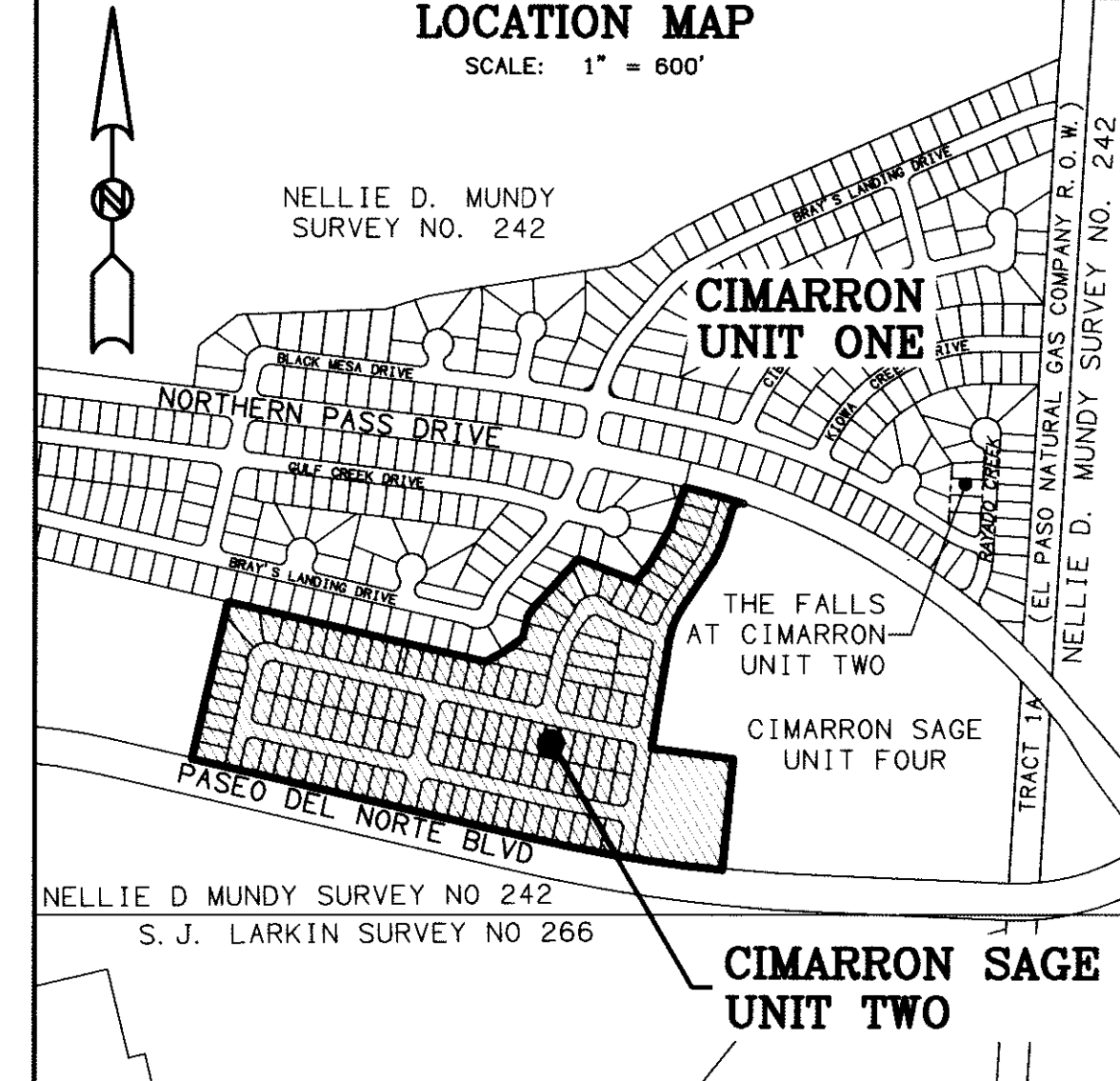


CIMARRON SAGE UNIT TWO

BEING A PORTION OF TRACTS 1 AND 1B4,
NELLIE D. MUNDY SURVEY 242,
CITY OF EL PASO, EL PASO COUNTY, TEXAS.
CONTAINING 25.558 ± ACRES

LOCATION MAP
SCALE: 1" = 600'



NOTE: ALL FRONT LOT UTILITY EASEMENTS ARE 10 FEET WIDE UNLESS OTHERWISE INDICATED.

- NOTE: 1. CIMARRON UNIT ONE IS RECORDED IN COUNTY CLERK'S FILE NO. 20070089227, EL PASO COUNTY, TEXAS. 2. TRACT 1, NELLIE D. MUNDY SURVEY 242 (THE ARTCRAFT ROAD RIGHT-OF-WAY RESERVATION) IS DESCRIBED JULY 20, 1990, IN A PROPERTY DEVELOPMENT AGREEMENT IN BOOK 2201, PAGE 1360, DEED RECORDS, EL PASO COUNTY, TEXAS. 3. BASIS OF BEARINGS IS THE MONUMENTED CENTERLINE OF NORTHWESTERN DRIVE FROM THE PLAT OF EL PASO WEST UNIT ONE IN BOOK 57, PAGE 5, PLAT RECORDS, EL PASO COUNTY, TEXAS. 4. NORTHERN PASS DRIVE EXTENSION UNIT TWO IS RECORDED IN COUNTY CLERK'S FILE NO. 20090035856, EL PASO COUNTY, TEXAS. 5. THE WESTERLY BOUNDARY OF THE SUBJECT PARCEL IS DESCRIBED DECEMBER 15, 2000, IN BOOK 3902, PAGE 2012 (EXHIBIT A), DEED RECORDS, EL PASO COUNTY, TEXAS. 6. WATER AND SEWER SERVICES WILL BE PROVIDED TO CIMARRON SAGE UNIT TWO FROM EXISTING FACILITIES ON NORTHERN PASS DRIVE BY THE EL PASO WATER UTILITIES/PUBLIC SERVICE BOARD IN ACCORDANCE WITH THEIR RULES AND REGULATIONS AND WITH SECTION 16.343 OF THE TEXAS WATER CODE. 7. U.S. POSTAL SERVICE DELIVERY WILL BE PROVIDED THROUGH NEIGHBORHOOD DELIVERY AND COLLECTION BOX UNITS. 8. THE "R.A.E." IS A "RESTRICTED ACCESS EASEMENT" WHICH PROHIBITS DIRECT VEHICULAR ACCESS TO PASEO DEL NORTE BOULEVARD. 9. THE SUBJECT PROPERTY LIES WITHIN THE CANTULLO INDEPENDENT SCHOOL DISTRICT. 10. THIS SUBDIVISION LIES WITHIN SPECIAL FLOOD HAZARD ZONE "B" AND "C" AS DESIGNATED BY THE FLOOD INSURANCE RATE MAP (FIRM) OF THE CITY OF EL PASO, JUNE 08, 2011, PANEL NUMBER 480214 0017C. THE FLOOD ZONE MAP HAS BEEN UPDATED TO REFLECT THE LETTER OF MAP REVISION, CASE NUMBER 10-06-2130P.

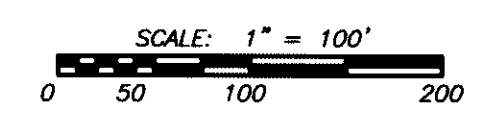
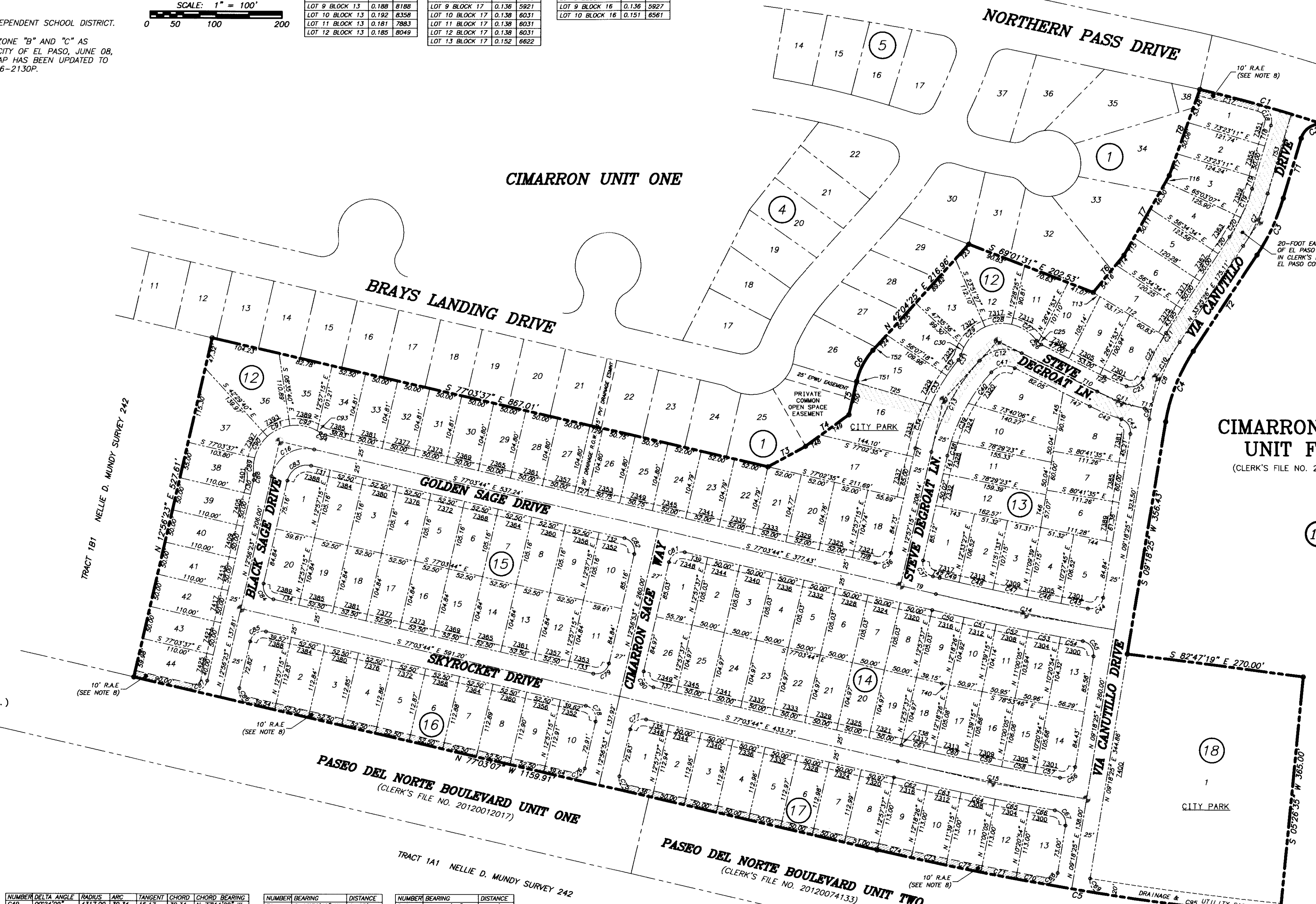


Table with columns: LOT, ACRES, SQ. FT. for blocks 13, 15, 17, 16, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44.

