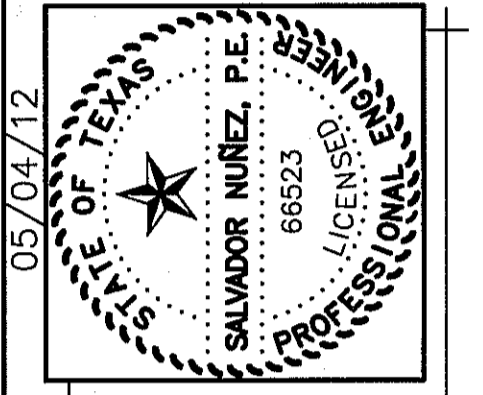
DATE ISSUED:	09-08-10
REVISION:	
▲	01-13-12
▲	03-27-12
▲	05-04-12

TEXAS FIRM REG. F-5386

### SPECTRUM ENGINEERING

CIVIL - STRUCTURAL - CONSULTING

7100 WELLS ROAD, SUITE 200  
FARMVILLE, TX 79121  
PHONE: (817) 885-2855  
FAX: (817) 885-2856  
EMAIL: snyder@spectrum.com



## FESTIVA HILLS ADDITION, REPLAT A

BEING ALL OF LOT 2, 3 AND 4,  
BLOCK 1, FESTIVA HILLS ADDITION  
CITY OF EL PASO, EL PASO COUNTY, TEXAS  
CONTAINING:  
47,917.35 SQ. FT.  
OR 1.1000 ACRES±

SHEET TITLE	DEMOLITION PLAN
4 OF 8	

SUMMARY OF DRAINAGE FLOW RATE CALCULATIONS								
WATERSHED DESIGNATION	RUNOFF COEFFICIENT "C"	REACH LENGTH (ft.)	GROUND SLOPE (%)	TIME OF CONCENTRATION (min.)	RAINFALL INTENSITY (in./hr.)	AREA (ac.)	ESTIMATED FLOW RATE (c.f.s.)	
WS-1	0.53	140	1.0	2.1	6.52	0.4036	1.40	
WS-2	0.53	176.5	21.5	0.757	6.63	0.3145	1.11	
WS-3	0.53	209	23.0	0.840	6.61	0.3818	1.34	
REF: CITY OF EL PASO ENGINEERING DEPARTMENT DRAINING DESIGN MANUAL, JUNE 2008. (DESIGN STORM RETURN PERIOD = 100 YEARS) ESTIMATED FLOW RATE, Q = AC						TOTAL AREA (ac.)	1.0999	3.85

**LEGAL DESCRIPTION**  
 BEING ALL OF LOT 2, 3 AND 4,  
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**FLOOD ZONE:**  
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 CITY OF EL PASO,  
 COMMUNITY PANEL NO. 480214-0028-C, DATED 02-05-86

**ENGINEERING DRAINAGE DESIGN NOTES**

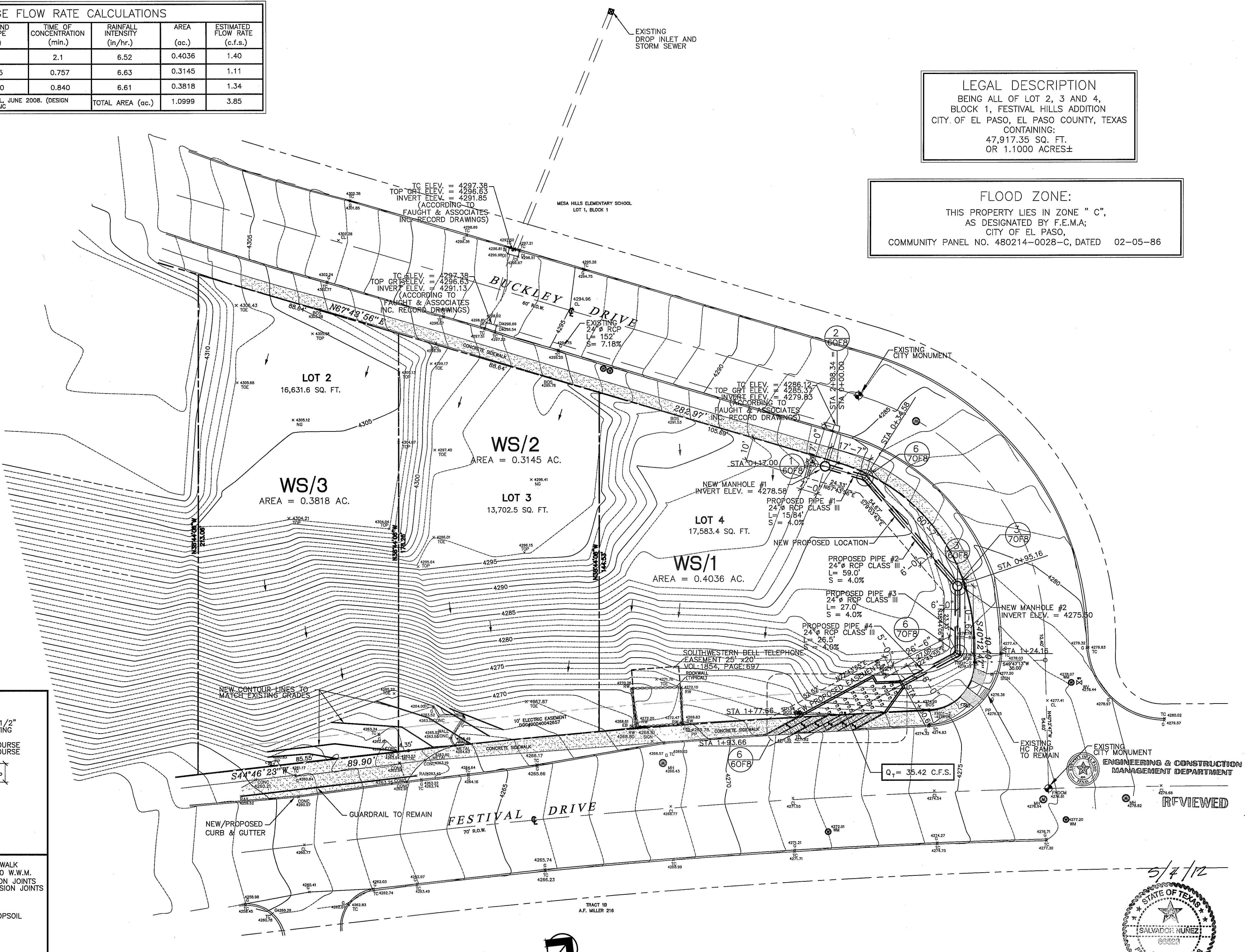
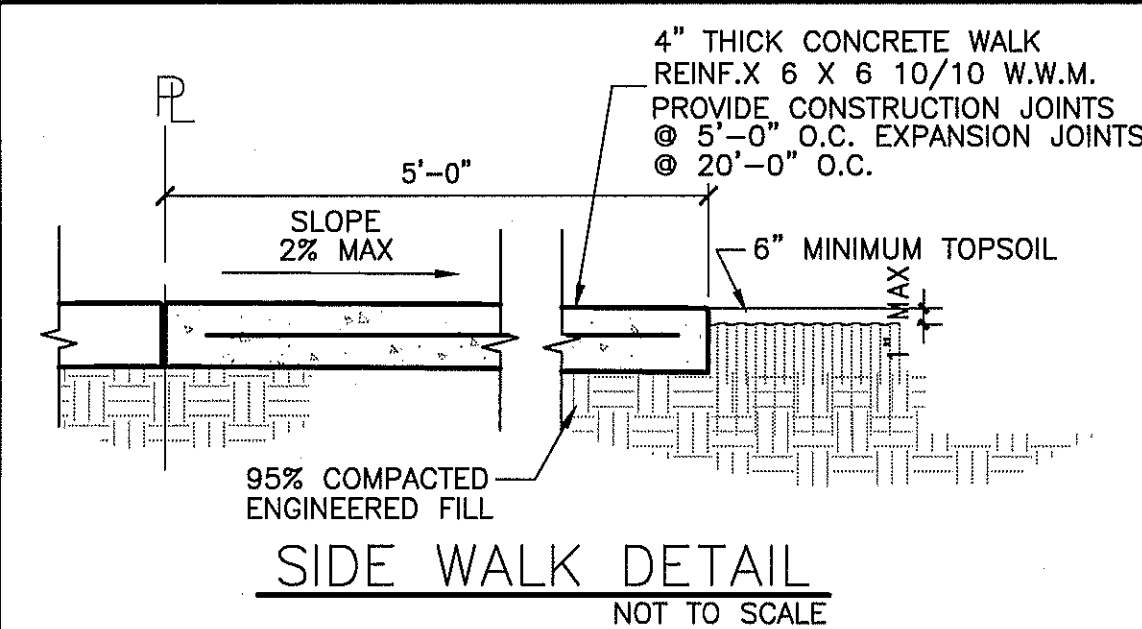
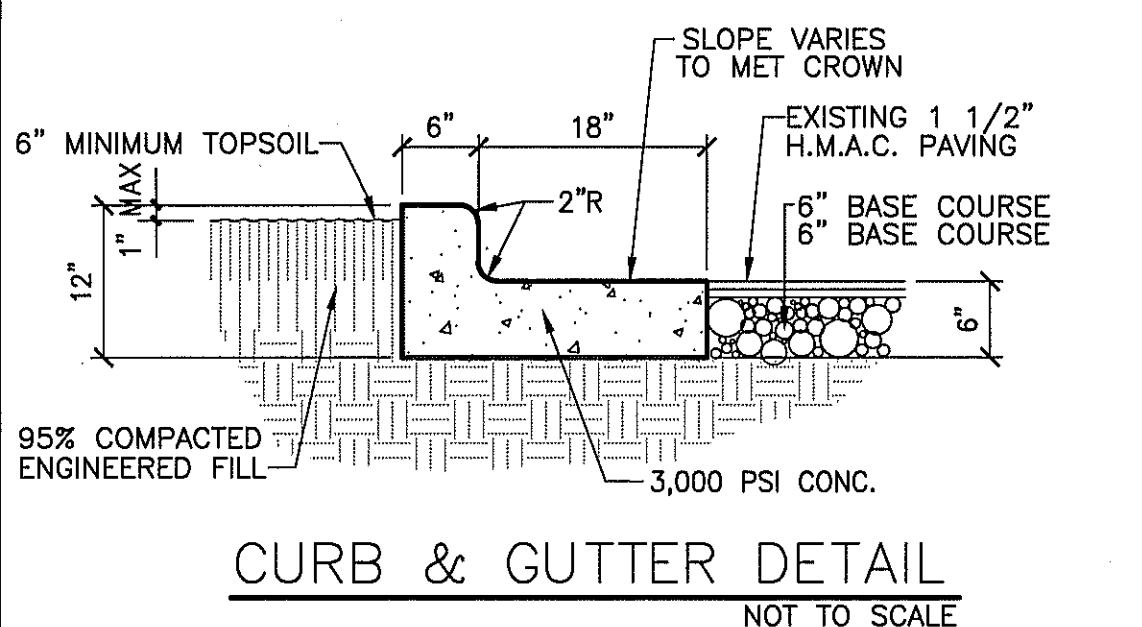
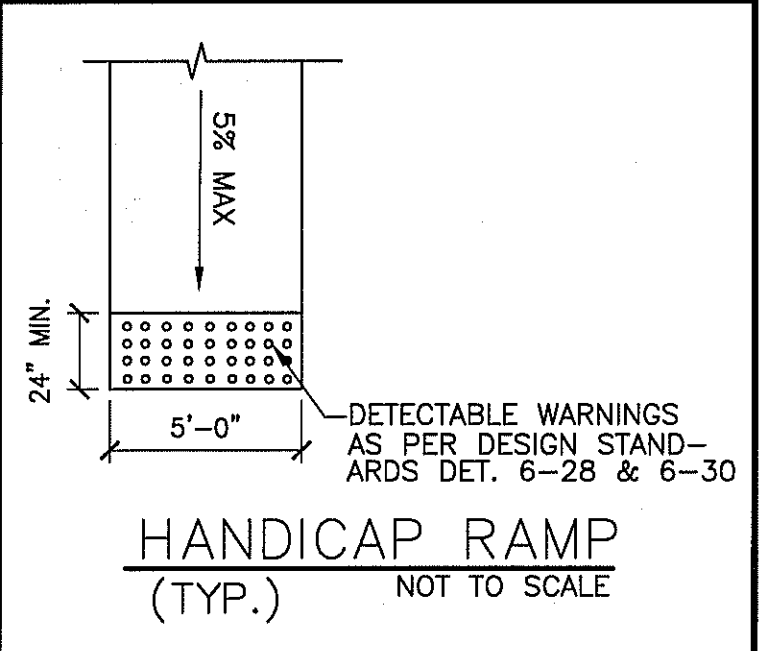
1. ESTIMATED FLOW RATES WERE CALCULATED USING THE CITY OF EL PASO ENGINEERING DEPARTMENT DRAINING DESIGN MANUAL DATED JUNE 2008

2. DESIGN STORM RETURN PERIOD ESTIMATED FOR 100 YEARS

**CALCULATION FORMULAS**

RAINFALL INTENSITY  
 $I_{100} = \frac{140.07}{(T_c + 26.090)^{0.3187}}$

KIRPICH FORMULA  
 $T_c = 0.0078 \left( \frac{L}{S} \right)^{0.77}$



TEXAS FIRM REG. F-5386  
**SPECTRUM ENGINEERING**  
 CIVIL - STRUCTURAL - CONSULTING  
 7100 WESTWIND DR., SUITE 270  
 FARMVILLE, TX 79115 886-2825  
 EMAIL: SPECTRUM@AOL.COM