Table with columns: LOT, ACRES, SQ. FT. for blocks 12, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44.

Table with columns: LOT, ACRES, SQ. FT. for blocks 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44.



DEDICATION
We, Cimarron Hunt Communities, LLC, owners of this land, do hereby present this plat and dedicate to the use of the public the streets, drives, drainage right-of-way, parks and utility easements as hereon laid down and designated, including easements for overhang of service wires, conduits and pipes for underground utilities, the right to ingress and egress for service and construction, and the right to trim interfering trees and shrubs.

By *Justin Chapman*
Justin Chapman, President

ACKNOWLEDGMENT
STATE OF TEXAS
COUNTY OF EL PASO
This instrument was acknowledged before me on 11-21-2012 by Justin Chapman, President of Cimarron Hunt Communities, LLC.
Given under my hand and seal of office this 21st day of November 2012.

Nelda Rodriguez
Nelda Rodriguez,
Notary Public, State of Texas

CITY PLAN COMMISSION
This subdivision is hereby approved as to the platting and as to the conditions of the dedication in accordance with Chapter 212 of the Local Government Code of Texas this 6th day of December 2012.
Chairperson *Executive Secretary*

Approved for filing this 17th day of December, 2012.
City Development Director

FILING
Filed and recorded in the office of the County Clerk of El Paso County, Texas, this 29th day of January, 2013, in File No. 20130016929, Plat Records.

Subdivision improvement plans prepared by and under the supervision of CSA Design Group, Inc.
John L. Karlstruer, P.E.
John L. Karlstruer, P.E.
Registered Professional Engineer
Texas License No. 53878
Texas Registered Engineering Firm F-9997

I hereby certify that this plat represents an on-the-ground survey made under my supervision in compliance with current Texas Board of Professional Land Surveying Professional and Technical Standards.
Robert Seipel Associates, Inc.
Professional Land Surveyors
Robert Seipel
Robert R. Seipel, President
Registered Professional Land Surveyor
Texas License No. 4178

REVISOR: NOVEMBER 19, 2012
REVISOR: NOVEMBER 12, 2012
REVISOR: NOVEMBER 5, 2012
REVISOR: FEBRUARY 15, 2012
REVISOR: DECEMBER 12, 2011
REVISOR: JULY 22, 2011
REVISOR: JULY 5, 2011
REVISOR: JUNE 22, 2011
REVISOR: JUNE 9, 2011
REVISOR: APRIL 28, 2011
REVISOR: MARCH 14, 2011
REVISOR: MARCH 2, 2011
DATE OF PREPARATION: FEBRUARY 17, 2011

Table with columns: NUMBER, DELTA, ANGLE, RADIUS, ARC, TANGENT, CHORD, CHORD BEARING.

Table with columns: NUMBER, DELTA, ANGLE, RADIUS, ARC, TANGENT, CHORD, CHORD BEARING.

Table with columns: NUMBER, BEARING, DISTANCE.

Table with columns: NUMBER, BEARING, DISTANCE.

RESTRICTIVE COVENANTS FOR THIS SUBDIVISION ARE RECORDED IN THE OFFICE OF THE CLERK OF EL PASO COUNTY, TEXAS, DEED AND RECORDS SECTION.

INSTRUMENT NO. 20130016933, DATE 1/24/13

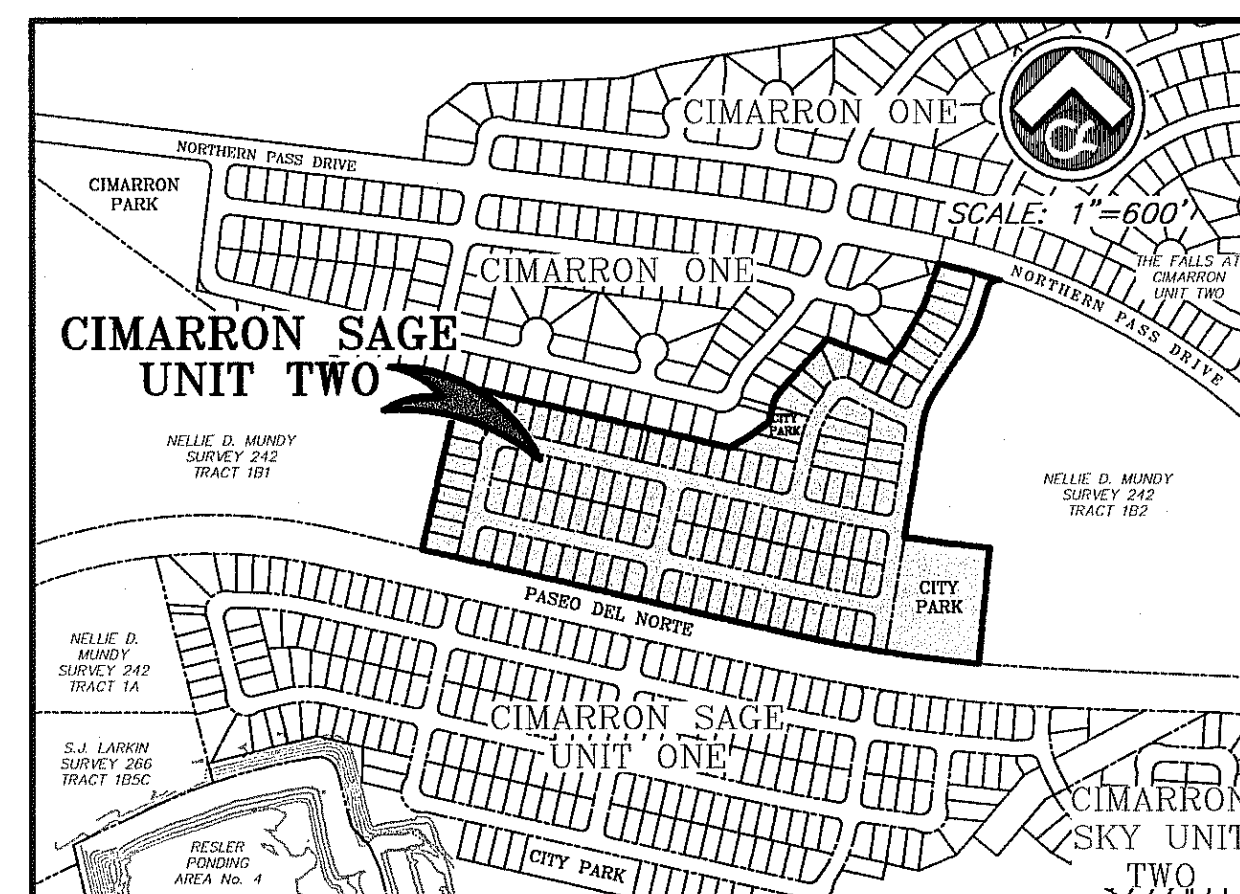
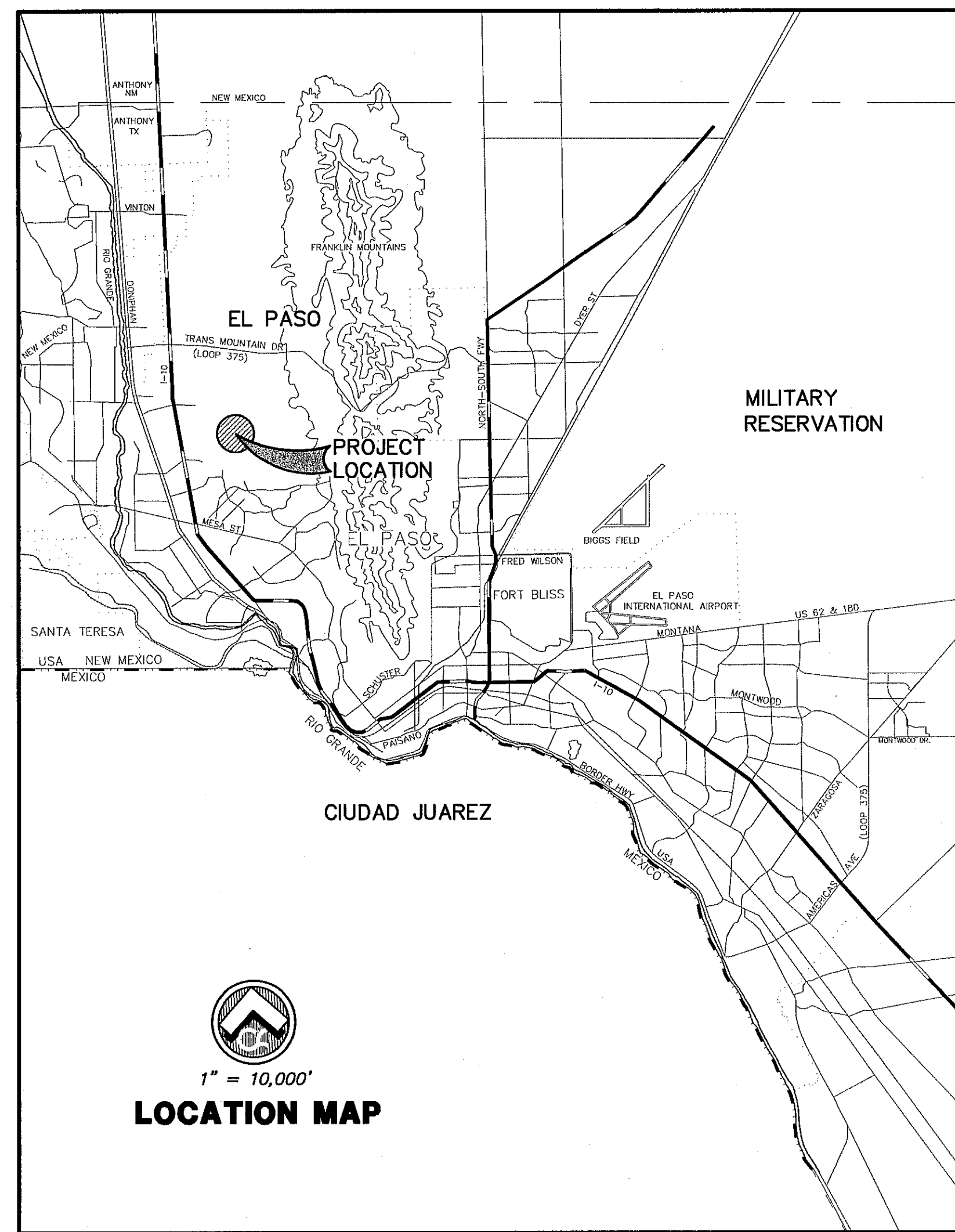
TAX CERTIFICATES FOR THIS SUBDIVISION ARE RECORDED IN THE OFFICE OF THE CLERK OF EL PASO COUNTY, TEXAS, DEED AND RECORDS SECTION.

INSTRUMENT NO. 20130016930-32, DATE 1/29/13

NOTE: DIRECT VEHICULAR ACCESS FROM CIMARRON SAGE WAY TO THE FOLLOWING LOTS SHALL BE PROHIBITED: LOTS 1 AND 26, BLOCK 14; LOTS 10 AND 11, BLOCK 15; LOT 10, BLOCK 16; AND LOT 1, BLOCK 17.