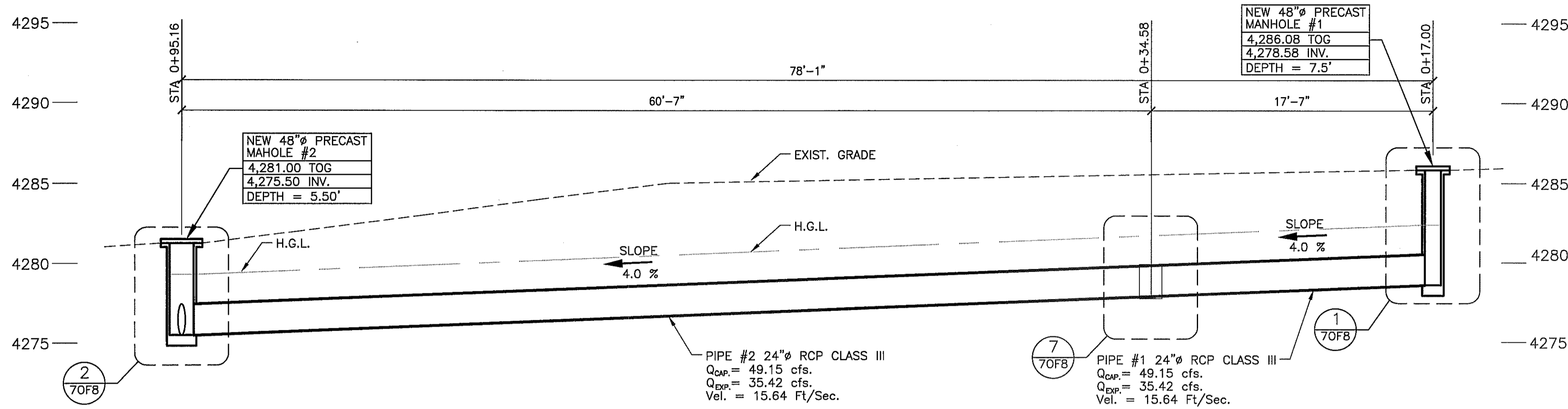
05/04/12  
 STATE OF TEXAS  
 SALVADOR NUÑEZ, P.E.  
 66523  
 LICENSED PROFESSIONAL ENGINEER

**FESTIVAL HILLS ADDITION, REPLAT A**  
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 CITY OF EL PASO, EL PASO COUNTY, TEXAS  
 CONTAINING:  
 47,917.35 SQ. FT.  
 OR 1.1000 ACRES±  
 5405 N. FESTIVAL DR. EL PASO, TEXAS

DATE ISSUED:	09-10-10
REVISION:	01-13-12
	03-27-12
	05-04-12

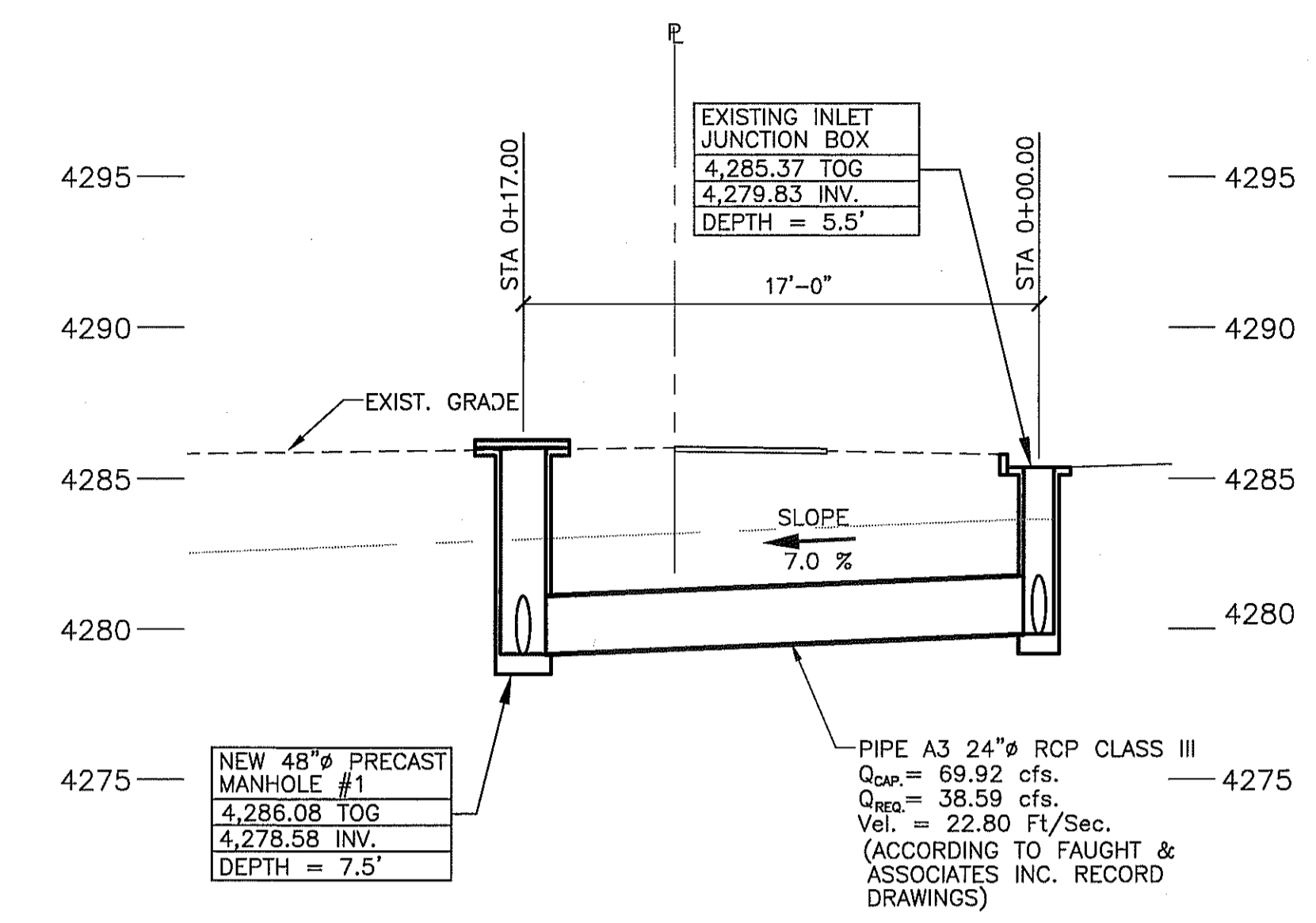
**5 OF 8**

**PROPOSED DRAINAGE PLAN**  
 PROPOSED  
 SCALE: 1" = 20.0'  
 5/7/12  
 STATE OF TEXAS  
 SALVADOR NUÑEZ, P.E.  
 66523  
 LICENSED PROFESSIONAL ENGINEER  
 S. Nuñez



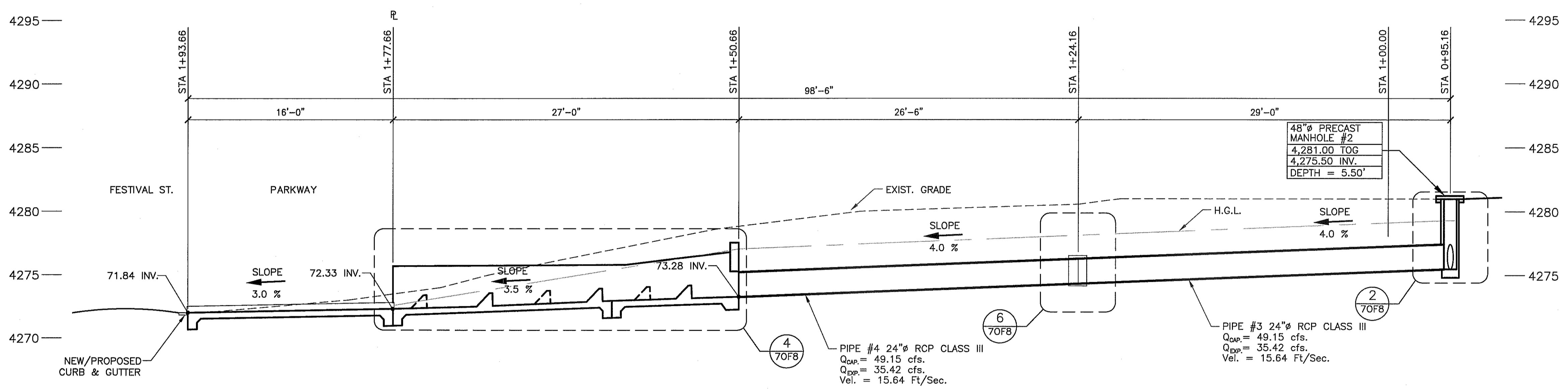
1 PROPOSED PIPE PROFILE

HORIZ. SCALE: 1" = 20'-0"  
VERT. SCALE: 1" = 5'-0"



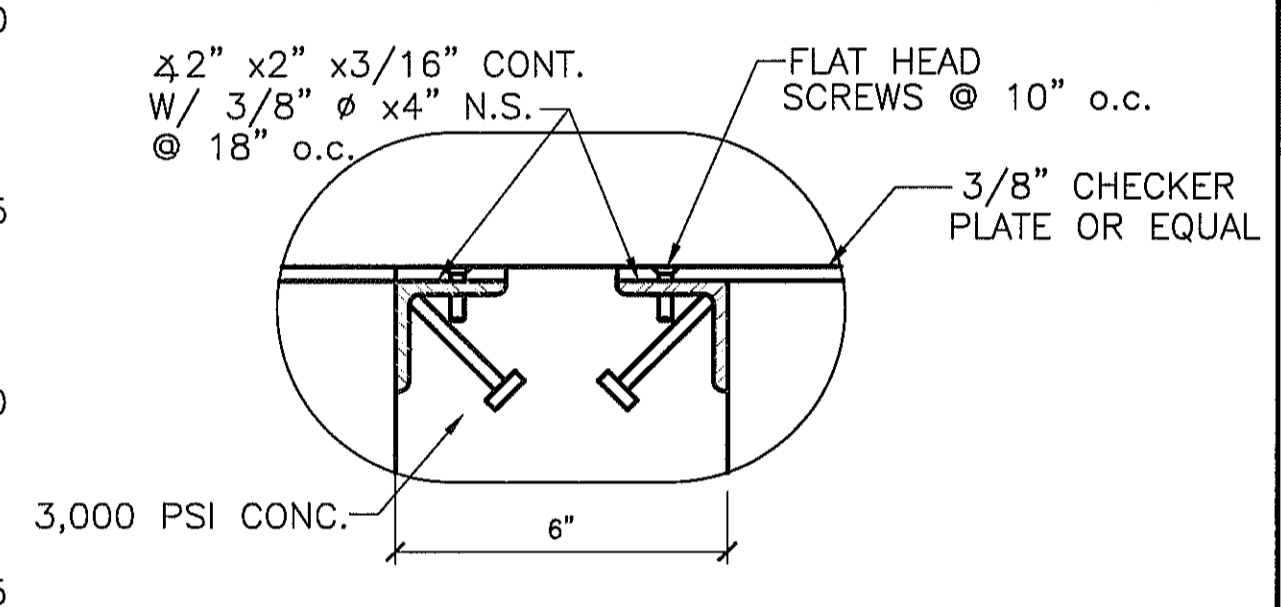
2 EXIST/PROPOSED PIPE PROFILE

HORIZ. SCALE: 1" = 20'-0"  
VERT. SCALE: 1" = 5'-0"



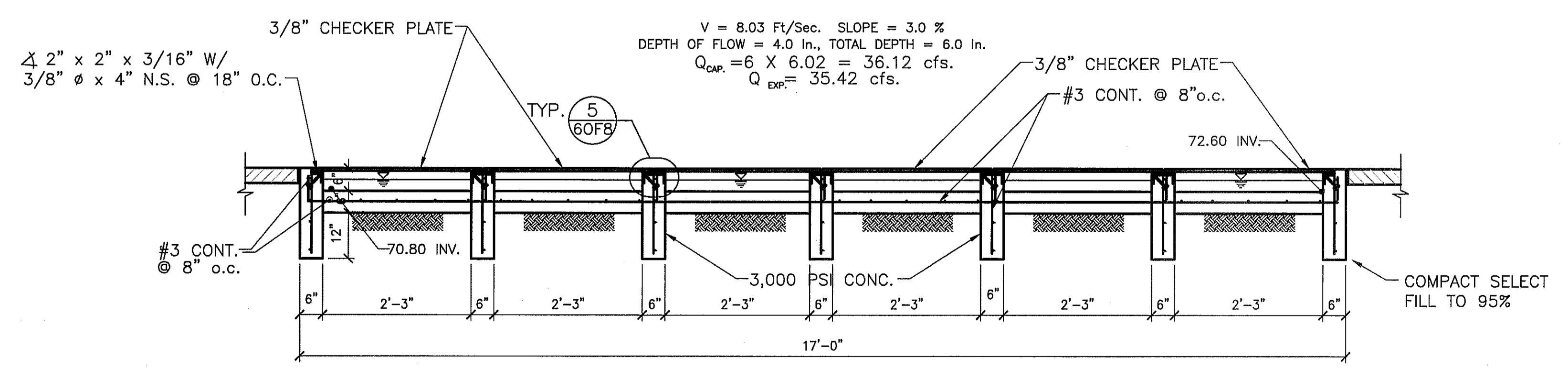
3 PROPOSED PIPE PROFILE

HORIZ. SCALE: 1" = 20'-0"  
VERT. SCALE: 1" = 5'-0"



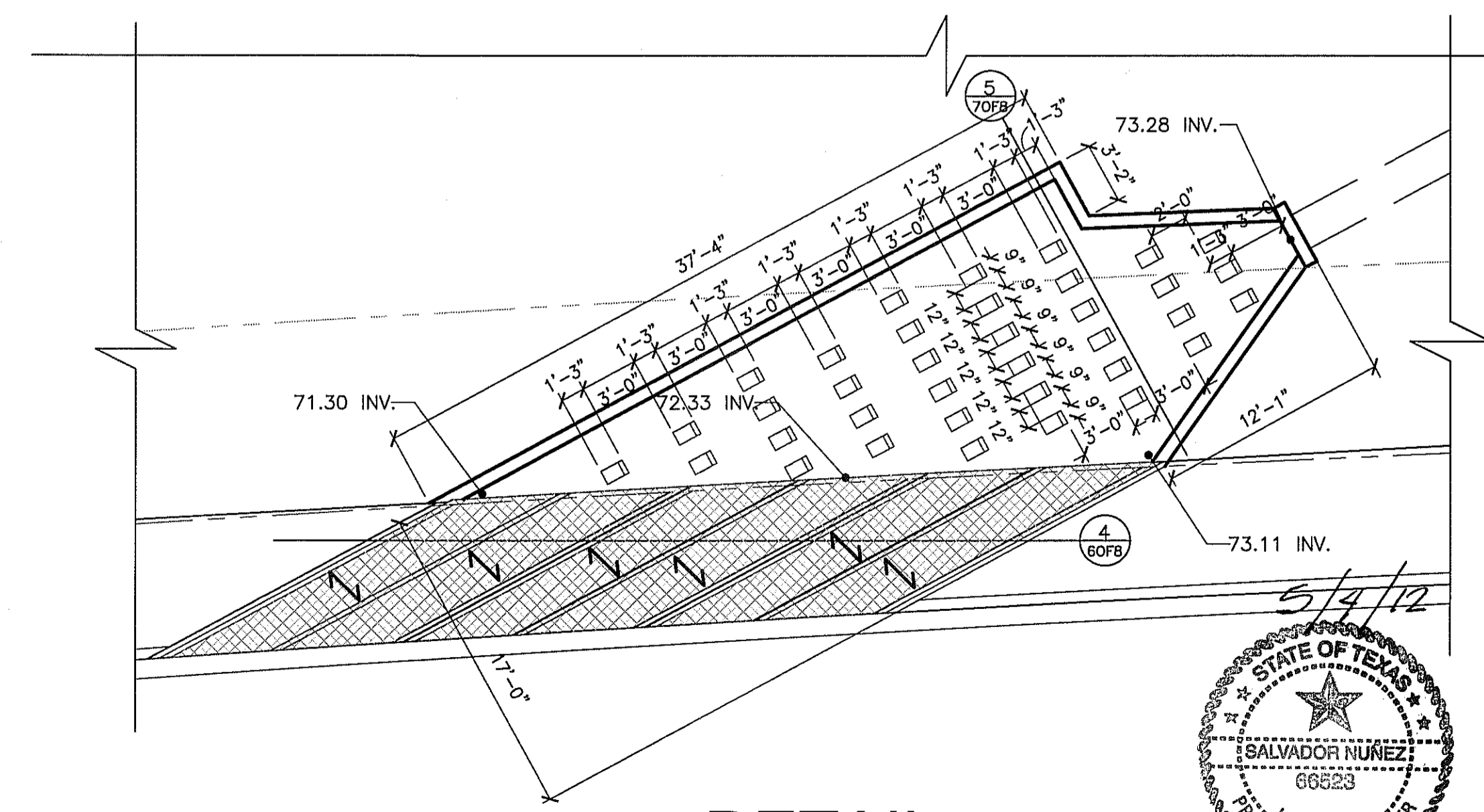
5 DETAIL

SCALE: NONE



4 SECTION

SCALE: 1/2" = 1'-0"



6 DETAIL

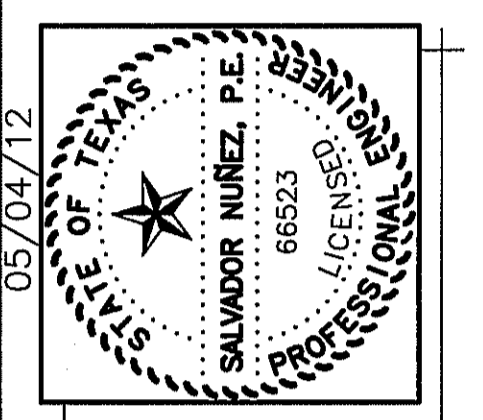
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TEXAS FIRM REG. F-5386

**SPECTRUM ENGINEERING**

CIVIL - STRUCTURAL - CONSULTING

7100 W. HUNTERS TRAIL, SUITE 270  
EL PASO, TX 79912  
TELEPHONE: (915) 885-9011  
FAX: (915) 885-9015  
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05/04/12

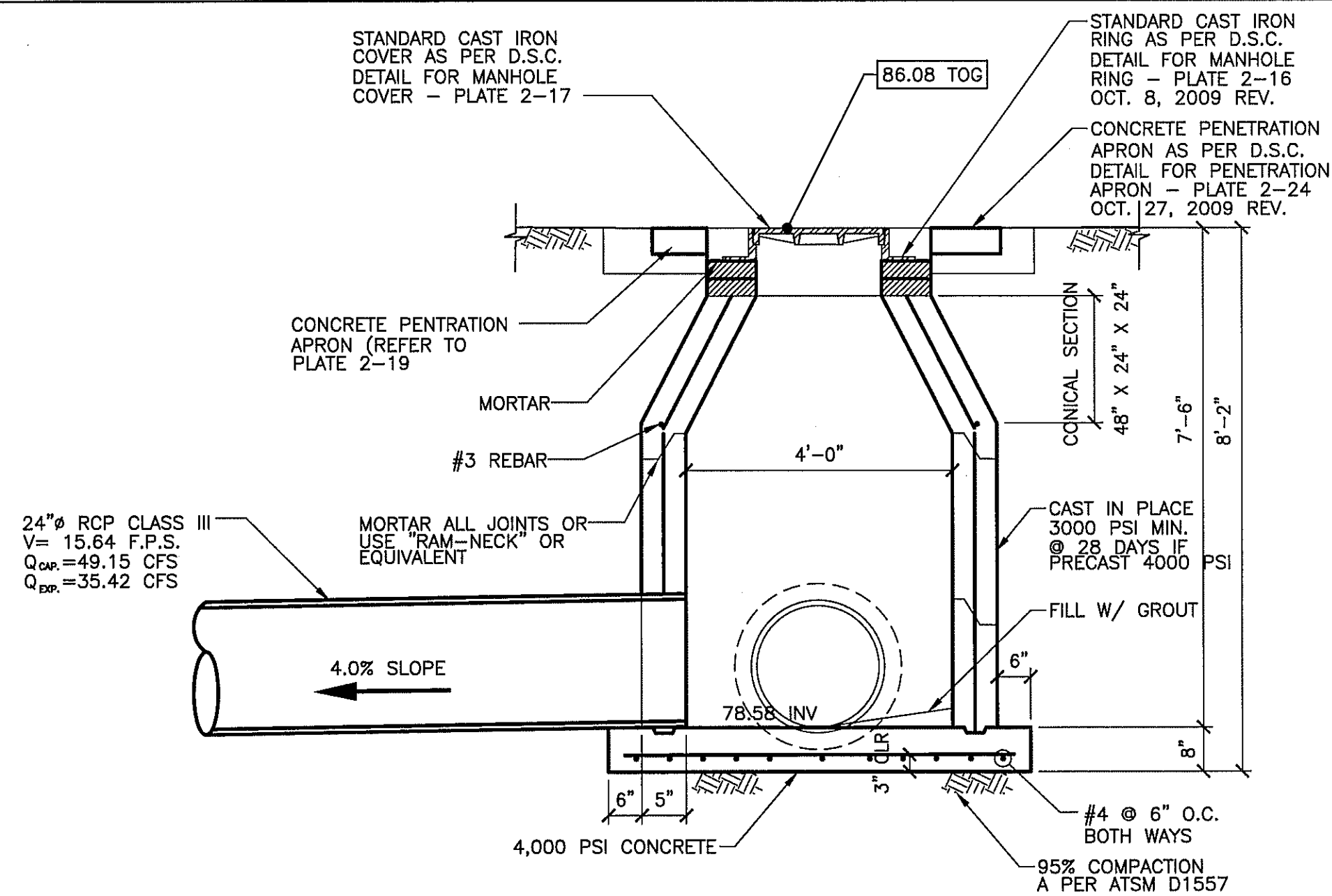
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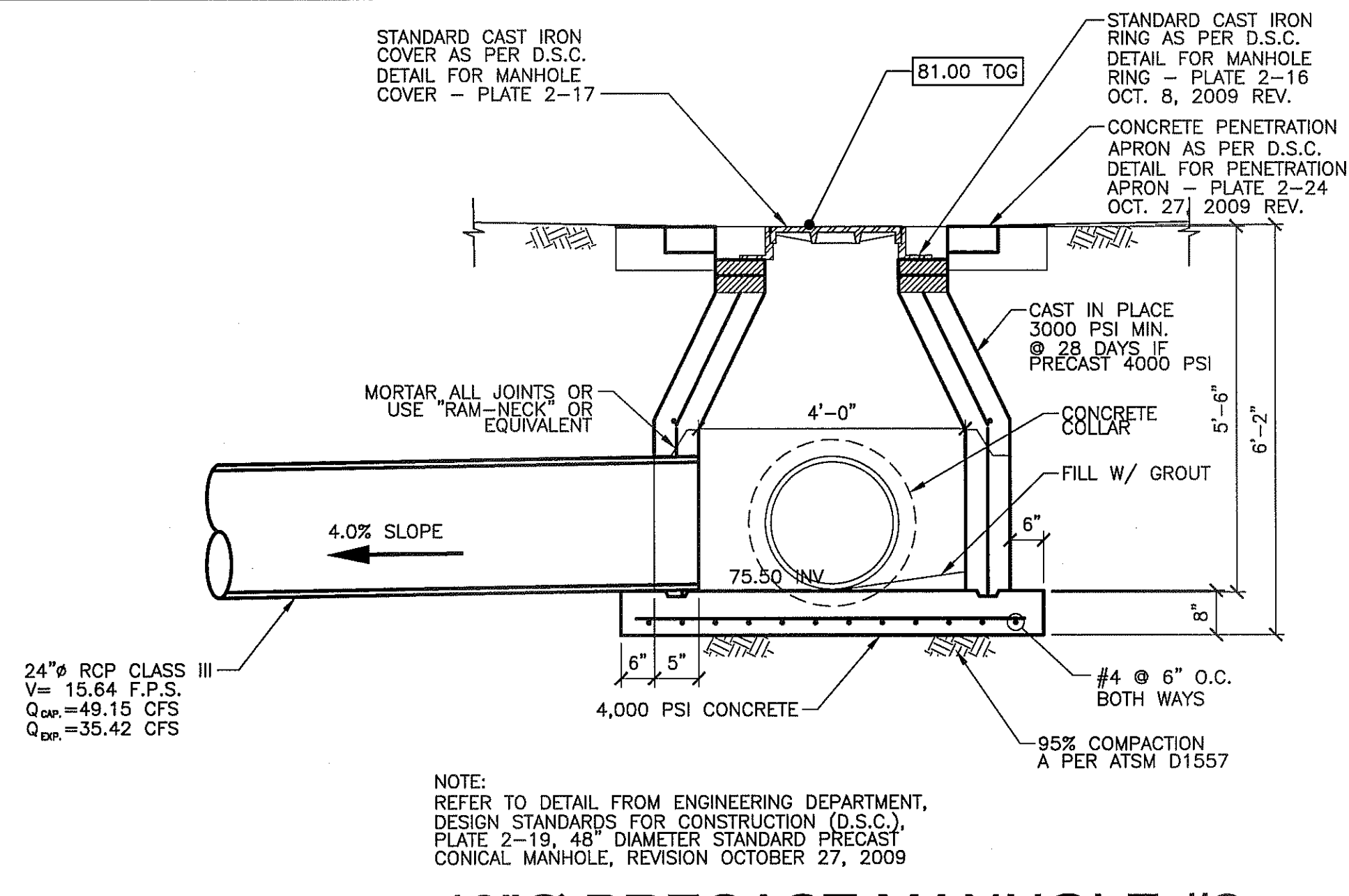
EL PASO, TEXAS