ROBERT SEIPEL ASSOCIATES, INC. PROFESSIONAL LAND SURVEYORS
1845 NORTHWESTERN DRIVE EL PASO TX 79912 PHONE (915) 877-1928 FAX (915) 877-2095

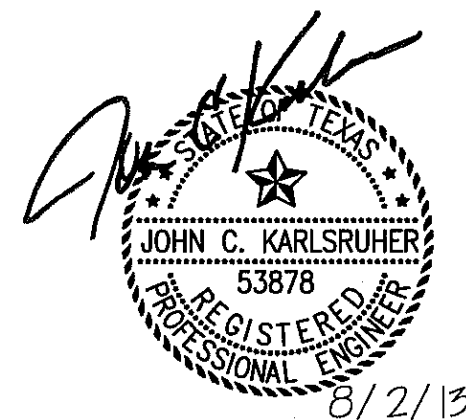
PLANS FOR CONSTRUCTION OF CIMARRON SAGE UNIT TWO Subdivision



VICINITY MAP

DRAWING INDEX	
SHEET NO.	DRAWING TITLE
1	COVER SHEET
2	PRELIMINARY SUBDIVISION PLAT
2A	FILED SUBDIVISION PLAT* (FOR REFERENCE ONLY)
3	DRAINAGE PLAN
4	GRADING PLAN
4A	PHASING PLAN
5,6,7,8	CROSS SECTIONS
9	ROCKWALL DETAILS
10,11	STANDARD DETAILS
12	ACCESSIBILITY DETAILS
13	CIMARRON SAGE PLAN & PROFILE
14	CIMARRON SAGE MEDIAN DETAILS
15	BLACK SAGE PLAN & PROFILE
16,17	GOLDEN SAGE PLAN & PROFILE
18,19	VIA CANUTILLO STREET PLAN & PROFILE
20,21	SKYROCKET PLAN & PROFILE
22,23	STEVE DEGROAT PLAN & PROFILE
24,25	STORM SEWER 'A' PLAN & PROFILE
26	STORM SEWER 'B' PLAN & PROFILE
27	STORM SEWER 'C' PLAN & PROFILE
28	STORM SEWER 'D' PLAN & PROFILE
29,30	STORM SEWER DETAILS
31	SIGNAGE, STRIPING, & ILLUMINATION PLAN
32,33	STORM WATER POLLUTION PREVENTION PLAN
34,35	POTABLE WATER LINE
36,37	WATER LINE DETAILS
38,39	SANITARY SEWER LINE 'A' PLAN & PROFILE
40,41,42	SANITARY SEWER LINE 'B' PLAN & PROFILE
43,44	SANITARY SEWER LINE 'C' PLAN & PROFILE
45,46	SANITARY SEWER LINE 'D' PLAN & PROFILE
47,48	SANITARY SEWER LINE DETAILS

*THE SUBDIVISION PLAT, SHEET 2A, ISSUED WITH THIS PLAN SET IS FOR REFERENCE PURPOSES ONLY. THIS IS NOT AND SHOULD NOT BE REFERRED TO AS A FINAL PLAT.



csa design group, inc.
Texas Registered Engineering Firm F-9997
1845 Northwestern Dr. Ste C
El Paso, Texas 79912
tel [915] 877.4155
fax [915] 877.4334
www.csaengineers.com

SITE PLAN REVIEW APPROVED
BY DEVELOPMENT SERVICES
08/01/11

RECORD DRAWING

RECORD DRAWINGS WERE PREPARED BY CSA DESIGN GROUP, INC. UTILIZING INFORMATION OBTAINED DURING PERIODIC SITE VISITS MADE BY THE CONSULTANT DURING CONSTRUCTION AS WELL AS SURVEY AND OTHER INFORMATION PROVIDED BY OTHERS. ACCURACY OF THE INFORMATION PROVIDED BY OTHERS AND CONTAINED WITHIN IS NOT WARRANTED BY THE CONSULTANT OR ITS ENGINEERS.

FILE No. 1018

08/2/13 RECORD DRAWING

1018 CIMARRON SAGE UNIT TWO SUBDIVISION

Aug 01, 2013 - 12:23 pm S:\Draws\1018 Concordia Spgs Unit2\1018 AS BUILT - CDR\DWG.dwg © 2013 CSA Design Group, Inc.

NOTE:
1. CIMARRON UNIT ONE IS RECORDED IN COUNTY CLERK'S FILE NO. 20070089227, EL PASO COUNTY, TEXAS.
2. TRACT 1, NELLIE D. MUNDY SURVEY 242 (THE AIRCRAFT ROAD RIGHT-OF-WAY RESERVATION) IS DESCRIBED JULY 20, 1899, IN A PROPERTY DEVELOPMENT AGREEMENT IN BOOK 2201, PAGE 1360, DEED RECORDS, EL PASO COUNTY, TEXAS.
3. BASIS OF BEARINGS IS THE MONUMENTED CENTERLINE OF NORTHWESTERN DRIVE FROM THE PLAT OF EL PASO WEST UNIT ONE IN BOOK 37, PAGE 5, PLAT RECORDS, EL PASO COUNTY, TEXAS.
4. NORTHERN PASS DRIVE EXTENSION UNIT TWO IS RECORDED IN COUNTY CLERK'S FILE NO. 20090035858, EL PASO COUNTY, TEXAS.
5. THE WESTERLY BOUNDARY OF THE SUBJECT PARCEL IS DESCRIBED DECEMBER 15, 2000, IN BOOK 3902, PAGE 2012 (EXHIBIT A), DEED RECORDS, EL PASO COUNTY, TEXAS.
6. WATER AND SEWER SERVICES WILL BE PROVIDED TO CIMARRON SAGE UNIT TWO FROM EXISTING FACILITIES ON NORTHERN PASS DRIVE BY THE EL PASO WATER UTILITIES/PUBLIC SERVICE BOARD IN ACCORDANCE WITH THEIR RULES AND REGULATIONS AND WITH SECTION 16.343 OF THE TEXAS WATER CODE.
7. U.S. POSTAL SERVICE DELIVERY WILL BE PROVIDED THROUGH NEIGHBORHOOD DELIVERY AND COLLECTION BOX UNITS.
8. THE "RA.E." IS A "RESTRICTED ACCESS EASEMENT" WHICH PROHIBITS DIRECT VEHICULAR ACCESS TO PASO DEL NORTE BOULEVARD.
9. THE SUBJECT PROPERTY LIES WITHIN THE CANUITLLO INDEPENDENT SCHOOL DISTRICT.
10. THIS SUBDIVISION LIES WITHIN SPECIAL FLOOD HAZARD ZONE "B" AND "C" AS DESIGNATED BY THE FLOOD INSURANCE RATE MAP (F.I.R.M.), CITY OF EL PASO, JUNE 08, 2011, PANEL NUMBER 48014 (0117). THE FLOOD ZONE MAP HAS BEEN UPDATED TO REFLECT THE LETTER OF MAP REVISION, CASE NUMBER 10-06-2130P.

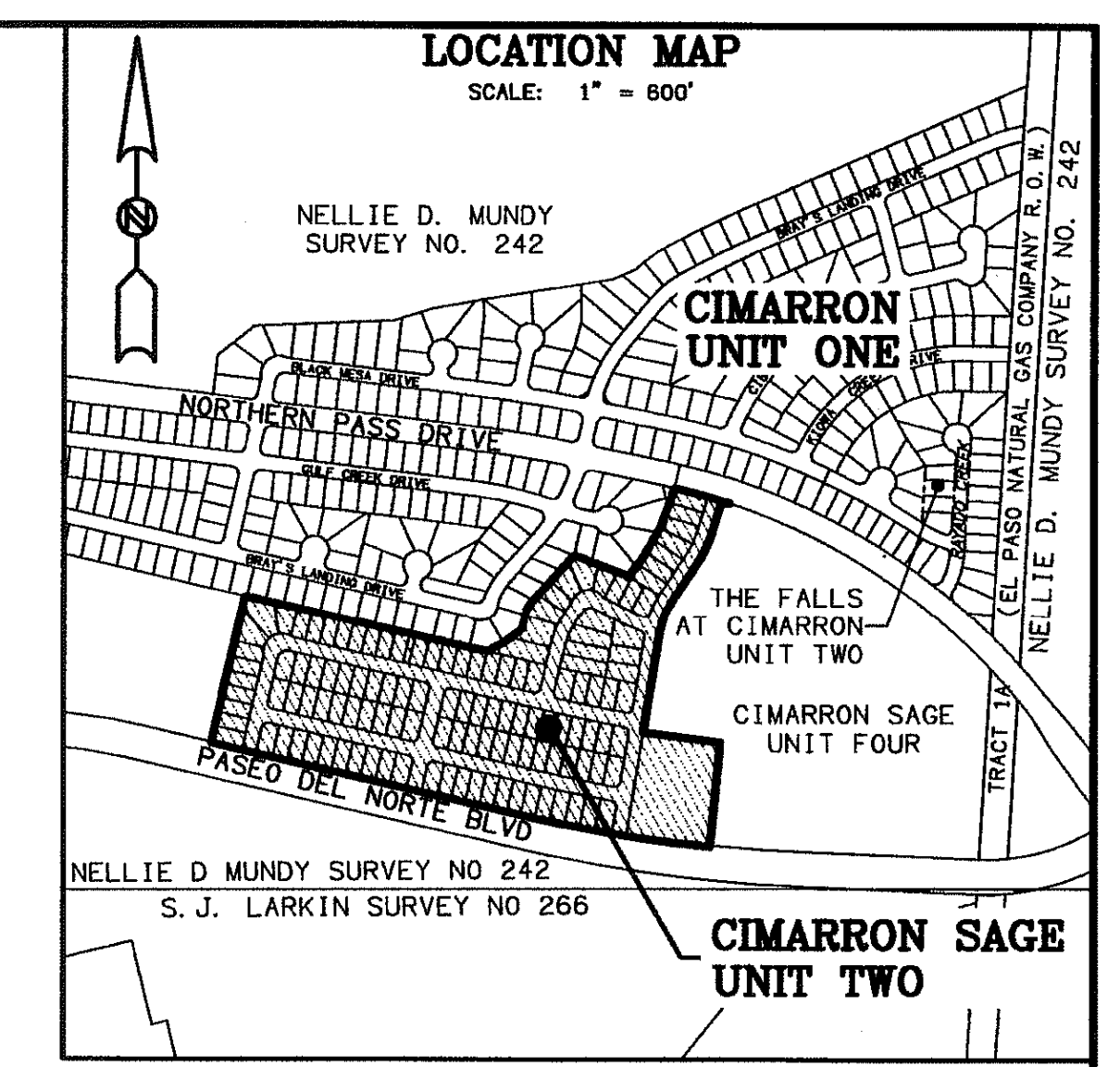
CIMARRON SAGE UNIT TWO

BEING A PORTION OF TRACTS 1 AND 1B4,
NELLIE D. MUNDY SURVEY 242,
CITY OF EL PASO, EL PASO COUNTY, TEXAS.
CONTAINING 25.558 ± ACRES

NOTE: ALL FRONT LOT UTILITY EASEMENTS ARE 10 FEET WIDE UNLESS OTHERWISE INDICATED.