5405 N. FESTIVAL DR.

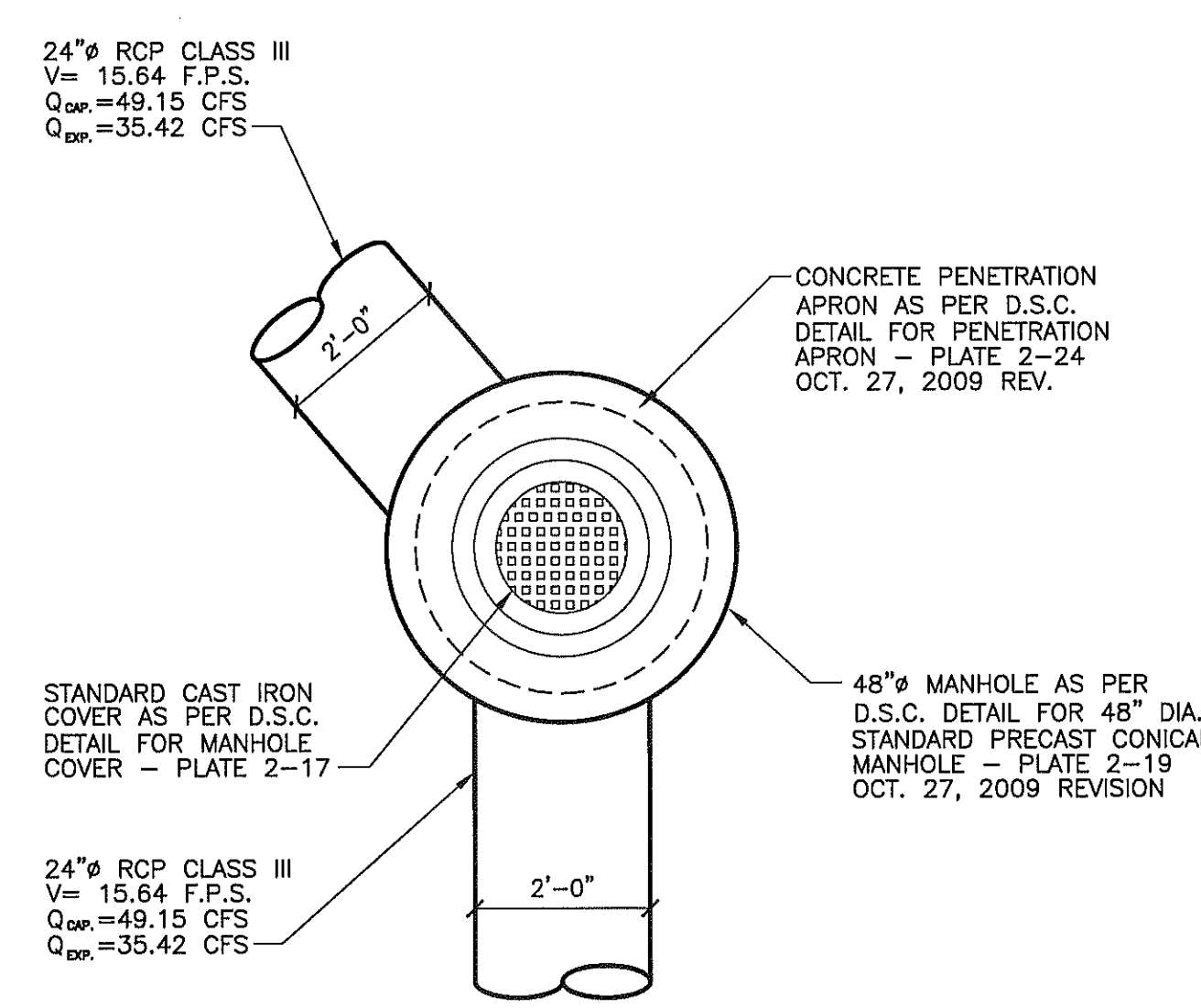
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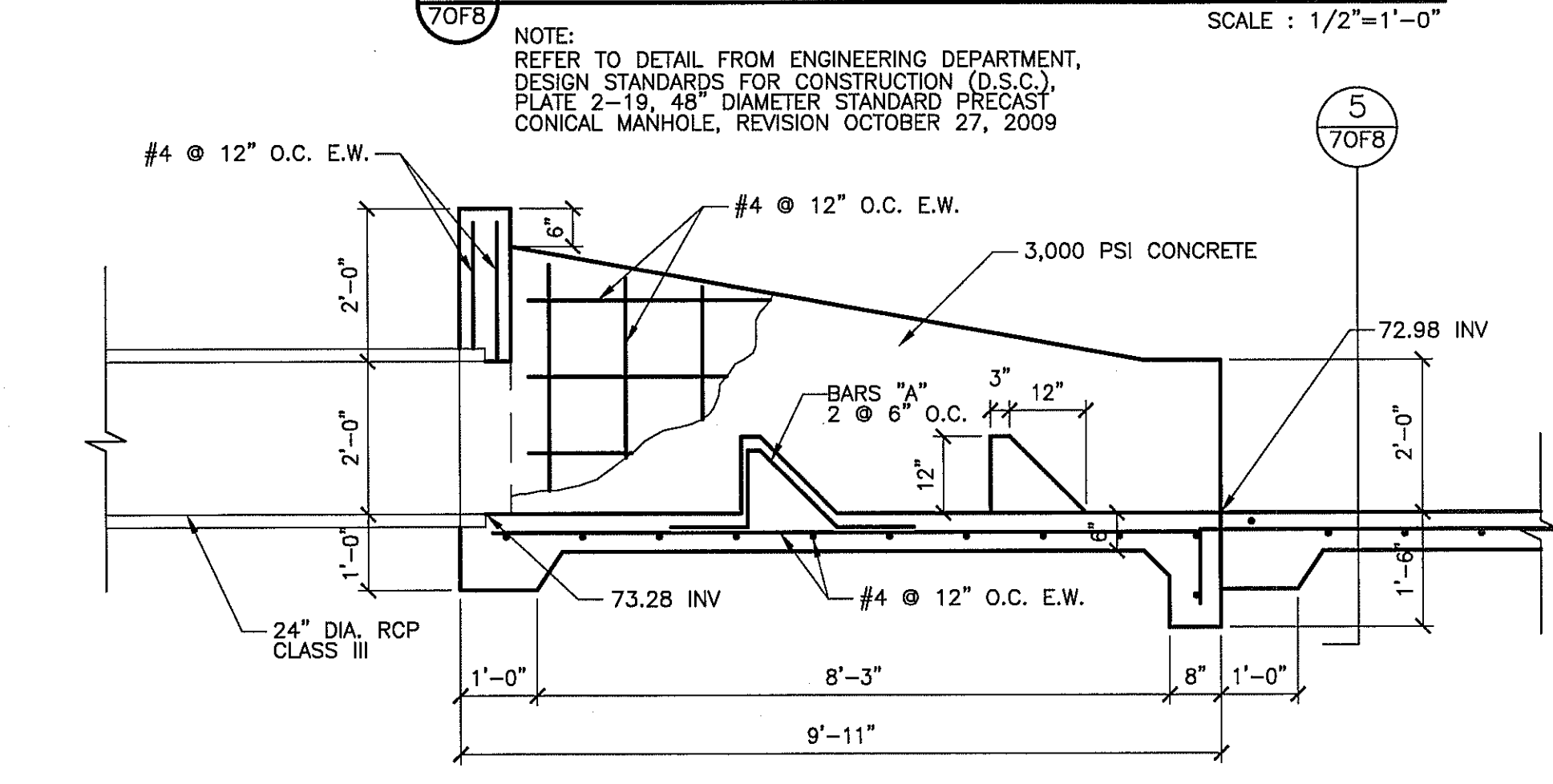
**1 48"Ø PRECAST MANHOLE #1**  
 SCALE : 1/2"=1'-0"



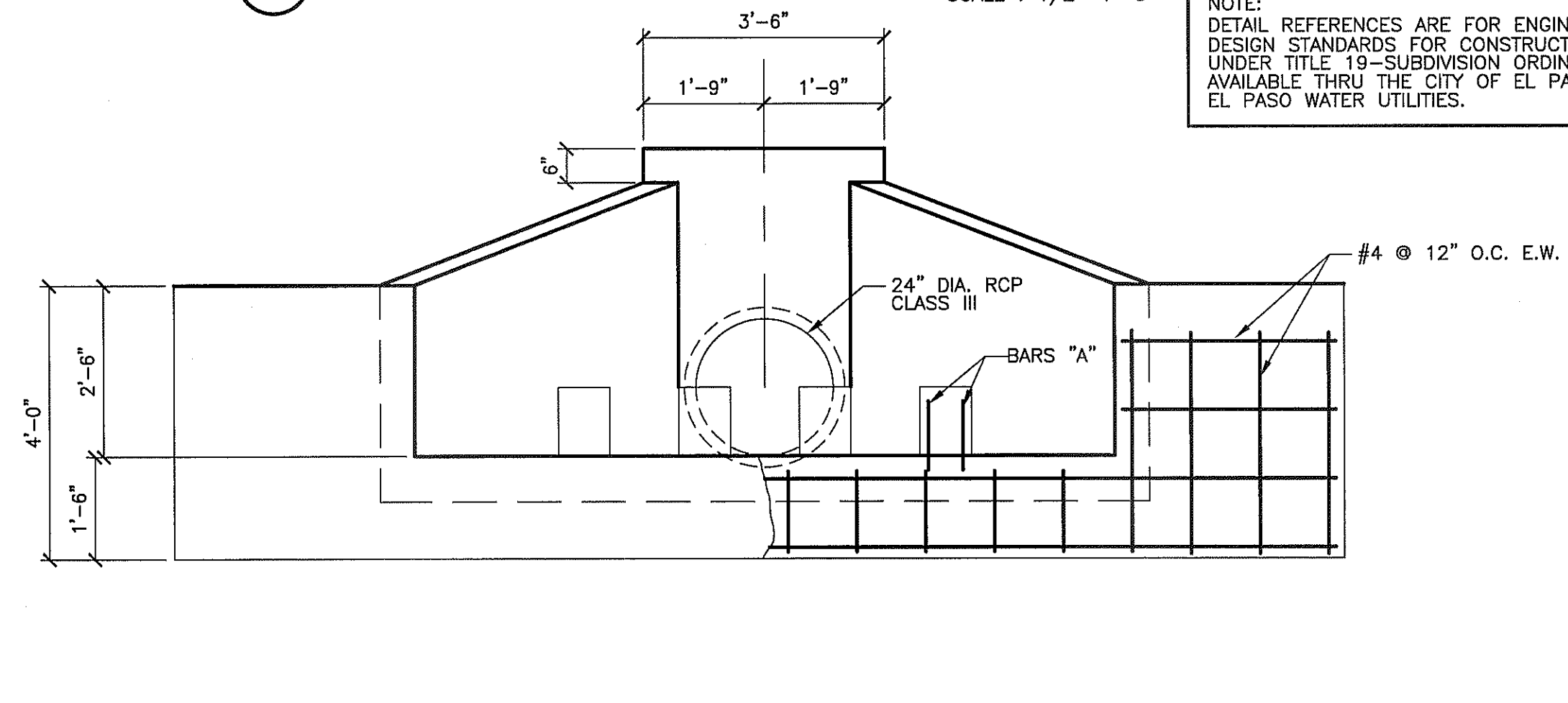
**2 48"Ø PRECAST MANHOLE #2**  
 SCALE : 1/2"=1'-0"



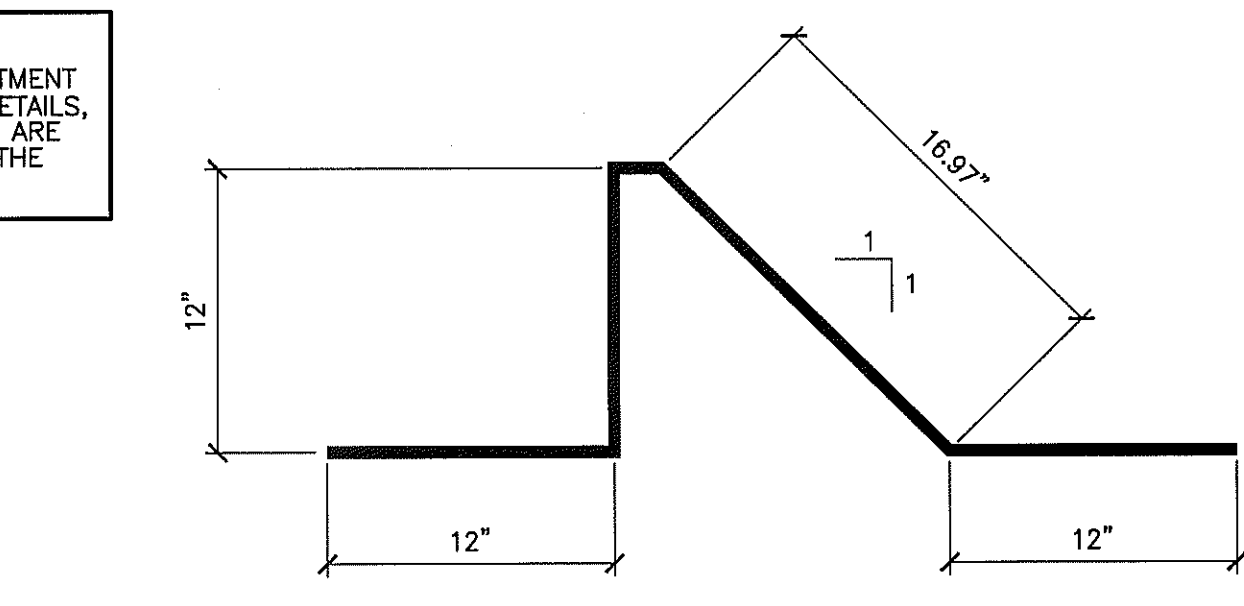
**3 DETAIL**  
 SCALE : 1/2"=1'-0"



**4 SECTION**  
 SCALE : 1/2"=1'-0"

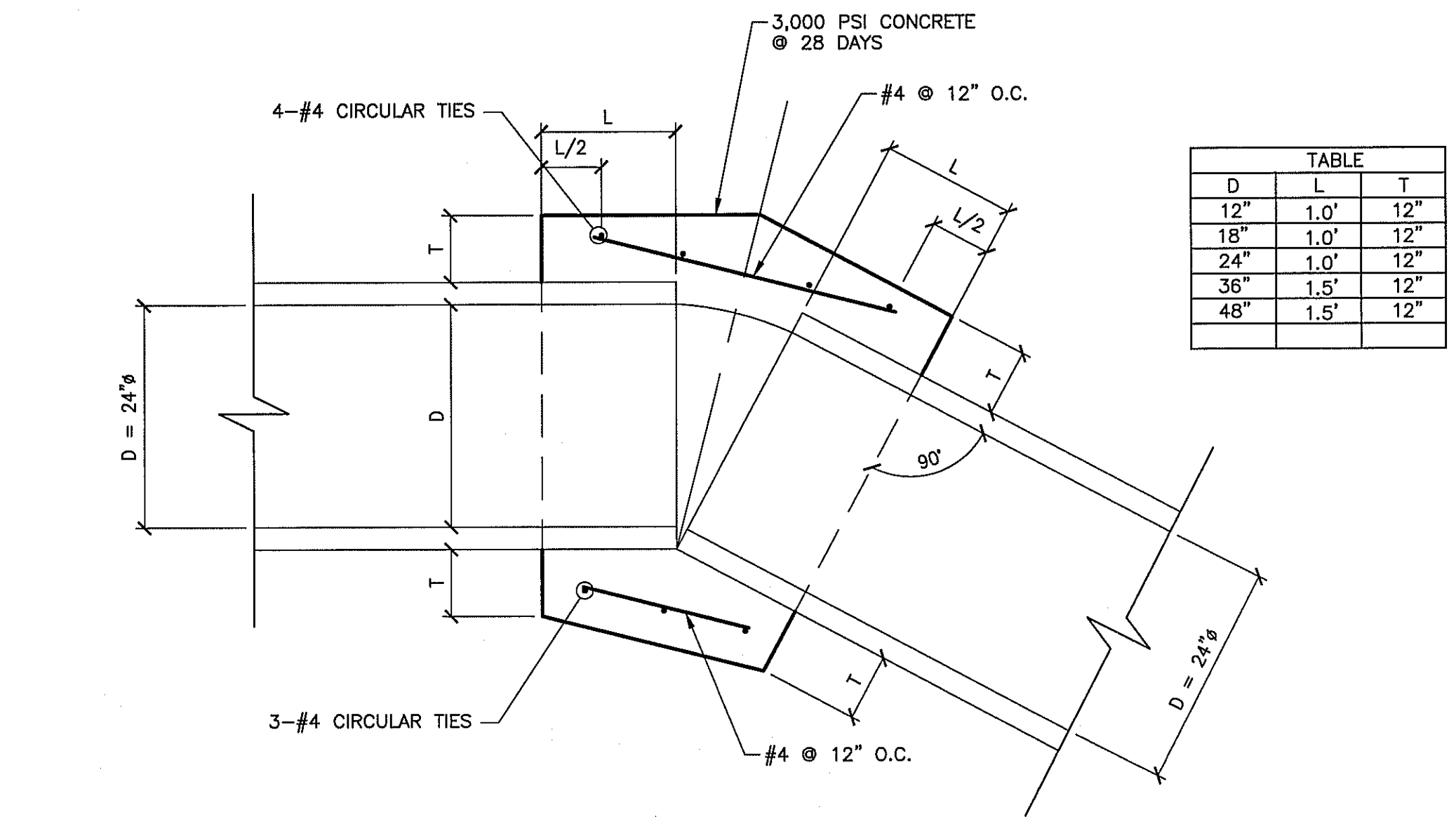


**5 SECTION**  
 SCALE : 1/2"=1'-0"



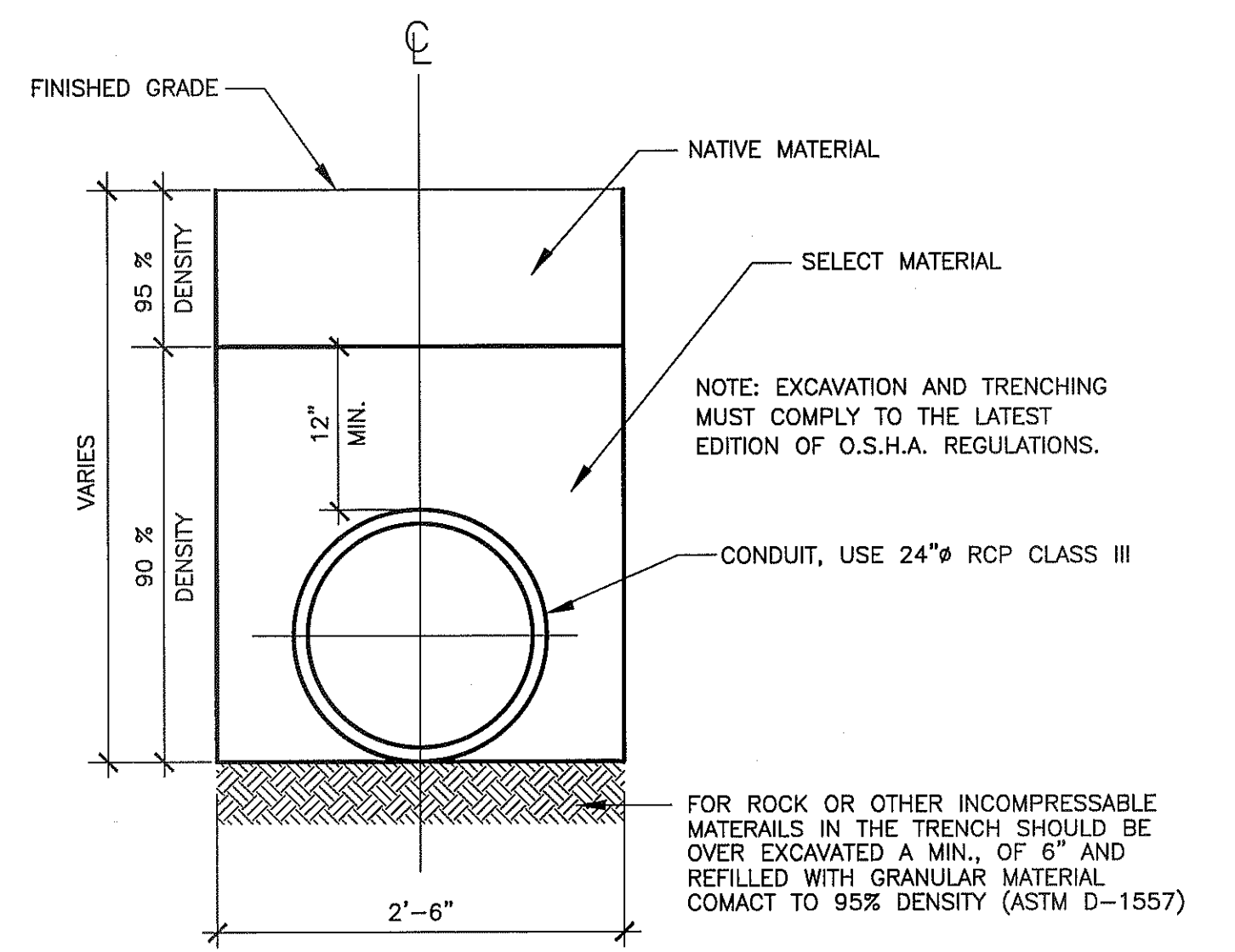
**DETAIL- "A" BAR**  
 SCALE : 1 1/2"=1'-0"

THIS DETAIL FOR TRENCH OVER 4 FEET DEEP  
 ANY METHOD USED MUST MEET O.S.H.A. STANDARDS



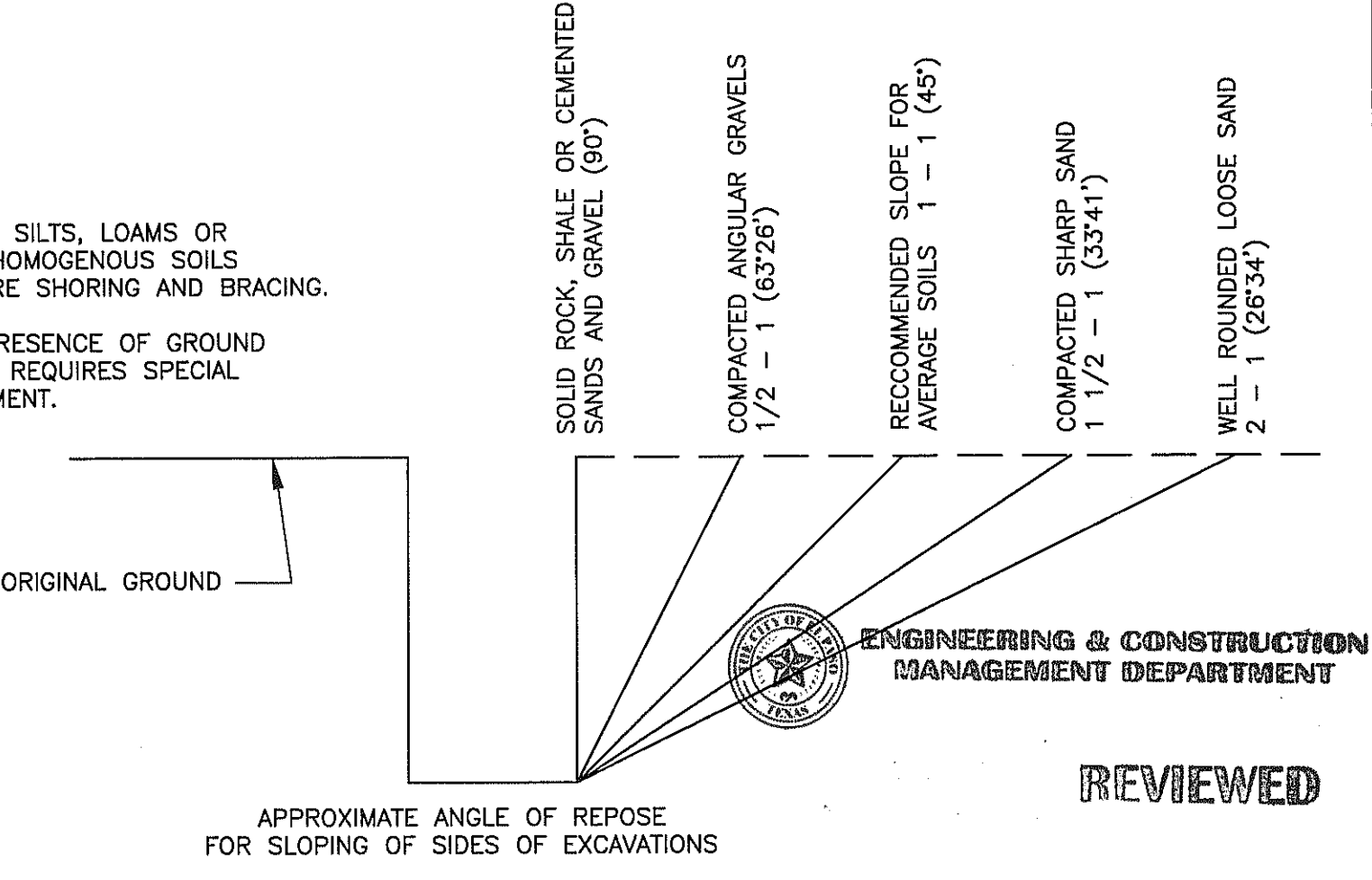
**6 PIPE COLLAR**  
 SCALE : 1 1/2"=1'-0"

TABLE		
D	L	T
12"	1.0"	12"
18"	1.0"	12"
24"	1.0"	12"
36"	1.5"	12"
48"	1.5"	12"



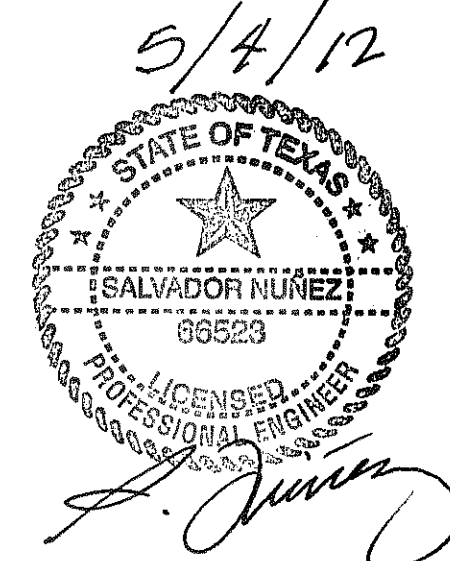
**7 TRENCH SECTION: STORM PIPE**  
 SCALE : 1"=1'-0"

NOTE:  
 CLAYS, SILTS, LOAMS OR  
 NON-HOMOGENOUS SOILS  
 REQUIRE SHORING AND BRACING.  
 THE PRESENCE OF GROUND  
 WATER REQUIRES SPECIAL  
 TREATMENT.