LOT	ACRES	SQ FT
LOT 1 BLOCK 13	0.145	6303
LOT 2 BLOCK 13	0.139	6283
LOT 3 BLOCK 13	0.128	5871
LOT 4 BLOCK 13	0.128	5868
LOT 5 BLOCK 13	0.148	6768
LOT 6 BLOCK 13	0.151	6948
LOT 7 BLOCK 13	0.153	6978
LOT 8 BLOCK 13	0.188	8598
LOT 9 BLOCK 13	0.188	8598
LOT 10 BLOCK 13	0.182	8358
LOT 11 BLOCK 13	0.181	8263
LOT 12 BLOCK 13	0.185	8498

LOT	ACRES	SQ FT
LOT 1 BLOCK 12	0.152	6831
LOT 2 BLOCK 12	0.141	6490
LOT 3 BLOCK 12	0.158	7227
LOT 4 BLOCK 12	0.180	8248
LOT 5 BLOCK 12	0.140	6386
LOT 6 BLOCK 12	0.137	6263
LOT 7 BLOCK 12	0.145	6627
LOT 8 BLOCK 12	0.132	6069
LOT 9 BLOCK 12	0.125	5741
LOT 10 BLOCK 12	0.127	5835
LOT 11 BLOCK 12	0.125	5745
LOT 12 BLOCK 12	0.167	7629
LOT 13 BLOCK 12	0.14	6467
LOT 14 BLOCK 12	0.139	6351
LOT 15 BLOCK 12	0.152	6923
LOT 16 BLOCK 12	0.137	6263
LOT 17 BLOCK 12	0.142	6544
LOT 18 BLOCK 12	0.132	6069
LOT 19 BLOCK 12	0.125	5741
LOT 20 BLOCK 12	0.125	5741
LOT 21 BLOCK 12	0.125	5741
LOT 22 BLOCK 12	0.125	5741
LOT 23 BLOCK 12	0.125	5741
LOT 24 BLOCK 12	0.125	5741
LOT 25 BLOCK 12	0.122	5519
LOT 26 BLOCK 12	0.122	5519
LOT 27 BLOCK 12	0.120	5240
LOT 28 BLOCK 12	0.120	5240
LOT 29 BLOCK 12	0.120	5240
LOT 30 BLOCK 12	0.120	5240
LOT 31 BLOCK 12	0.120	5240
LOT 32 BLOCK 12	0.120	5240
LOT 33 BLOCK 12	0.120	5241
LOT 34 BLOCK 12	0.126	5863
LOT 35 BLOCK 12	0.127	5934
LOT 36 BLOCK 12	0.1259	5770
LOT 37 BLOCK 12	0.124	5637
LOT 38 BLOCK 12	0.126	5800
LOT 39 BLOCK 12	0.126	5800
LOT 40 BLOCK 12	0.126	5800
LOT 41 BLOCK 12	0.126	5800
LOT 42 BLOCK 12	0.126	5800
LOT 43 BLOCK 12	0.126	5800
LOT 44 BLOCK 12	0.126	5800

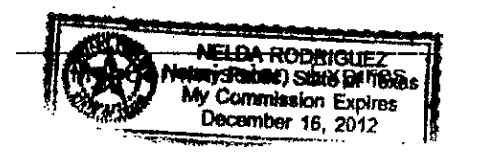


DEDICATION
We, Cimarron Hunt Communities, LLC, owners of this land, do hereby present this plat and dedicate to the use of the public the streets, drives, drainage right-of-way, parks and utility easements as hereon laid down and designated, including easements for overhang of service wires, conduits and pipes for underground utilities, the right to ingress or egress for service and construction, and the right to trim interfering trees and shrubs.

By: *Justin Chapman*
Justin Chapman, President

ACKNOWLEDGMENT
STATE OF TEXAS
COUNTY OF EL PASO
This instrument was acknowledged before me on 11-21-2012 by Justin Chapman, President of Cimarron Hunt Communities, LLC.
Given under my hand and seal of office this 21st day of November 2012.

Nelda Rodriguez
Notary Public, State of Texas



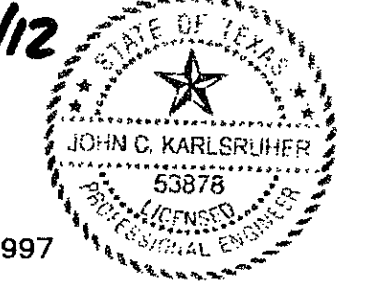
CITY PLAN COMMISSION
This subdivision is hereby approved as to the platting and as to the conditions of the dedication in accordance with Chapter 212 of the Local Government Code of Texas this 6th day of December 2012.
Chairperson *Executive Secretary*

Approved for filing this 17th day of December, 2012.
City Development Director

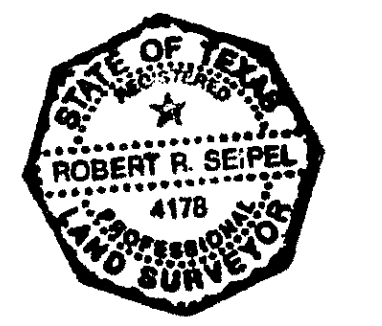
FILING
Filed and recorded in the office of the County Clerk of El Paso County, Texas, this 29th day of January, 2013, in File No. 2013DD04929, Plat Records.

By Deputy
Resandra Cole

Subdivision improvement plans prepared by and under the supervision of CSA Design Group, Inc.
John C. Karlsruher
John C. Karlsruher, P.E.
Registered Professional Engineer
Texas License No. 53878
Texas Registered Engineering Firm F-997



I hereby certify that this plat represents an on-the-ground survey made under my supervision in compliance with current Texas Board of Professional Land Surveying Professional and Technical Standards.
Robert Seipel Associates, Inc.
Professional Land Surveyors
Robert R. Seipel
Robert R. Seipel, President
Registered Professional Land Surveyor
Texas License No. 4178

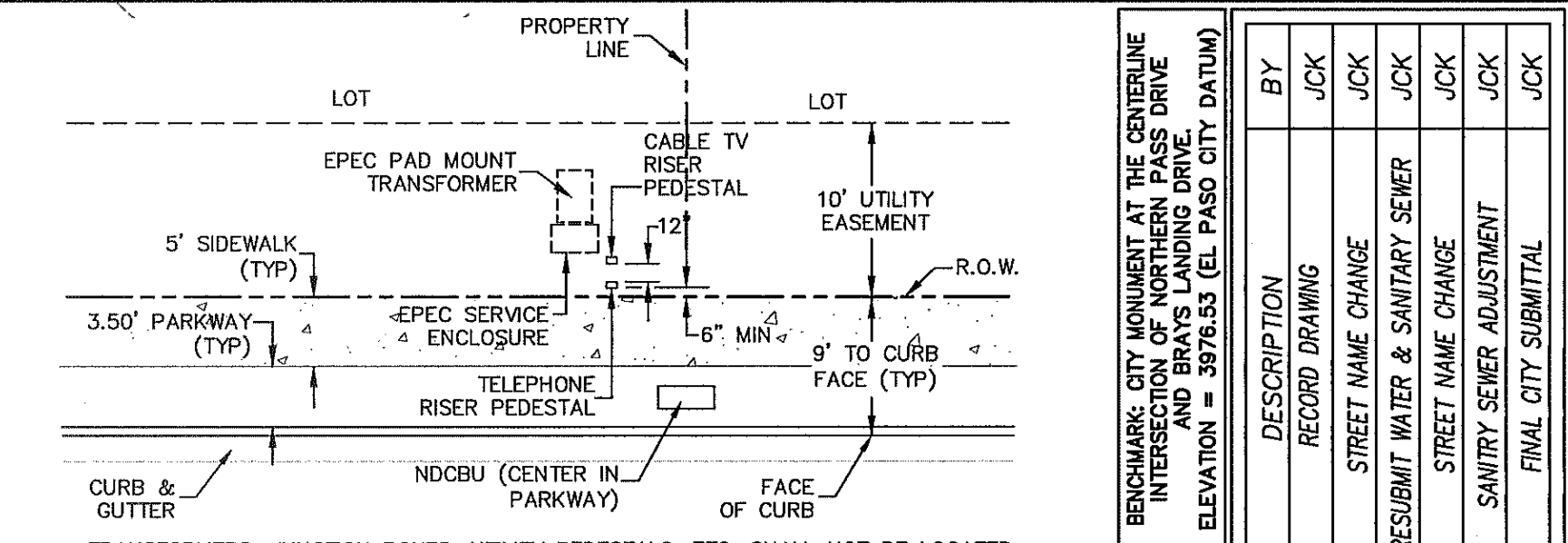
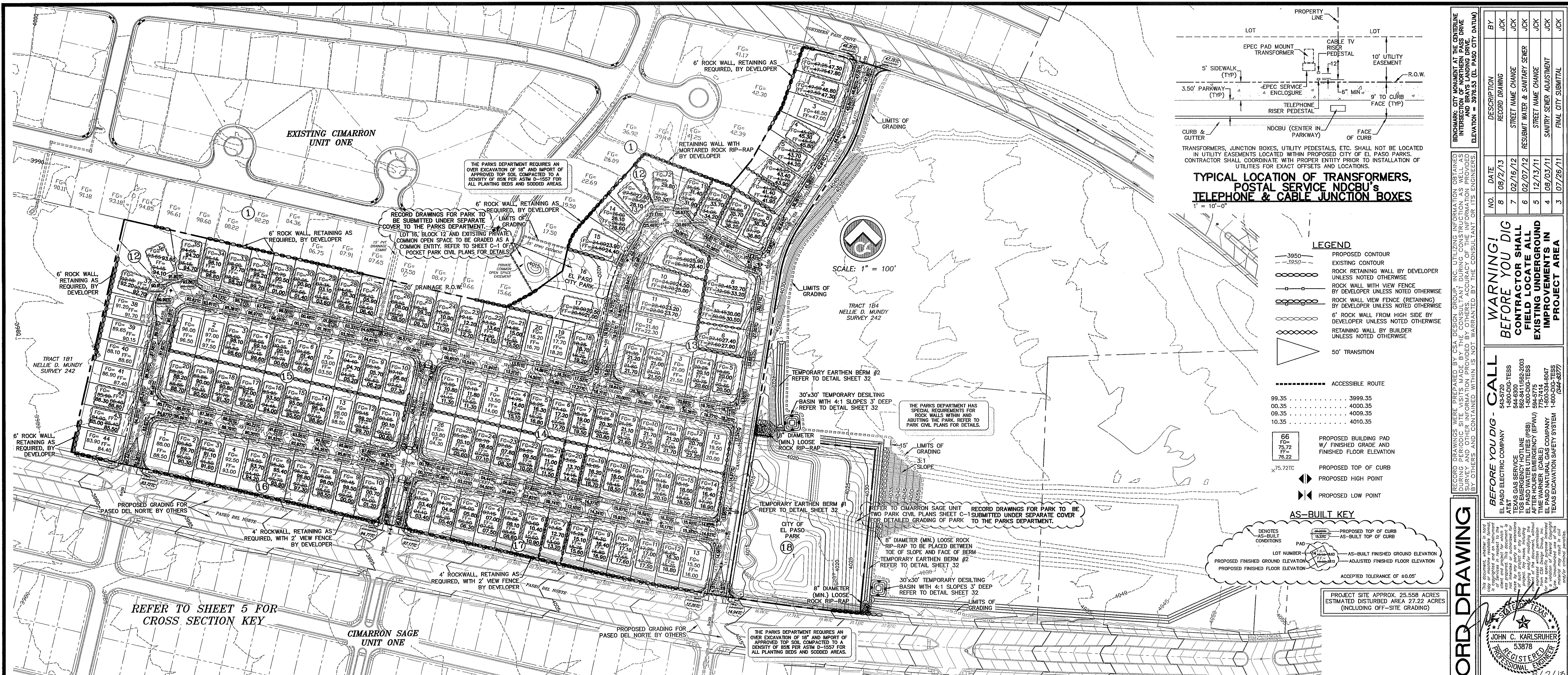


PROPOSED CITY MONUMENT
PROPOSED NEIGHBORHOOD DELIVERY & COLLECTION BOX UNIT (N. D. C. B. U.)

REVISED: NOVEMBER 19, 2012
REVISED: NOVEMBER 12, 2012
REVISED: NOVEMBER 5, 2012
REVISED: FEBRUARY 15, 2011
REVISED: DECEMBER 12, 2011
REVISED: JULY 22, 2011
REVISED: JULY 5, 2011
REVISED: JUNE 22, 2011
REVISED: JUNE 9, 2011
REVISED: APRIL 28, 2011
REVISED: MARCH 14, 2011
REVISED: MARCH 2, 2011
DATE OF PREPARATION: FEBRUARY 17, 2011

NUMBER	BEARING	DISTANCE	NUMBER	BEARING	DISTANCE
001	S 02°24'11" E	108.00	250	S 20°17'00" E	111.10
002	S 02°24'11" E	108.00	251	S 20°17'00" E	111.10
003	S 02°24'11" E	108.00	252	S 20°17'00" E	111.10

RESTRICTIVE COVENANTS FOR THIS SUBDIVISION ARE RECORDED IN THE OFFICE OF THE CLERK OF EL PASO COUNTY, TEXAS, DEED AND RECORDS SECTION.
INSTRUMENT NO. 2013DD04937, DATE 1/29/13.
TAX CERTIFICATES FOR THIS SUBDIVISION ARE RECORDED IN THE OFFICE OF THE CLERK OF EL PASO COUNTY, TEXAS, DEED AND RECORDS SECTION.
INSTRUMENT NO. 2013DD04938-39, DATE 1/29/13.



TYPICAL LOCATION OF TRANSFORMERS, POSTAL SERVICE NDCBU'S TELEPHONE & CABLE JUNCTION BOXES
 1" = 10'-0"

TRANSFORMERS, JUNCTION BOXES, UTILITY PEDESTALS, ETC. SHALL NOT BE LOCATED IN UTILITY EASEMENTS LOCATED WITHIN PROPOSED CITY OF EL PASO PARKS. CONTRACTOR SHALL COORDINATE WITH PROPER ENTITY PRIOR TO INSTALLATION OF UTILITIES FOR EXACT OFFSETS AND LOCATIONS.

LEGEND

- 3950 PROPOSED CONTOUR
- 3950 EXISTING CONTOUR
- ROCK RETAINING WALL BY DEVELOPER UNLESS NOTED OTHERWISE
- ROCK WALL WITH VIEW FENCE BY DEVELOPER UNLESS NOTED OTHERWISE
- ROCK WALL VIEW FENCE (RETAINING) BY DEVELOPER UNLESS NOTED OTHERWISE
- 6" ROCK WALL FROM HIGH SIDE BY DEVELOPER UNLESS NOTED OTHERWISE
- RETAINING WALL BY BUILDER UNLESS NOTED OTHERWISE
- 50' TRANSITION
- ACCESSIBLE ROUTE
- 66 PROPOSED BUILDING PAD W/ FINISHED GRADE AND FINISHED FLOOR ELEVATION
- 75.72 PROPOSED TOP OF CURB
- 75.22 PROPOSED HIGH POINT
- 75.72 PROPOSED LOW POINT

AS-BUILT KEY

- LOT NUMBER
- PAD
- PROPOSED TOP OF CURB
- AS-BUILT TOP OF CURB
- PROPOSED FINISHED FLOOR ELEVATION
- ADJUSTED FINISHED FLOOR ELEVATION
- PROPOSED FINISHED FLOOR ELEVATION
- ACCEPTED TOLERANCE OF ±0.05'

RECORD DRAWING

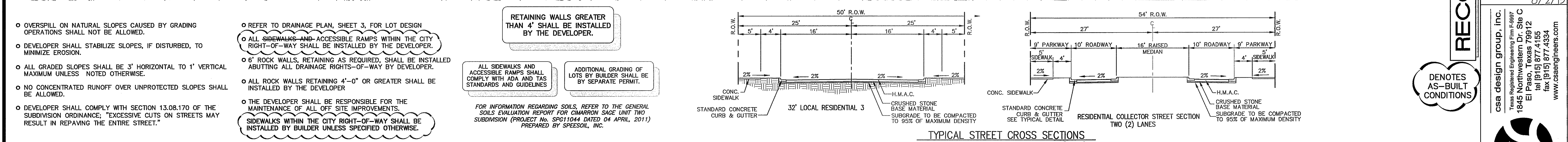
NO.	DATE	DESCRIPTION	BY
1	08/21/13	RECORD DRAWING	JCK
2	02/16/12	STREET NAME CHANGE	JCK
3	02/07/12	RESUBMIT WATER & SANITARY SEWER	JCK
4	12/13/11	STREET NAME CHANGE	JCK
5	08/03/11	SANITARY SEWER ADJUSTMENT	JCK
6	07/26/11	FINAL CITY SUBMITTAL	JCK

WARNING! BEFORE YOU DIG CALL

CONTRACTOR SHALL FIELD LOCATE ALL EXISTING UNDERGROUND IMPROVEMENTS IN PROJECT AREA

BEFORE YOU DIG - CALL

EL PASO ELECTRIC COMPANY 543-3720
 1-800-DIG-TESS
 AT&T 1-800-451-4242
 TEXAS GAS SERVICE 562-3411/662-2003
 EL PASO WATER UTILITIES (EPWU) 1-800-DIG-TESS
 AFTER-HOURS EMERGENCY (EPWU) 594-3776
 EL PASO NATURAL GAS COMPANY 1-800-334-8047
 TEXAS EXCAVATION SAFETY SYSTEM 1-800-DIG-TESS (800-437-7277)



GENERAL NOTES:

- OVERSPILL ON NATURAL SLOPES CAUSED BY GRADING OPERATIONS SHALL NOT BE ALLOWED.
- DEVELOPER SHALL STABILIZE SLOPES, IF DISTURBED, TO MINIMIZE EROSION.
- ALL GRADED SLOPES SHALL BE 3' HORIZONTAL TO 1' VERTICAL MAXIMUM UNLESS NOTED OTHERWISE.
- NO CONCENTRATED RUNOFF OVER UNPROTECTED SLOPES SHALL BE ALLOWED.
- DEVELOPER SHALL COMPLY WITH SECTION 13.08.170 OF THE SUBDIVISION ORDINANCE; "EXCESSIVE CUTS ON STREETS MAY RESULT IN REPAVING THE ENTIRE STREET."
- REFER TO DRAINAGE PLAN, SHEET 3, FOR LOT DESIGN
- ALL SIDEWALKS AND ACCESSIBLE RAMPS WITHIN THE CITY RIGHT-OF-WAY SHALL BE INSTALLED BY THE DEVELOPER.
- 6" ROCK WALLS, RETAINING AS REQUIRED, SHALL BE INSTALLED ABUTTING ALL DRAINAGE RIGHTS-OF-WAY BY DEVELOPER.
- ALL ROCK WALLS RETAINING 4'-0" OR GREATER SHALL BE INSTALLED BY THE DEVELOPER
- THE DEVELOPER SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL OFF-SITE IMPROVEMENTS.
- SIDEWALKS WITHIN THE CITY RIGHT-OF-WAY SHALL BE INSTALLED BY BUILDER UNLESS SPECIFIED OTHERWISE.
- ALL SIDEWALKS AND ACCESSIBLE RAMPS SHALL COMPLY WITH ADA AND T&E STANDARDS AND GUIDELINES
- ADDITIONAL GRADING OF LOTS BY BUILDER SHALL BE BY SEPARATE PERMIT.
- FOR INFORMATION REGARDING SOILS, REFER TO THE GENERAL SOILS EVALUATION REPORT FOR CIMARRON SAGE UNIT TWO SUBDIVISION (PROJECT NO. SP011044 DATED 04 APRIL 2011) PREPARED BY SPEE/SOIL, INC.
- ANY USE OF VIBRATORY EQUIPMENT SHALL BE APPROVED IN WRITING BY THE CITY ENGINEER IN ADVANCE OF SUCH USE.
- THE CITY ENGINEER MUST BE NOTIFIED NO LATER THAN 4:00 PM ONE DAY PRIOR TO ANY GRADING WORK, BACKFILL DENSITIES, INSPECTIONS AND/OR CONSTRUCTION OPERATIONS SUCH AS PLACEMENT OF CURB AND GUTTER, PAVEMENT, AND STORM SEWER STRUCTURES. ADDITIONAL ACTIVITY REQUIREMENTS/RESTRICTIONS MAY BE SPECIFIED BY THE DESIGN ENGINEER OF RECORD.
- A BORROW OR WASTE PERMIT SHALL BE REQUIRED FOR ANY SITE THAT HAS AN UNBALANCED EARTHWORK OF GREATER THAN TEN PERCENT (10%). AN APPROVED HAUL ROUTE SHALL BE REQUIRED FOR MATERIALS ENTERING OR LEAVING THE SITE UTILIZING CITY RIGHTS-OF-WAY FOR TRANSPORT. A WASTE/BORROW PERMIT SHALL NOT BE REQUIRED FOR TRANSPORT OF MATERIALS TO AN ADJACENT SITE OWNED OR UNDER DEVELOPMENT BY THE SAME PROPERTY OWNER.
- A COPY OF ALL CURRENT PERMITS REQUIRED FOR CONSTRUCTION SHALL BE MAINTAINED ON-SITE. THESE PERMITS MUST BE DISPLAYED IN A COMMON AND INCONSPICUOUS LOCATION ON-SITE.
- NO GRADING OF ANY KIND SHALL BE CONDUCTED ON LEGAL HOLIDAYS OR WEEKENDS (7:00 PM FRIDAY THROUGH 7:00 AM ON THE FOLLOWING MONDAY) UNLESS THE DEVELOPER OR HIS AUTHORIZED AGENT HAS NOTIFIED THE CITY'S ENGINEERING DEPARTMENT BY NOON THE DAY BEFORE THE HOLIDAY, OR BY NOON ON FRIDAY. GRADING SHALL NOT BE PERMITTED WITHIN THREE HUNDRED (300) FEET OF A RESIDENTIALLY ZONED AREA BEFORE 7:00 AM OR AFTER 7:00 PM ON WEEKENDS OR HOLIDAYS.
- INSTALLATION OF A TRENCH SAFETY SYSTEM IS REQUIRED FOR ALL TRENCHES EXCEEDING A DEPTH OF FIVE FEET (5') AND MUST CONFORM TO THE CITY OF EL PASO DESIGN STANDARDS AS WELL AS OSHA REQUIREMENTS.
- ALL ORGANIC MATERIAL SHALL BE CLEARED AND GRUBBED TO A DEPTH OF A MINIMUM OF SIX (6) INCHES AND REMOVED FROM THE SITE. NO SCREENING OF THIS MATERIAL WILL BE ALLOWED FOR RE-USE ON THE SITE UNLESS REVEGETATION IS PROPOSED AS AN ANTI-EROSION MEASURE UPON COMPLETION OF THE GRADING OPERATIONS.
- SLOPES WHICH ARE TO RECEIVE FILL MUST BE CLEARED OF ALL VEGETATION. OVERSPILL ON NATURAL SLOPES CAUSED BY GRADING OPERATIONS SHALL NOT BE ALLOWED.
- POSITIVE DRAINAGE SHALL BE PROVIDED BY CONTRACTOR DURING ALL PHASES OF CONSTRUCTION AND GRADING. ALL LOTS SHOULD DRAIN TOWARD STREET UNLESS OTHERWISE INDICATED ON THE GRADING PLAN.
- THE DEVELOPER SHALL BE RESPONSIBLE FOR THE PREPARATION AND SUBMITTAL OF ALL PERMITTING NECESSARY FOR EARTHWORK OPERATIONS AND STORM WATER POLLUTION CONTROL.
- THE DEVELOPER SHALL BE RESPONSIBLE FOR THE INSTALLATION OF ALL BOUNDARY PERIMETER WALLS AS WELL AS ROCK WALLS RETAINING FOUR (4) FEET OR MORE. ALL OTHER WALLS SHALL BE INSTALLED BY THE BUILDER. (NOTE TO BUILDERS: RETAINING WALLS MUST BE PROVIDED WHENEVER THE GRADE DIFFERENTIAL BETWEEN LOT GRADES IS GREATER THAN TWO (2) FEET. WALLS MUST BE DESIGNED AND CERTIFIED BY A CIVIL ENGINEER (FOR APPROVAL) WHEN APPLYING FOR A BUILDING PERMIT.