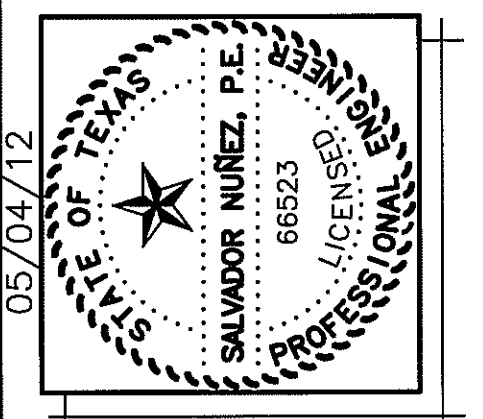


**TRENCH SAFETY PLAN**  
 SCALE: N.T.S.

- TRENCH SLOPING: THE ABOVE DIAGRAM SHOWS THE APPROXIMATE ANGLE OF REPOSE FOR SLOPING OF SIDES OF EXCAVATION. DURING DEMOLITION AND ROCK WALL RECONSTRUCTION, THE CONTRACTOR SHALL CONTACT THE PROJECT GEOTECHNICAL ENGINEER TO CONFIRM THE TRENCH SLOPE REQUIRED FOR EXISTING SOIL TYPE AND CONDITION.
- CONTRACTOR MAY USE SHORING-SHEETING, TIGHTLY PLACED TIMBER SHORES, BRACING, TRENCH JACKS, PILES, OR OTHER MATERIALS INSTALLED IN A MANNER STRONG ENOUGH TO RESIST THE PRESSURES SURROUNDING THE EXCAVATION. THIS METHOD SHALL MEET ALL O.S.H.A. STANDARDS. IF THIS METHOD IS USED, THE CONTRACTOR SHALL SUBMIT THE DETAIL DRAWINGS TO THE PROJECT GEOTECHNICAL ENGINEER FOR APPROVAL BEFORE CONSTRUCTION BEGINS.
- DEMOLITION SHOULD BE DONE IN SEGMENTS PRACTICABLE TO SITE CONDITIONS. WE RECOMMEND SEGMENTS NOT LARGER THAN THOSE OF THE INITIAL DEMOLITION PLAN.
- CONTRACTOR MAY USE A TRENCH BOX, A PREFABRICATED MOVEABLE TRENCH SHIELD COMPOSED OF STEEL PLATES WELDED TO A HEAVY STEEL FRAME. O.S.H.A. STANDARDS PERMITS THE USE OF A TRENCH BOX AS LONG AS THE PROTECTION IT PROVIDES IS EQUAL TO OR GREATER THAN THE PROTECTION THAT WOULD BE PROVIDED BY THE APPROPRIATE SHORING SYSTEM.
- THE SOILS REPORT PERFORMED FOR THE HOUSE NEXT DOOR INDICATES A HOMOGENOUS PROFILE OF SAND (SM).



**SPECTRUM ENGINEERING**  
 CIVIL - STRUCTURAL - CONSULTING  
 7100 WESTWOOD DR. SUITE 270  
 EL PASO, TX. 79915  
 TELEPHONE: (915) 565-9011  
 FAX: (915) 565-9011  
 EMAIL: NUNEZ@SPEEN.COM



05/04/12  
 EL PASO, TEXAS

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09-08-10
REVISION:
03-27-12
05-04-12
05-30-12

# BEST MANAGEMENT PRACTICE CONTROLS

## WASTE MATERIALS:

ALL WASTE MATERIALS WILL BE COLLECTED AND STORED IN A SECURELY LIDDED METAL DUMPSTER. THE DUMPSTER WILL MEET ALL STATE AND LOCAL CITY SOLID WASTE MANAGEMENT REGULATIONS. ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE WILL BE DEPOSITED IN A DUMPSTER. THE DUMPSTER WILL BE EMPTIED AS NECESSARY OR AS REQUIRED BY LOCAL REGULATION, AND THE TRASH WILL BE HAULED TO A LOCAL LANDFILL. NO CONSTRUCTION WASTE MATERIAL WILL BE BURNED ON-SITE.

## HAZARDOUS WASTE:

AT A MINIMUM, ANY PRODUCTS IN THE FOLLOWING CATEGORIES SHALL BE CONSIDERED HAZARDOUS: TOXIC ACIDS FOR CLEANING WORKING SURFACES, CLEANING SOLVENTS, ASPHALT PRODUCTS, CHEMICAL ADDITIVES FOR SPILL STABILIZATION, CURING COMPOUNDS AND ADDITIVES. IN THE EVENT OF A SPILL, WHICH MAY BE HAZARDOUS, THE CONTRACTOR SHALL TAKE IMMEDIATE ACTION AND CONTACT THE APPROPRIATE AUTHORITIES AS REQUIRED BY LOCAL REGULATIONS.

## SANITARY WASTE:

ALL SANITARY WASTE WILL BE COLLECTED FROM THE CONSTRUCTION PORTABLE UNITS AS NECESSARY OR AS REQUIRED BY LOCAL REGULATIONS BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR. ALL WASTE MATERIAL IS THE RESPONSIBILITY OF THE CONTRACTOR.

## OFF-SITE VEHICLE TRACKING:

IN ADDITION TO THE STABILIZED CONSTRUCTION ENTRANCE(S), THE FOLLOWING MEASURES WILL BE OBSERVED DURING CONSTRUCTION:

- HAUL ROADS WILL BE DAMPENED FOR DUST CONTROL
- LOADED TRUCKS WILL BE COVERED WITH TARP/AULINS
- EXCESS DIRT ON ROAD WILL BE REMOVED DAILY

## SPILL PREVENTION:

THE FOLLOWING PRACTICES WILL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURES OF MATERIAL TO STORM WATER RUNOFF.

## GOOD HOUSEKEEPING:

- STORE ONLY ENOUGH PRODUCT TO DO THE JOB
- MATERIALS STORED ON-SITE WILL BE NEATLY STORED IN AN ORDERLY MANNER
- PRODUCTS WILL BE KEPT IN THEIR ORIGINAL CONTAINERS
- SUBSTANCES WILL NOT BE MIXED WITH OTHER SUBSTANCES UNLESS OTHERWISE RECOMMENDED BY THE MANUFACTURER
- ALL OF A PRODUCT WILL BE USED BEFORE DISPOSING OF THE CONTAINER
- MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL WILL BE FOLLOWED

## HAZARDOUS PRODUCTS:

- PRACTICES USED TO REDUCE THE RISK
- PRODUCTS WILL BE KEPT IN THE ORIGINAL CONTAINER UNLESS THE ARE NOT RESEAL ABLE
- ORIGINAL LABELS AND MATERIALS SAFETY DATA SHEETS WILL BE RETAINED FOR PRODUCT INFORMATION
- SURPLUS PRODUCT MUST BE DISPOSED OF ACCORDING TO MANUFACTURER'S OR LOCAL AND STATE RECOMMENDED METHODS FOR PROPER DISPOSAL

## PETROLEUM PRODUCTS:

- ALL ON-SITE VEHICLES WILL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTIVE MAINTENANCE TO REDUCE THE CHANCE OF LEAKAGE. PETROLEUM PRODUCTS WILL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED.
- ANY ASPHALT SUBSTANCE USED ON-SITE WILL BE APPLIED ACCORDING TO MANUFACTURER'S RECOMMENDATION.

## SPILL CONTROL PRACTICES:

- MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED AND SITE PERSONNEL WILL BE MADE AWARE OF THE PROCEDURES
- MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREA ON-SITE
- SPILL AREA WILL BE WELL VENTILATED AND APPROPRIATE CLOTHING WILL BE WORN
- ALL SPILL AREA WILL BE REPORTED TO THE APPROPRIATE GOVERNMENTAL AGENCY

## MAINTENANCE AND INSPECTION PROCEDURES:

ALL POLLUTION PREVENTION MEASURES WILL BE INSPECTED AT LEAST ONCE A WEEK OR WITHIN 24 HOURS FOLLOWING A STORM EVENT OF 5 INCHES OR MORE. INSPECTION IN FINAL STABILIZED AREAS OF DURING ARID PERIODS WILL BE CONDUCTED MONTHLY. BEST MANAGEMENT PRACTICES AND POLLUTION CONTROL PROCEDURES WILL BE INSPECTED FOR ADEQUACY.

## REMARKS:

DISPOSAL AREA STOCKPILES AND HAUL ROADS SHALL BE CONDUCTED IN A MANNER THAT WILL MINIMIZE AND CONTROL THE AMOUNT OF SEDIMENT THAT MAY ENTER RECEIVING WATERS. DISPOSAL AREA SHALL NOT BE LOCATED IN ANY WETLAND, WATER BODY OR STREAM. CONSTRUCTION STAGING AREAS AND VEHICLE MAINTENANCE AREAS SHALL BE CONSTRUCTED BY THE CONTRACTOR IN A MANNER TO MINIMIZE THE RUNOFF OF POLLUTANTS. ALL WATERWAYS SHALL BE CLEANED AS SOON AS PRACTICABLE OF TEMPORARY EMBANKMENT, TEMPORARY BRIDGES, MATTING, FALSE WORK, PILING, DEBRIS OR OTHER OBSTRUCTIONS PLACED DURING CONSTRUCTION OPERATIONS THAT ARE NOT PART OF THE FINISHED WORK.

## GENERAL CONTRACTOR CERTIFICATION

I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND THE TERMS AND CONDITIONS OF THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) GENERAL PERMIT THAT AUTHORIZES STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY FROM THE CONSTRUCTION SITE IDENTIFIED AS PART OF THIS CERTIFICATION.

COMPANY: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_  
 TELEPHONE: \_\_\_\_\_  
 DATE: \_\_\_\_\_

## SUB-CONTRACTOR CERTIFICATION

I CERTIFY UNDER PENALTY OF LAW THAT I WILL COORDINATE EITHER THROUGH THE GENERAL CONTRACTOR, OWNER, OR DIRECTLY WITH THE CONTRACTOR(S) AND/OR SUBCONTRACTOR(S) IDENTIFIED IN THE POLLUTION PREVENTION PLAN, HAVING RESPONSIBILITY FOR IMPLEMENTING STORM WATER CONTROL MEASURES TO MINIMIZE ANY IMPACT MY ACTIONS MAY HAVE ON THE EFFECTIVENESS OF THESE STORM WATER CONTROLS MEASURES.

SIGNED: \_\_\_\_\_ SIGNED: \_\_\_\_\_  
 NAME: \_\_\_\_\_ NAME: \_\_\_\_\_  
 TITLE: \_\_\_\_\_ TITLE: \_\_\_\_\_  
 COMPANY: \_\_\_\_\_ COMPANY: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_ ADDRESS: \_\_\_\_\_  
 TELEPHONE: \_\_\_\_\_ TELEPHONE: \_\_\_\_\_  
 DATE: \_\_\_\_\_ DATE: \_\_\_\_\_

## OWNER CERTIFICATION

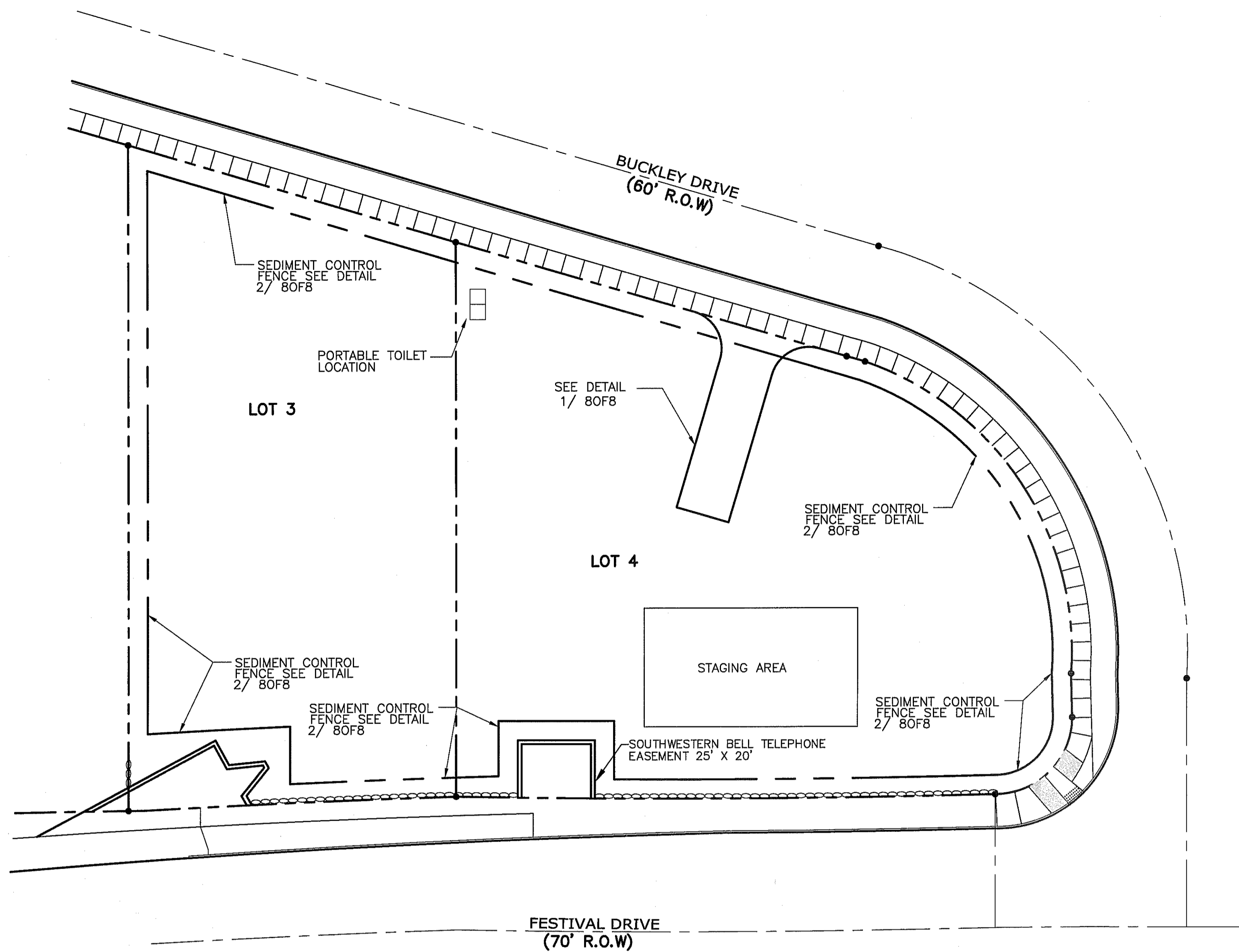
I CERTIFY UNDER PENALTY OF LAW THAT THIS DOCUMENT AND ALL ATTACHMENTS WERE PREPARED UNDER MY DIRECTION OR SUPERVISION IN ACCORDANCE WITH A SYSTEM DESIGNED TO ASSURE THAT QUALIFIED PERSONNEL PROPERLY GATHERED AND EVALUATED THE INFORMATION SUBMITTED, BASED ON MY INQUIRY OF THE PERSON OR PERSONS WHO MANAGE THE SYSTEM OR THOSE PERSONS DIRECTLY RESPONSIBLE FOR GATHERING THE INFORMATION, THE INFORMATION SUBMITTED IS, TO THE BEST OF MY KNOWLEDGE AND BELIEF, TRUE, ACCURATE, AND COMPLETE. I AM AWARE THAT THERE ARE SIGNIFICANT PENALTIES FOR SUBMITTING FALSE INFORMATION, INCLUDING THE POSSIBILITY OF FINE AND IMPRISONMENT FOR KNOWING VIOLATIONS.