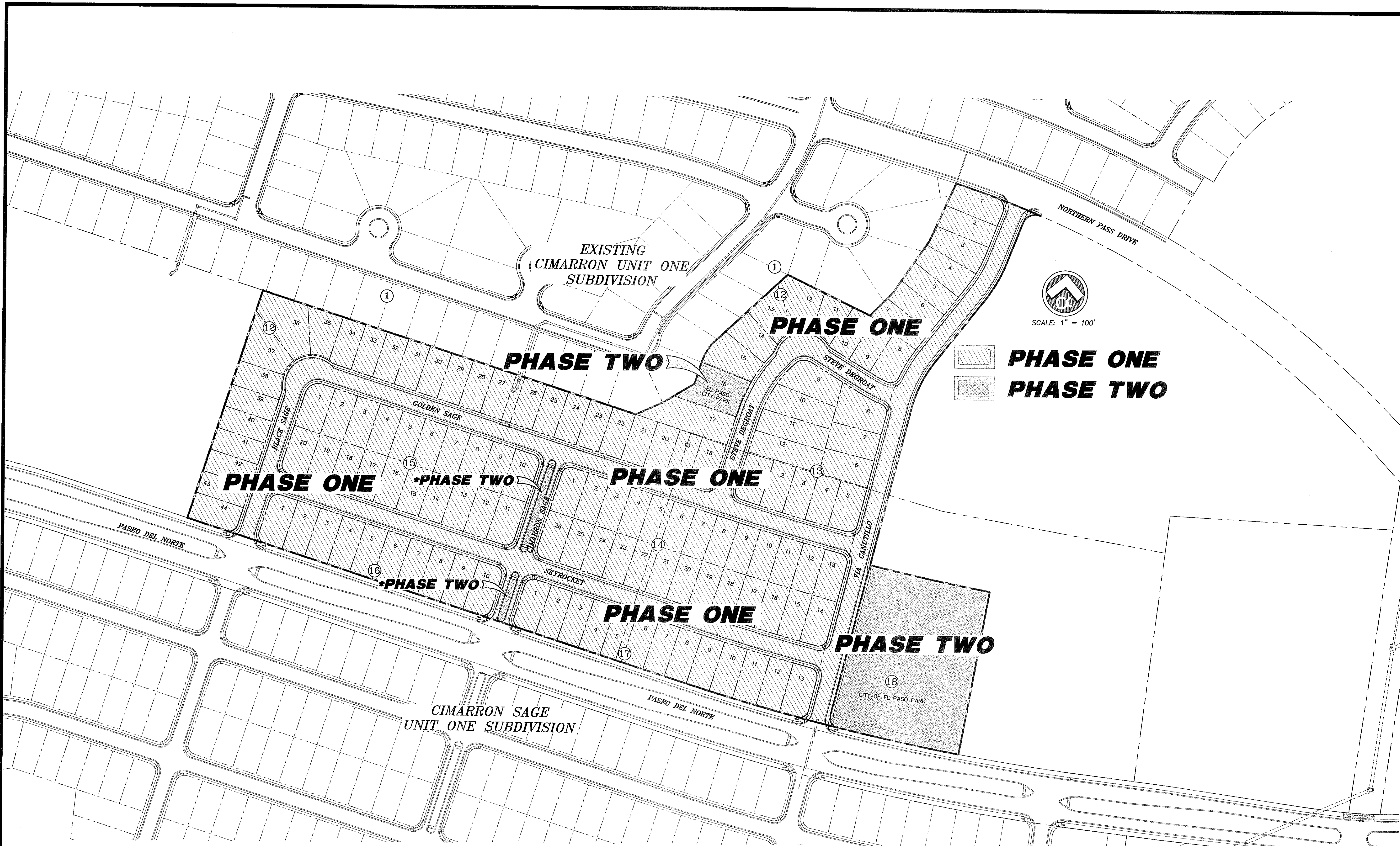
METER BOX NOTES:

- SET TOP OF METER BOX SLIGHTLY HIGHER THAN SURROUNDING GROUND OR AT CURB LEVEL.
- ANGLE VALVE SHALL BE IN LINE WITH THE INLET/OUTLET PORTS OF THE METER BOX.
- METER BOXES SHALL NOT BE INSTALLED UNDER SIDEWALKS, DRIVEWAYS, OR PROPOSED ABOVE GROUND STRUCTURES.
- WHERE NO CURB EXIST, INSTALL BOXES IN ACCESSIBLE LOCATIONS BEYOND LIMITS OF STREET SURFACING, WALKS AND DRIVEWAYS.

FIRE HYDRANT NOTES:

- FIRE HYDRANT SHALL BE LOCATED AT THE PROPERTY LINE COMMON TO ADJOINING LOTS.
- A MINIMUM CLEARANCE OF 3 FT SHALL BE PROVIDED BETWEEN A FIRE HYDRANT AND A PERMANENT OBSTRUCTION (UTILITY POLE, LIGHT STANDARD, TRAFFIC SIGNAL, WHEEL CHAIR RAMP, FENCE PROTECTIVE POSTS, ETC.)

TYPICAL LOCATION OF METER BOX AND FIRE HYDRANT
 1" = 10'-0"



PHASE ONE INCLUDES ALL GRADING WITHIN THE BOUNDS OF THE SUBDIVISION AS SHOWN IN THE GRADING PLAN (TO INCLUDE ROUGH GRADING OF THE PARKS). ALL IMPROVEMENTS WITHIN THE PROPOSED CITY RIGHTS-OF-WAY (NOT INCLUSIVE OF THE MEDIAN LANDSCAPING*), ALL DRAINAGE IMPROVEMENTS TO INCLUDE THE STORM SEWER CONTAINED WITHIN THE BOUNDARY OF THE PARK AS WELL AS ALL OFF-SITE IMPROVEMENTS AS DETAILED IN THE SUBDIVISION IMPROVEMENT PLANS, ALL UTILITY INFRASTRUCTURE (BOTH ABOVE AND BELOW GROUND) FOR THE SUBDIVISION TO INCLUDE WATER SERVICE FOR BOTH PARKS, AS WELL AS ANY OTHER PUBLIC IMPROVEMENTS AS DETAILED IN THE SUBDIVISION IMPROVEMENT PLANS.

PHASE TWO INCLUDES ALL DETAILED GRADING, LANDSCAPING, AND OTHER IMPROVEMENTS AND INSTALLATIONS WITHIN THE BOUNDS OF CIMARRON SAGE UNIT TWO PARK, CIMARRON SAGE UNIT TWO POCKET PARK, AND ALL MEDIAN LANDSCAPING*.

*ALL LANDSCAPING WORK FOR THE MEDIANS WITHIN THE CIMARRON SAGE RIGHT-OF-WAY THAT IS TO BE PERFORMED AND ACCEPTED AS A PART OF THE PHASE TWO IMPROVEMENTS SHALL BE CONTAINED WITHIN THE BACKS OF CURBS WITHIN THE MEDIANS. ALL UNDERGROUND IMPROVEMENTS SUCH AS WATER SERVICE AND IRRIGATION SLEEVING BETWEEN THE MEDIANS SHALL BE PERFORMED AS PART OF THE PHASE ONE IMPROVEMENTS. LANDSCAPE WORK WITHIN THE MEDIANS MAY REQUIRE A TRAFFIC CONTROL PLAN IF PERFORMED AFTER THE ACCEPTANCE OF PHASE ONE IMPROVEMENTS AND CIMARRON SAGE WAY IS OPENED TO PUBLIC ACCESS.

PHASE ONE AND PHASE TWO IMPROVEMENTS SHALL BE INSPECTED AND ACCEPTED BY THE CITY OF EL PASO SEPARATELY AND INDEPENDENTLY OF ONE ANOTHER. ALL CONSTRUCTION FOR PHASE ONE AND PHASE TWO MUST BE COMPLETED, INSPECTED, AND ACCEPTED FOR MAINTENANCE BY THE CITY WITHIN TWO (2) YEARS OF THE FINAL RECORDATION OF THE SUBDIVISION PLAT. AN EXTENSION OF UP TO TWO (2) YEARS TO COMPLETE PUBLIC IMPROVEMENTS MAY BE GRANTED IF THE DEVELOPER COMPLES WITH SECTION 19.8.3 AND PROVIDES A SECURITY TO THE CITY IN ACCORDANCE WITH SECTION 19.8.4 OF THE SUBDIVISION ORDINANCE.

PHASING PLAN

RECORD DRAWING

RECORD DRAWINGS WERE PREPARED BY CSA DESIGN GROUP, INC. UTILIZING INFORMATION OBTAINED DURING PERIODIC SITE VISITS MADE BY THE CONSULTANT DURING CONSTRUCTION AS WELL AS INFORMATION PROVIDED BY OTHERS. ACCURACY OF THE INFORMATION PROVIDED BY OTHERS AND CONTAINED WITHIN IS NOT WARRANTED BY THE CONSULTANT OR ITS ENGINEERS.

WARNING!
BEFORE YOU DIG
CONTRACTOR SHALL
FIELD LOCATE ALL
EXISTING UNDERGROUND
IMPROVEMENTS IN
PROJECT AREA

NO.	DATE	DESCRIPTION	BY
8	09/27/13	RECORD DRAWING	JCK
7	02/16/12	STREET NAME CHANGE	JCK
6	02/07/12	RESUBMIT WATER & SANITARY SEWER	JCK
5	12/13/11	STREET NAME CHANGE	JCK
4	08/03/11	SANITARY SEWER ADJUSTMENT	JCK
3	07/26/11	FINAL CITY SUBMITTAL	JCK

BEFORE YOU DIG - CALL

EL PASO ELECTRIC COMPANY 543-5720
 TEXAS GAS SERVICE 544-8300
 TGS EMERGENCY HOTLINE 562-8411/562-2003
 TEXAS POWER & LIGHT (P&L) 1-800-DIG-TESS
 EL PASO WATER UTILITY (EPWU) 775-7414
 TIME WARNER (CABLE) 1-800-334-8047
 EL PASO NATURAL GAS COMPANY 1-800-334-8047
 TEXAS EXCAVATION SAFETY SYSTEM 1-800-334-8047

RECORD DRAWING

CSA DESIGN GROUP, INC.
 Town & Country Engineering Firm, P.C.
 1845 Northwest Dr. Ste C
 El Paso, Texas 79912
 Tel [915] 877-4155
 Fax [915] 877-4334
 www.csaengineers.com

JOHN C. KARLSRUHER
 53878
 REGISTERED PROFESSIONAL ENGINEER
 8/2/13

CIMARRON SAGE UNIT TWO SUBDIVISION

SHEET TITLE

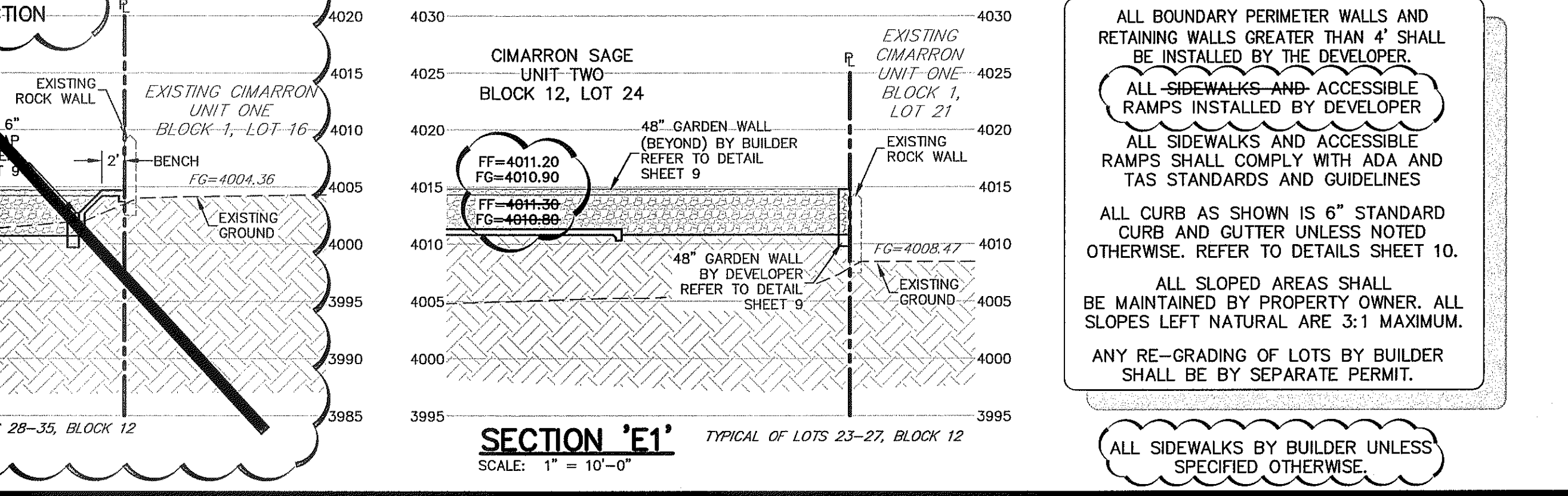
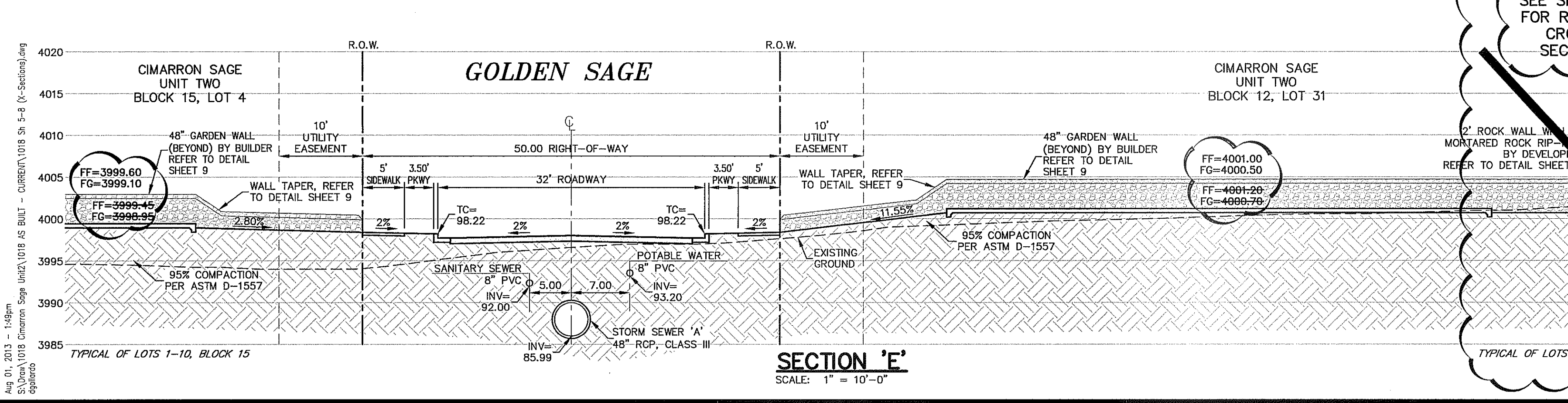
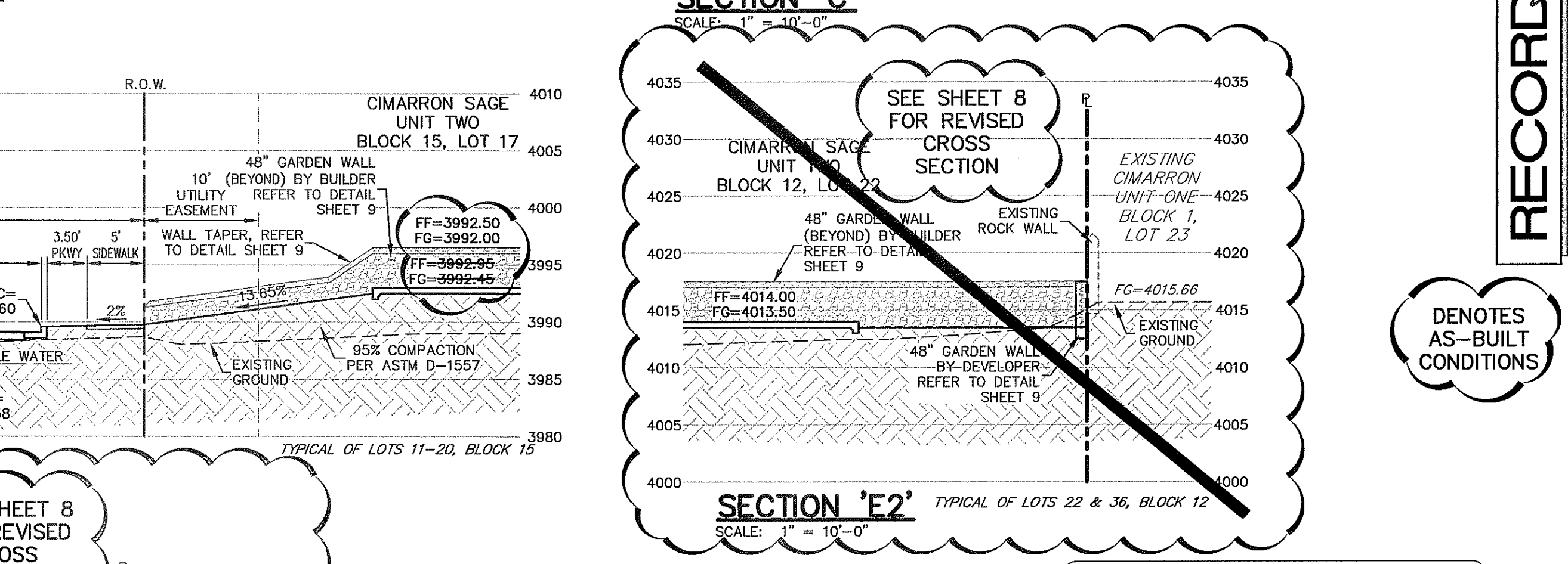
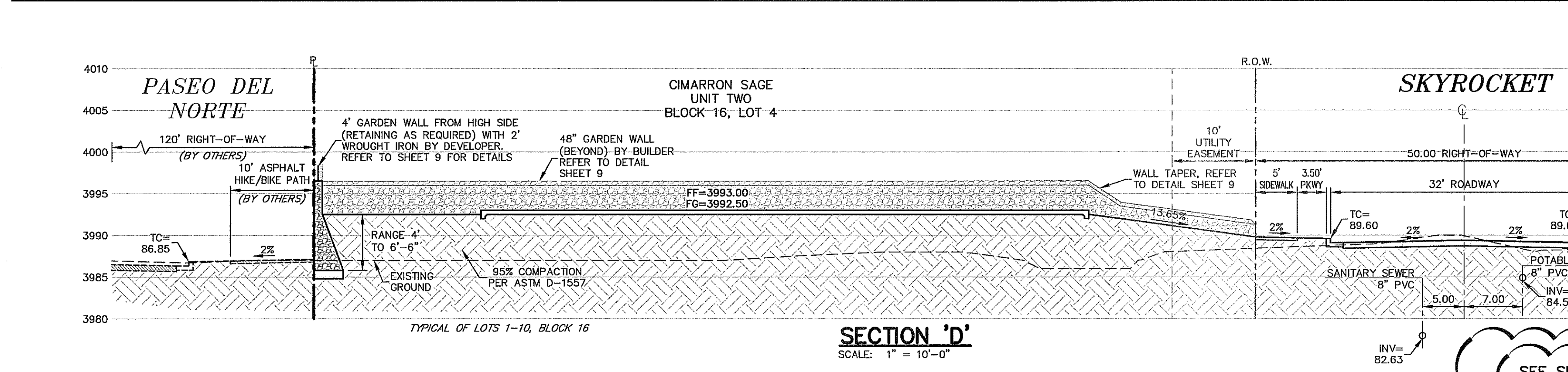
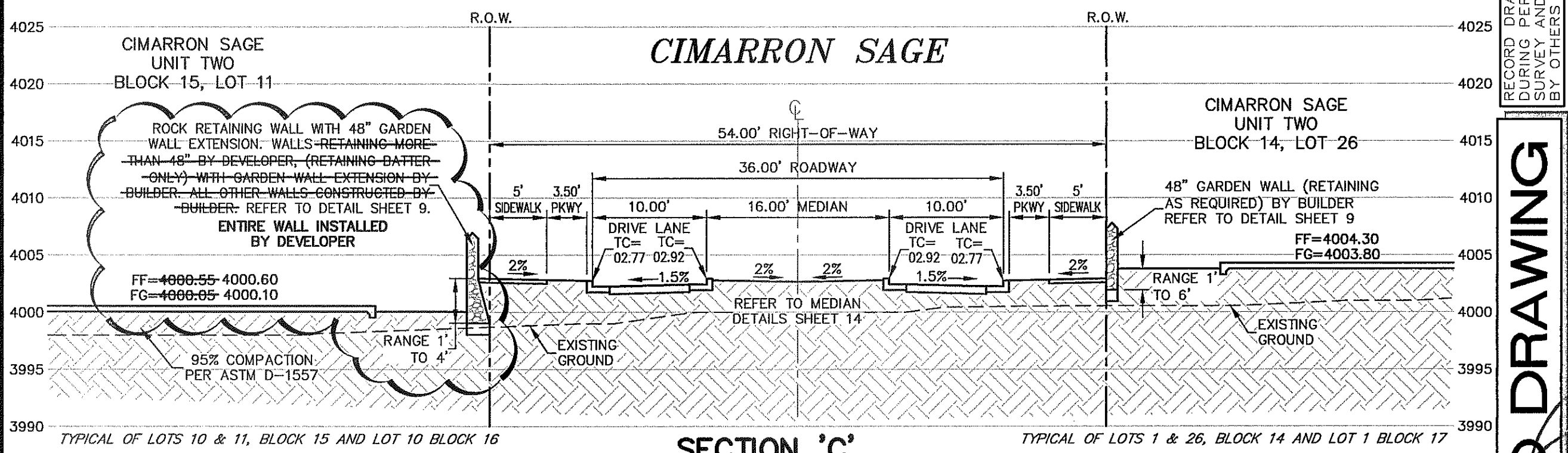
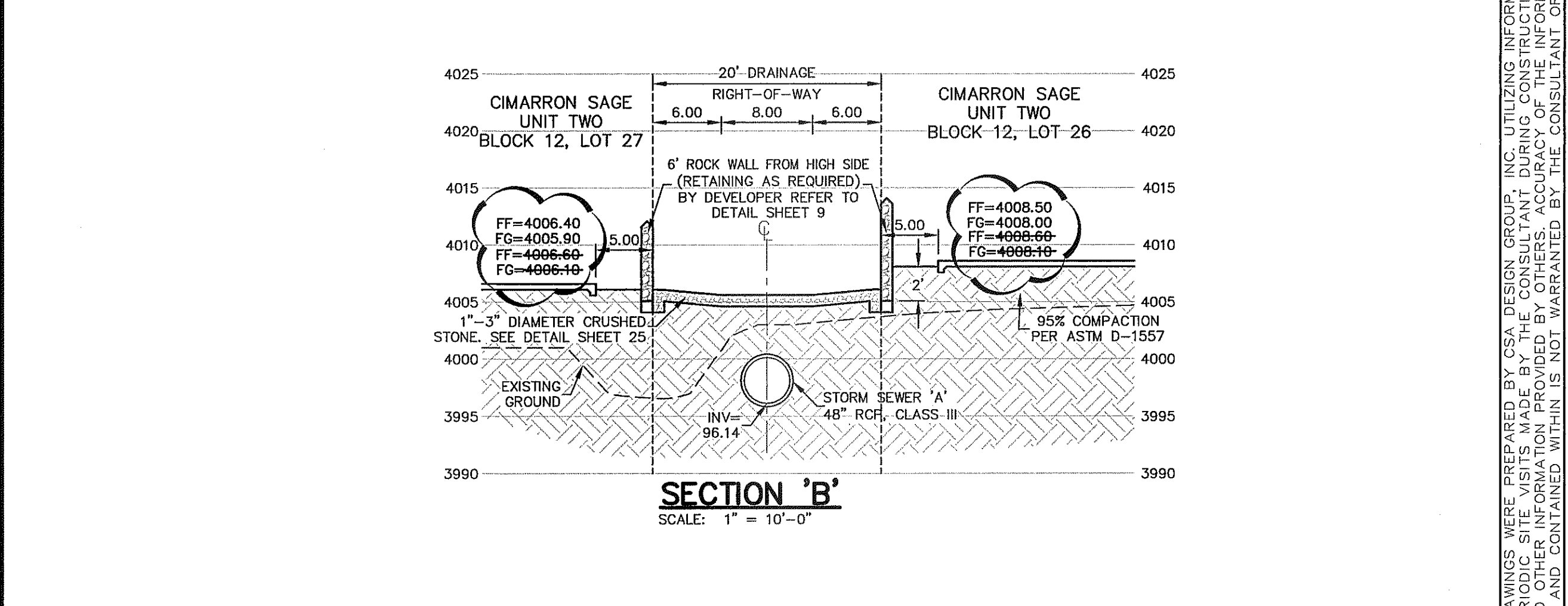
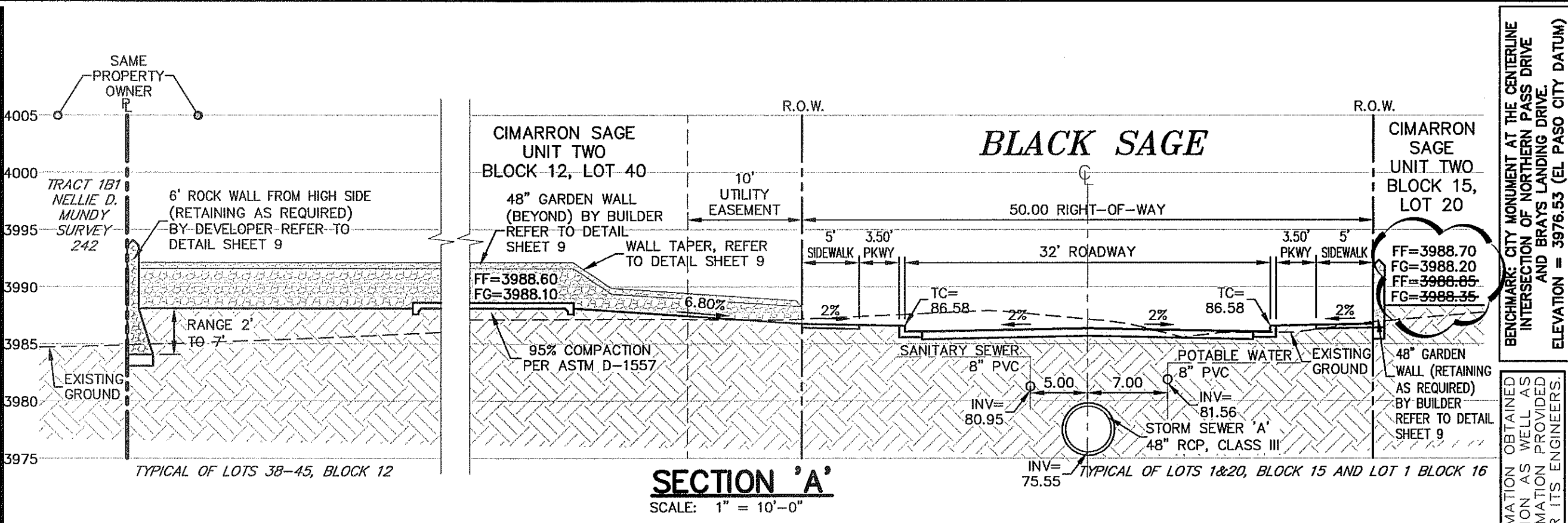
PHASING PLAN