OWNER: NAME \_\_\_\_\_ DATE \_\_\_\_\_



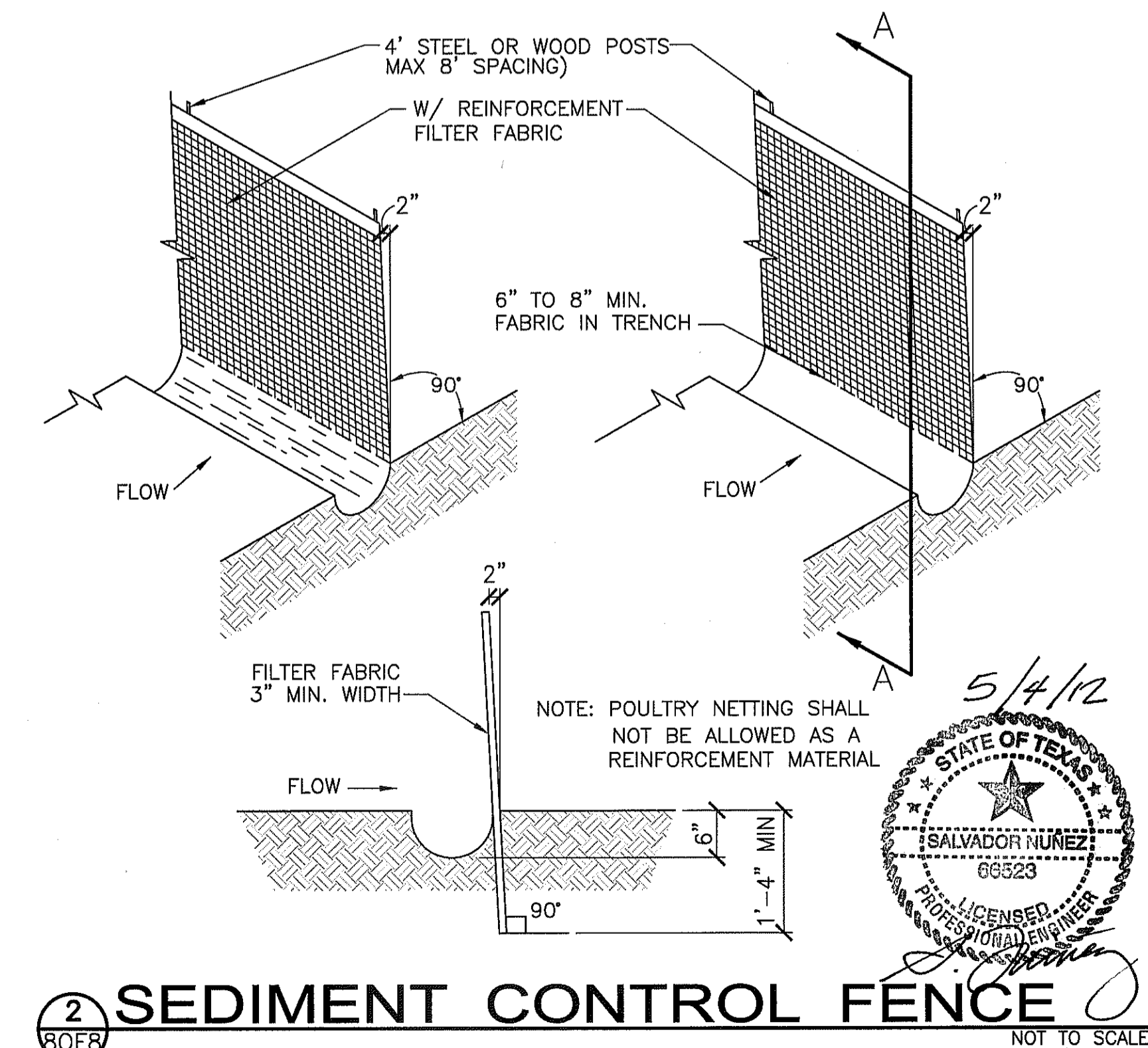
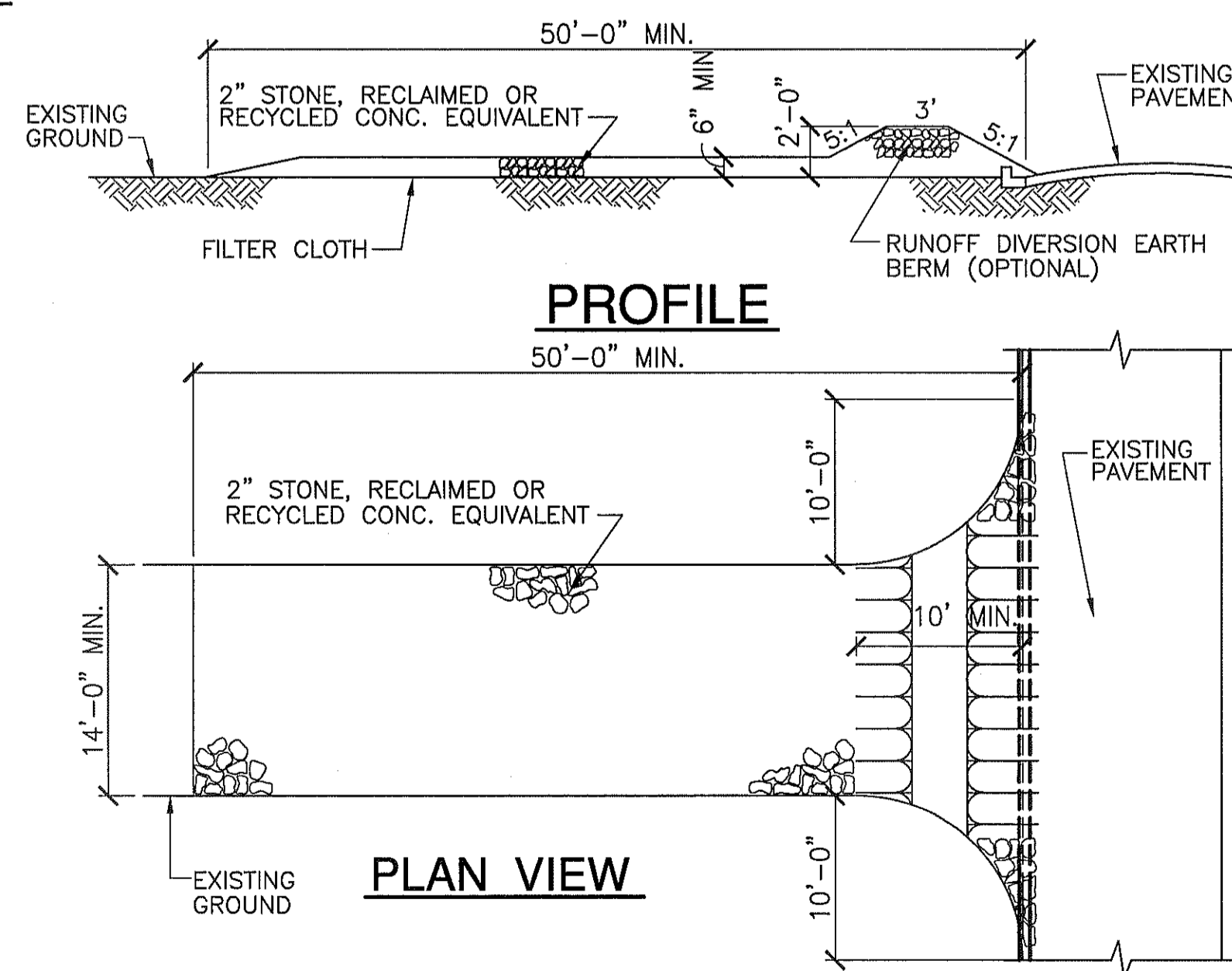
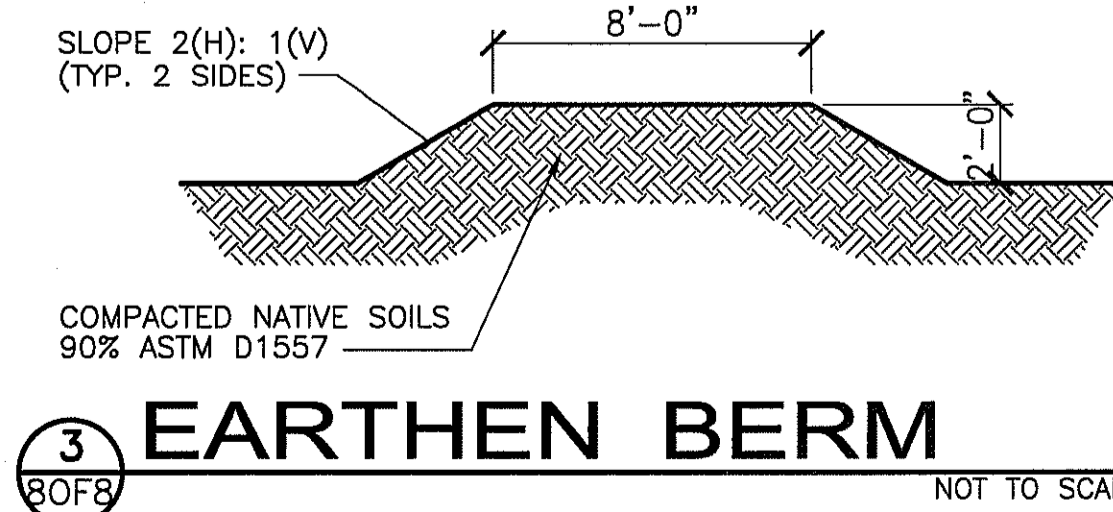
ENGINEERING & CONSTRUCTION  
 MANAGEMENT DEPARTMENT

REVIEWED



# POLLUTION PREVENTION PLAN

SCALE: 1" = 20.0'



TEXAS FIRM REG. F-5386  
**SPECTRUM ENGINEERING**  
 CIVIL - STRUCTURAL - CONSULTING  
 7100 W. PANHANDLE BLVD. SUITE 270  
 DALLAS, TEXAS 75248  
 TELEPHONE: (972) 588-8011  
 FACSIMILE: (972) 588-8255  
 E-MAIL: SNUEN@SPECTRUMENR.COM

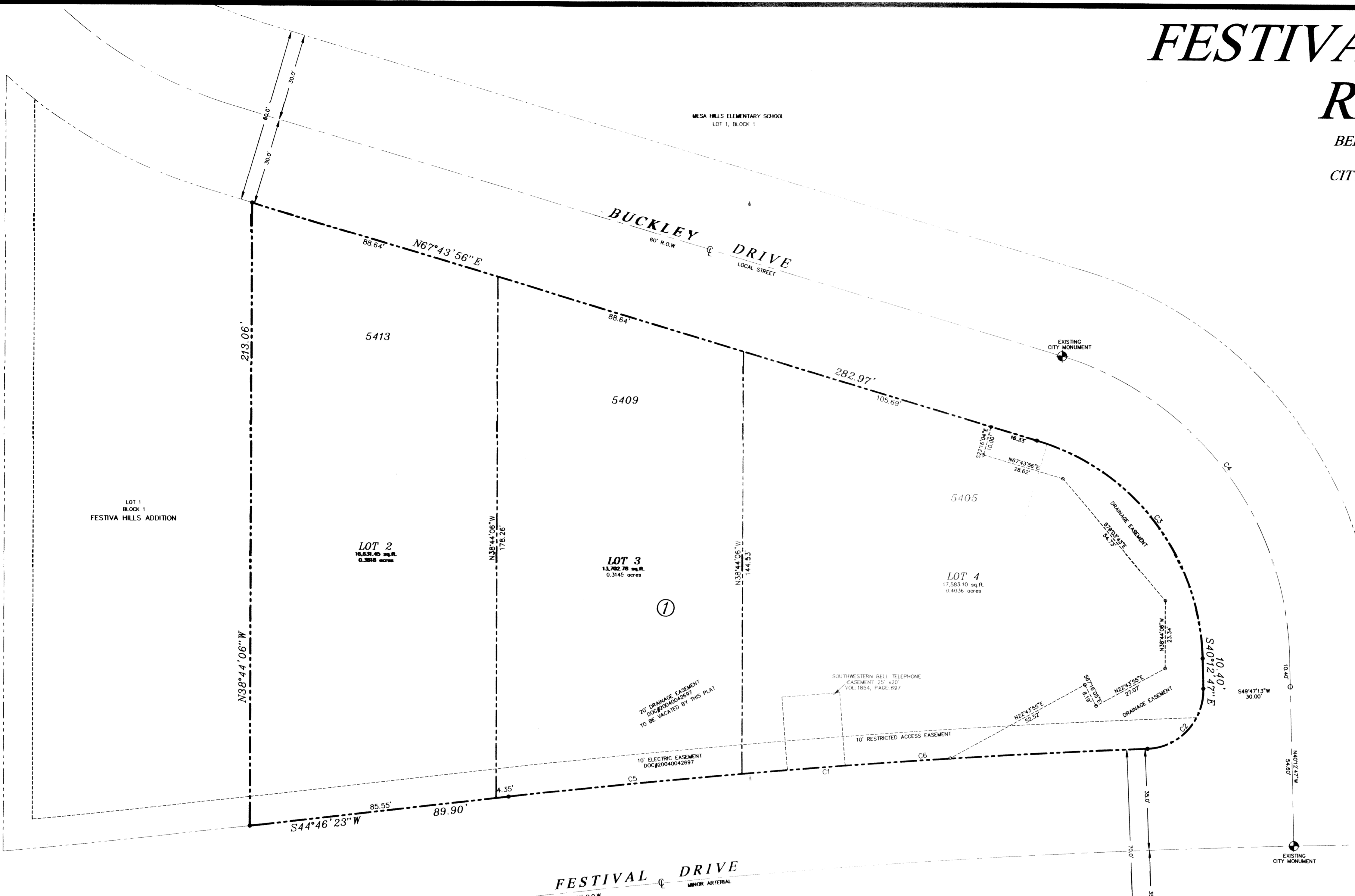


**FESTIVA HILLS ADDITION, REPLATA**  
 BEING ALL OF LOT 2, 3 AND 4,  
 BLOCK 1, FESTIVA HILLS ADDITION,  
 CITY OF EL PASO, EL PASO COUNTY, TEXAS  
 CONTAINING:  
 47,917.35 SQ. FT.  
 OR 1.1000 ACRES±