SW	1018
REVISION	08/13/13
COB-DG	11/01/10
DATE	
SA	AS NOTED
CHECKED BY	SCALE

SHEET NO. **4A**

48

Aug 01, 2013 - 1:25pm
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 Jgph



NO.	DATE	DESCRIPTION	BY
8	08/22/13	RECORD DRAWING	JCK
7	02/16/12	STREET NAME CHANGE	JCK
6	02/07/12	RESUBMIT WATER & SANITARY SEWER	JCK
5	12/13/11	STREET NAME CHANGE	JCK
4	08/03/11	SANITARY SEWER ADJUSTMENT	JCK
3	07/26/11	FINAL CITY SUBMITTAL	JCK

WARNING!
 BEFORE YOU DIG
 CONTRACTOR SHALL
 FIELD LOCATE ALL
 EXISTING UNDERGROUND
 IMPROVEMENTS IN
 PROJECT AREA

BEFORE YOU DIG - CALL
 EL PASO ELECTRIC COMPANY 543-5720
 1-800-DIG-TESS
 AT&T 1-800-552-1234
 TEXAS GAS SERVICE 562-8411/662-2008
 1-800-DIG-TESS
 EL PASO WATER UTILITIES (EPWU) 584-5775
 AFTER HOURS EMERGENCY (EPWU) 584-5775
 EL PASO NATURAL GAS COMPANY 1-800-334-8047
 TEXAS EXCAVATION SAFETY SYSTEM 1-800-DIG-TESS (543-5727)

RECORD DRAWING
 JOHN C. KARLSRUHER
 53878
 PROFESSIONAL ENGINEER
 8/2/13

RECORD DRAWING
 JOHN C. KARLSRUHER
 53878
 PROFESSIONAL ENGINEER
 8/2/13

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RECORD DRAWING
 JOHN C. KARLSRUHER
 53878
 PROFESSIONAL ENGINEER
 8/2/13

CIMARRON SAGE UNIT TWO SUBDIVISION	
SHEET TITLE	
CROSS SECTIONS	
SW	1018
DESIGN BY	JOB NO.
COB-DG	11/01/10
SCALE	SHEET NO.
SA	AS NOTED
DATE	SCALE
08/22/13	1" = 10'-0"
5	
OF 48	

Aug. 01, 2013 - 10:50am
 C:\Users\jck\Documents\Cimarron Sage Unit Two Subdivision\1018 5-5 (E-sections).dwg

ALL BOUNDARY PERIMETER WALLS AND RETAINING WALLS GREATER THAN 4' SHALL BE INSTALLED BY THE DEVELOPER.
 ALL SIDEWALKS AND ACCESSIBLE RAMPS INSTALLED BY DEVELOPER.
 ALL SIDEWALKS AND ACCESSIBLE RAMPS SHALL COMPLY WITH ADA AND TAS STANDARDS AND GUIDELINES.
 ALL CURB AS SHOWN IS 6" STANDARD CURB AND GUTTER UNLESS NOTED OTHERWISE. REFER TO DETAILS SHEET 10.
 ALL SLOPED AREAS SHALL BE MAINTAINED BY PROPERTY OWNER. ALL SLOPES LEFT NATURAL ARE 3:1 MAXIMUM.
 ANY RE-GRADING OF LOTS BY DEVELOPER SHALL BE BY SEPARATE PERMIT.
 ALL SIDEWALKS BY DEVELOPER UNLESS SPECIFIED OTHERWISE.