# FESTIVA HILLS ADDITION REPLAT "A"

BEING ALL OF LOTS 2, 3 AND 4, BLOCK 1  
FESTIVA HILLS ADDITION  
CITY OF EL PASO, EL PASO COUNTY TX.  
CONTAINING:  
47,917.34 SQ. FT.  
OR 1.1000 ACRES +



### DEDICATION

EDWARDS HOMES INC., RONALD and SUNSHINE SALAS, property owners of this land, hereby present this plat and dedicate to the use of the public, landscape, RAE and drainage easements as hereon laid down and designated, including easements for overhead service wires for pole type utilities, and buried service wires, conduits and pipes for underground utilities, and the right to ingress and egress for service and construction and the right to trim interfering trees and shrubs.

Witness our signature this 14th day of October, 2012.

By: EDWARDS HOMES INC.

Eduardo Fernandez, President

Ronald Salas, Owner

Sunshine Salas, Owner

ATTEST: NOT REQUIRED

### ACKNOWLEDGEMENT

STATE OF TEXAS  
COUNTY OF EL PASO

Before me, the undersigned authority, on this day personally appeared Eduardo Fernandez, Ronald and Sunshine Salas, known to me to be the persons whose names are subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and considerations herein expressed.

Given under my hand and seal of office this 14th day of October, 2012.

Notary Public in and for El Paso County

My Commission Expires October 27, 2014

### CITY PLAN COMMISSION

This subdivision is hereby approved as to the platting and as to the condition of the dedication in accordance with Chapter 212 of the Local Government Code of Texas this 14th day of October, 2012, A.D.

Executive Secretary: [Signature] Chairperson: [Signature]

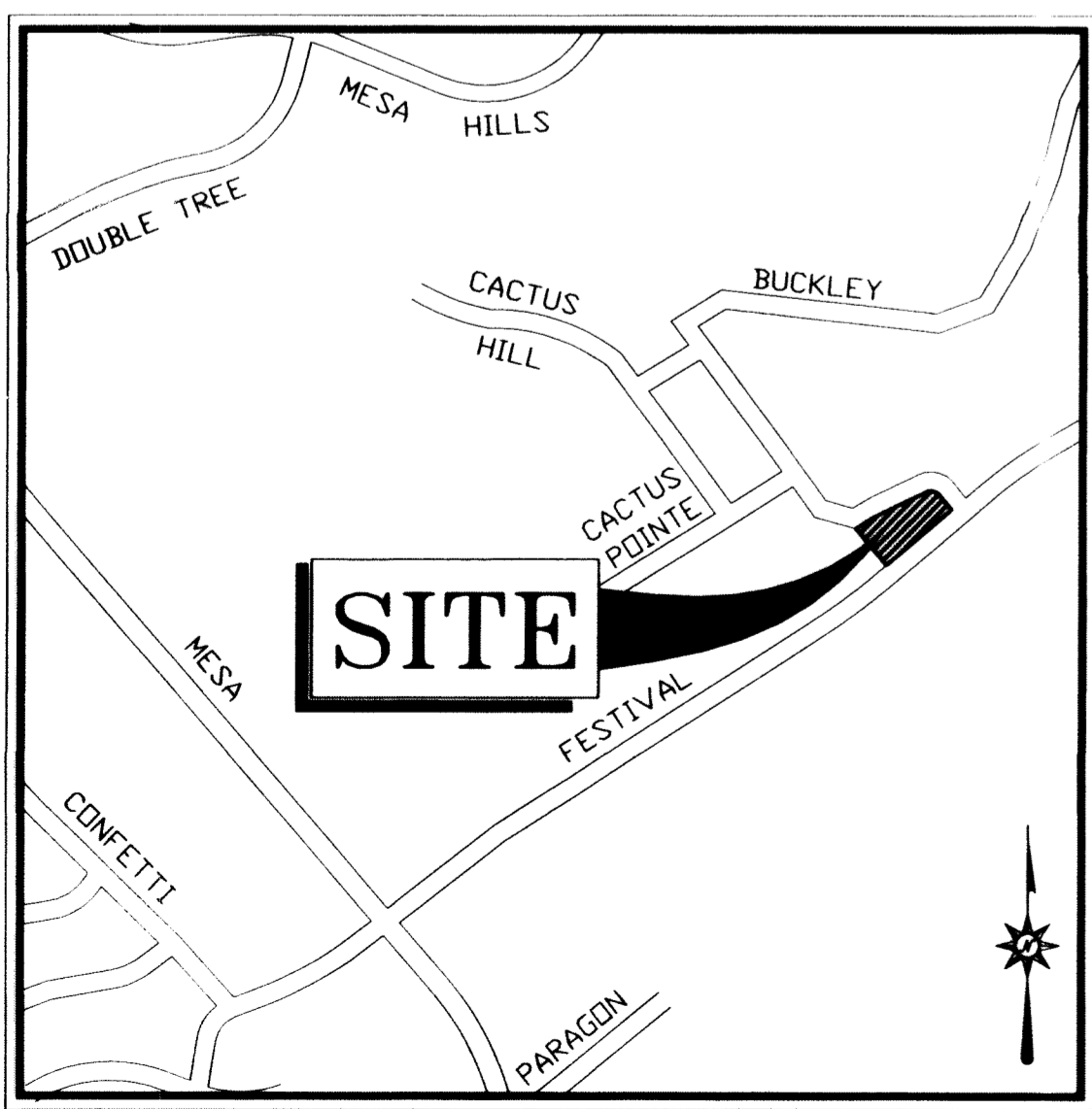
Approved for filing this 14th day of October, 2012.

City Development Director

### FILING

Filed and recorded in the office of the County Clerk of El Paso County, Texas, this 25 day of October, 2012, A.D.  
File No. 20120079808  
County Clerk: [Signature] By Deputy: [Signature]

### LOCATION MAP: 1' = 600'



NOTES:  
RESTRICTIVE COVENANTS FOR THIS SUBDIVISION ARE FILED IN THE OFFICE OF THE COUNTY CLERK, DEED AND RECORD SECTION.

INSTRUMENT No. 20120079812 DATE 10/25/2012

SET 5/8" REBAR AT ALL EXTERIOR BOUNDARY CORNERS.

TAX CERTIFICATE FOR THIS SUBDIVISION ARE FILED IN THE OFFICE OF THE COUNTY CLERK, DEED AND RECORD SECTION.

INSTRUMENT No. 20120079809 DATE 10/25/2012

THIS PROPERTY LIES IN ZONE "C", AREAS OF MINIMAL FLOODING  
COMMUNITY PANEL NO. 480214-0028 C, DATED FEBRUARY 05, 1986.  
WATER SUPPLY AND SEWAGE DISPOSAL WILL BE PROVIDED BY THE EL PASO WATER UTILITIES.

THIS PROPERTY LIES WITHIN THE EL PASO INDEPENDENT SCHOOL DISTRICT.  
POSTAL DELIVERY SERVICE WITHIN SUBDIVISION WILL BE BY NEIGHBORHOOD DELIVERY AND COLLECTION BOX UNITS.

VEHICULAR ACCESS TO LOTS 2, 3 AND 4 ABUTTING FESTIVAL DRIVE SHALL BE FROM BUCKLEY DRIVE ONLY. THE INSTRUMENT ASSURING RELEASE OF ACCESS IS FILED IN THE OFFICE OF THE COUNTY CLERK, DEED AND RECORD SECTION.

INSTRUMENT No. \_\_\_\_\_ DATE \_\_\_\_\_

EXISTING CITY MONUMENT

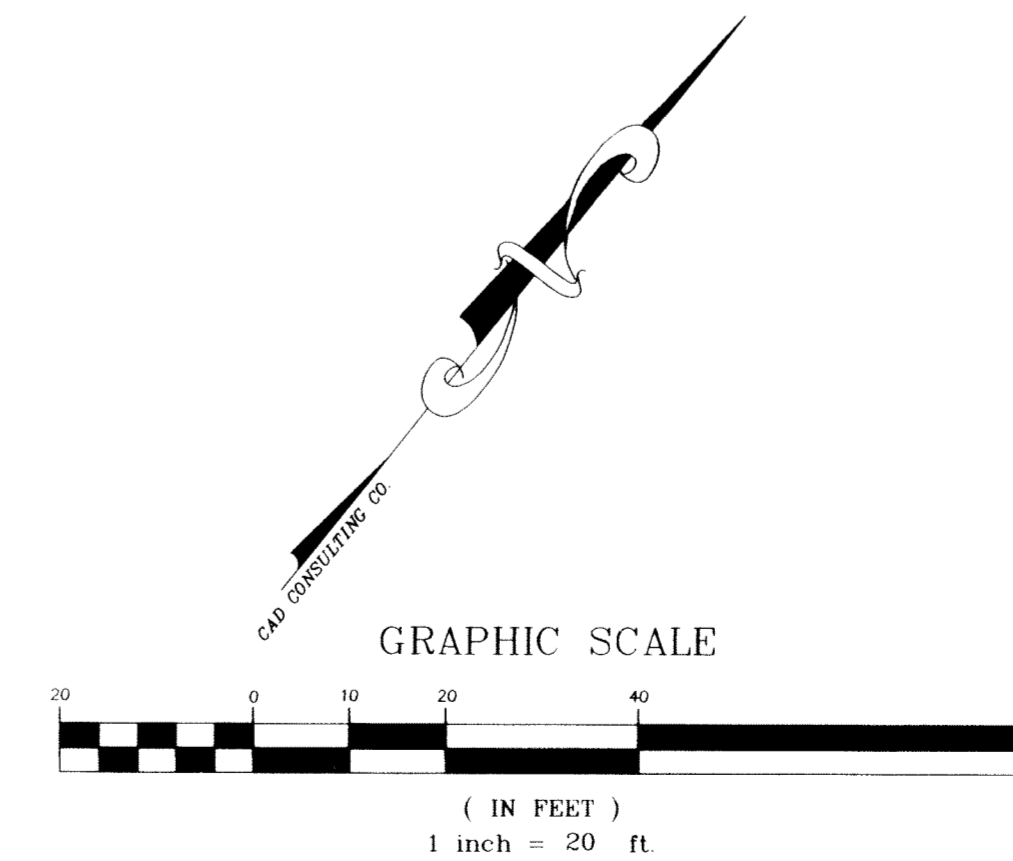
SURVEYOR:  
CAD CONSULTING CO.  
CARLOS M. JIMENEZ  
1790 N. LEE TREVIÑO  
EL PASO, TEXAS 79936  
PHONE: (915) 633-6422

OWNER/DEVELOPER:  
EDWARDS HOMES INC.  
EDUARDO FERNANDEZ  
11450 ROJAS DR. STE. D-15  
EL PASO, TEXAS 79936  
PHONE: (915) 356-1925

OWNER/DEVELOPER:  
RONALD SALAS  
SUNSHINE SALAS  
1621 ROGER BOMBACH  
EL PASO, TEXAS 79936  
PHONE: (915) 478-8482

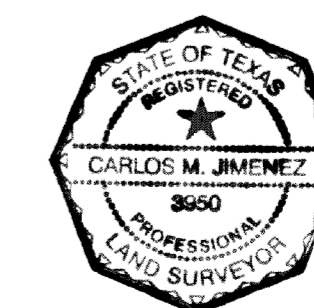
THE REASON OF THE REPLAT IS TO RELOCATE AN EXISTING 20' DRAINAGE EASEMENT

CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C1	3095.00'	221.16'	110.63'	221.17'	S46°49'13"W	04°05'39"
C2	20.00'	31.09'	19.68'	28.06'	N04°19'38"E	89°04'49"
C3	80.00'	100.61'	58.18'	94.11'	N76°14'25"W	72°03'17"
C4	110.00'	138.34'	80.00'	129.40'	N76°14'25"W	72°03'17"
C5	3095.00'	81.09'	40.55'	81.09'	S45°31'25"W	01°30'04"
C6	3095.00'	140.07'	70.05'	140.06'	S47°34'15"W	02°35'35"



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**CAD CONSULTING COMPANY**  
1790 LEE TREVIÑO DRIVE SUITE 503  
EL PASO, TEXAS 79936  
TEL (915) 633-6422



Carlos M. Jimenez, R.P.L.S.  
Registered Professional Land Surveyor  
Texas License No. 3950